

Chapter 26 – Land Development Regulations

Article 1

Introductory Provisions

Section 1.1. Title

This Ordinance is officially titled as “The Land Development Regulations of the City of Punta Gorda, Florida”, and shall be known as the “Land Development Regulations”. The official map designating the various regulating districts shall be titled, “City of Punta Gorda, Zoning Map”, and shall be known as the “Zoning Map”, an “official copy” of which shall be on file in the City Clerk’s office.

Section 1.2. Authority

This Ordinance is hereby adopted and may be amended from time to time in accordance with the powers granted and limitations imposed by the Charter of the City of Punta Gorda, Florida and under the authority and provisions of the Florida Statutes.

Section 1.3. Jurisdiction

This Ordinance governs the development and use of all land and structures within the corporate limits of the City of Punta Gorda, Florida.

Section 1.4. Applicability

No building, structure, land, or water shall hereafter be used or occupied, and no building, structure, or part thereof shall hereafter be erected, constructed, reconstructed, located, moved or structurally altered except in conformity with the regulations of this Ordinance or amendments thereof for the district in which it is located or as otherwise specified in this Ordinance.

Section 1.5. Compliance

It shall be unlawful to conduct, use or occupy any development or construct any structure until all applicable development review and approval processes have been followed, all applicable approvals have been obtained, and all required permits or authorizations to proceed have been issued.

Section 1.6. Interpretation

In the interpretation and application of this Ordinance, all provisions shall be liberally construed in favor of the City of Punta Gorda. The provisions shall not be deemed to limit or repeal any other powers granted under state statutes.

Section 1.7. Minimum requirements

The standards of this Ordinance are minimum requirements. The issuance of any permit, certificate or approval in accordance with the standards and requirements of this Ordinance shall not relieve the recipient of the responsibility for complying with all other applicable requirements of any other City, County, State or Federal agency.

Section 1.8. Conflicting provisions

If the provisions of this Ordinance are inconsistent with those of the County, State or Federal government, the more restrictive provision will control, to the extent permitted by law. If the provisions of this Ordinance are inconsistent with one another, or if they conflict with provisions found in other adopted ordinances or regulations of the city, the more restrictive provision will control. This Ordinance is not intended to abrogate, annul, or otherwise interfere with any easement, covenant, or other private agreement or legal relationship otherwise in conformance with it.

Section 1.9. Severability

If any Court of competent jurisdiction rules any provision or standard of this Ordinance or any regulating district boundary that may exist in the future is found by a court to be invalid for any reason, the decision of the court shall not affect the validity of any other section, provision, standard, or district boundary of these regulations except the provision in question. The other portions of these regulations not affected by the decision of the court shall remain in full force and effect.

Section 1.10. Permits and Certificates

No development activity shall occur on any property within the jurisdiction subject to the regulations of this Ordinance until all applicable permits, approvals and certificates have been issued and approved by the appropriate officials.

Section 1.11. Fees

Reasonable fees sufficient to cover the costs of administration, inspection, publication of notice, and similar matters may be charged to applicants for permits, plats, amendments, appeals, variances, and other development applications. The amount of such fees shall be fixed by the Council from time to time.

Section 1.12. Effective Date

These regulations shall become effective upon the adoption of the City of Punta Gorda 2045 Comprehensive Plan. Upon such date, this Ordinance shall replace the Land Development Regulations adopted April 20, 2005, and any amendments to said ordinance, made after said date.

Article 2

Purpose and Intent

Section 2.1. Purpose

Existing patterns of urban development have seriously compromised sustainable growth, the quality of life, and economic viability of cities. The practices of land use segregation and automobile dependent design have resulted in wide-spread loss of open space; increased traffic congestion and air pollution; environmental degradation; increased housing and infrastructure costs; inadequate provision of schools and public services; and growing areas of declining property values, crime, and poverty. The resultant loss of community identity [see examples in Exhibit 2-A.] adds to these problems by discouraging citizen awareness of, and participation in, community affairs.

Exhibit 2-A.



- A. Existing land use segregation and inappropriate residential development pattern
- B. Auto dependent land uses/sprawled strip center

Therefore, the purpose of these standards is not merely to provide the minimum regulations necessary to facilitate safe and orderly growth, but to also ensure that growth forms an integral part of a community of functional neighborhoods and retail centers; increases collective security and community identity to promote civic awareness and responsibility; and enhances the quality of life for the entire City to ensure the

greatest possible economic and social benefits for all residents.

To these ends, the Land Development Regulations, Districts, and Maps have been prepared with consideration of future growth; the promotion of a coherent built environment, which respects local and regional architecture; the promotion of an integrated and balanced transportation system based on pedestrian, transit, and automobile use; the adequate provision of water and sewer infrastructure, schools, parks, and other public necessities; and for the preservation and enhancement of the natural environment through the protection and replenishment of City forests by landscaping of the public realm and supplemental plantings for projects which reduce existing tree cover resources.

Section 2.2. Intent

This Ordinance is necessary and adopted to promote the public health, safety, convenience, comfort, amenities, prosperity and general welfare of persons within the planning jurisdiction of the City of Punta Gorda. More specifically, the regulations are intended to:

- (a) Implement the City of Punta Gorda Comprehensive Plan and relevant portions of Plan Punta Gorda 2019;
- (b) Define private property rights and protect property values;
- (c) Preserve and protect land, air, water, and environmental resources;
- (d) Promote land use patterns that provide efficiency in service provision as well as wise use of fiscal resources and government expenditures;
- (e) Regulate the location, type, and intensity of development; and
- (f) Increase community resiliency to fire, flood, and other manmade and natural dangers.

Section 2.3. Implementation of the Comprehensive Plan

The Land Development Regulations have been prepared in accordance with the City of Punta Gorda Comprehensive Plan, including revisions to the Comprehensive Plan that were adopted in 2024 to implement portions of Plan Punta Gorda 2019. It is intended that decisions made pursuant to this Ordinance will implement and be consistent with the Comprehensive Plan. An amendment to the text of this Ordinance shall be considered consistent with the Comprehensive Plan if it carries out the Comprehensive Plan's goals, objectives, and policies regarding the development, redevelopment, and preservation of land and does not allow development that exceeds regulatory maximums set forth in the Comprehensive Plan. A zoning map amendment shall be considered consistent with the Comprehensive Plan if the zoning map amendment is consistent with the "Future Land Use Map" and other relevant Goals, Objectives, and Policies of the Comprehensive Plan.

Article 3

Zoning Regulating Districts

The following Base Districts, Overlay Districts, and Planned Development Districts are established in the City of Punta Gorda.

Section 3.1. District Classification

- (a). **Base Districts.** The following general base districts are hereby established. and are described in the sections that follow:

Form-Based Districts:

TPG	Traditional Punta Gorda District	Mixed Use
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Conventional Zoning Districts:

EP:	Environmental Preserve District	Residential
GS:	General Single-Family District	Residential
GM:	General Multi-Family District	Residential
MH:	Manufactured Home District	Residential
NR:	Neighborhood Residential District	Residential
NC:	Neighborhood Center District	Mixed Use
HC:	Highway Commercial District	Commercial
P:	Public District	Governmental

- (b). **Overlay Districts.** The following overlay districts are hereby established- and are described in Section 3.13. The overlays within the Traditional Punta Gorda zoning district are also described in detail in Subsection 3.2.(c).(10).

SRO:	Special Residential Overlay District
HDO:	Historic Districts Overlay
	DHD: Downtown Historic District
	MSD: Main Street Historic District
	GHD: Grace Street Mid-Century Historic District
	NCD: Neighborhood Conservation District
APO:	Airport Protection Overlay District
ICO:	Interchange Commercial Overlay District
EPO:	Emerald Point Condominium Overlay District
MD:	Medical Overlay District
WD:	Waterfront Overlay District

- (c). **Planned Development Districts.** The following planned development districts are hereby established. (See Article 5 for details of each planned development district.)

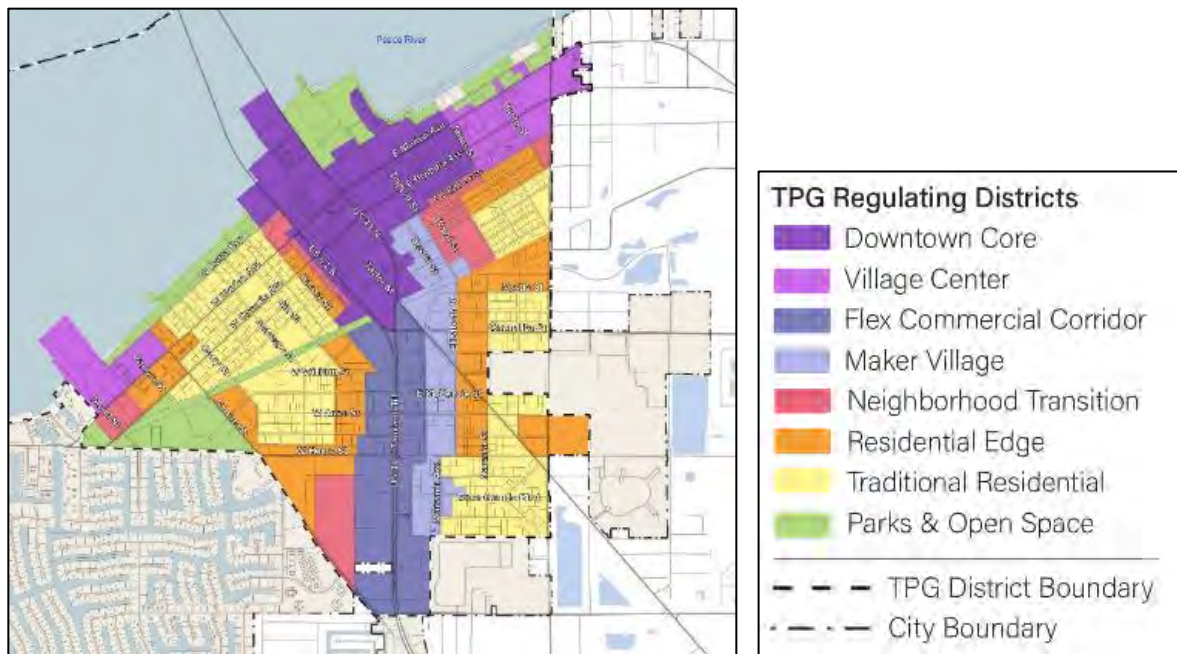
PDN:	Planned Development Neighborhood
PDV:	Planned Development Village
PEC:	Planned Employment Center
PMU:	Planned Mixed Use

Section 3.2. TPG, Traditional Punta Gorda District

(a). Purpose, Regulating Districts, and Organization.

- (1). The Traditional Punta Gorda (TPG) zoning district was created to implement portions of the 2019 Citywide Master Plan which called for a new form-based code for central portions of Punta Gorda. Master plan goals include improving walkability and bikeability to ensure community safety and economic vibrancy, promoting a greater variety of housing including Missing Middle housing types, creating new historic districts, enabling commercial and mixed-use infill development in certain locations, and ensuring high-quality growth that preserves and enhances community character.
- (2). The Traditional Punta Gorda (TPG) zoning district includes land identified on Figure 1, which is bounded generally by Charlotte Harbor to the north, Cooper Street on the east, by the northern edge of the Emerald Lake community and Airport Road on the south, and by Shreve Street and West Henry Street on the southwest.
 - a. All land in this zoning district is assigned to one of eight regulating districts:
 1. Downtown Core
 2. Village Center
 3. Flex Commercial Corridor
 4. Maker Village
 5. Neighborhood Transition
 6. Traditional Residential
 7. Residential Edge
 8. Parks & Open Space
 - a. Some land in this zoning district may be assigned to the following overlay districts, sub-districts, or may be indicated as Local Register historic properties:
 1. Historic Districts Overlay
 - i. Downtown Historic District
 - ii. Main Street Historic District
 - iii. Grace Street Mid-Century Modern Historic District
 - iv. Neighborhood Conservation District
 2. Medical Overlay District
 3. Waterfront Overlay District
 - b. The regulating districts are shown generally on Figure 1 below. The

regulating districts and the overlay districts are shown in detail on the regulating plan for the TPG zoning district in Subsection 3.2(b).



- (3). The TPG zoning district can be navigated in various ways. For instance:
 - a. To determine the regulations for a particular property:
 1. Locate the property on the detailed regulating plan in Subsection 3.2(b) and identify the property’s regulating district, and any overlay districts that may also apply.
 2. Read about the basic regulations for property in each regulating district and overlay district in Subsection 3.2(c).
 3. Determine allowable building types in Table 1 in Subsection 3.2(d).
 4. Determine allowable uses in Table 4 in Subsection 3.2(e).
 5. Review additional regulations that may apply beginning in Subsection 3.2(f).
 - b. To determine where a particular building type and/or particular use of land can be constructed:
 1. Identify which regulating districts allow that building type in Table 1 of Subsection 3.2(d).
 2. Identify which regulating districts allow that use of land in Table 4 of Subsection 3.2(e).

3. Determine what land in the TPG zoning district has the appropriate regulating districts using the detailed regulating plan in Subsection 3.2(b).
 4. Review additional regulations that may apply beginning in Subsection 3.2(f).
- c. The Traditional Punta Gorda (TPG) zoning district is organized in the following manner:
- | | |
|--------|---------------------------------------------------------------------|
| 3.2(a) | Purpose, Regulating Districts, and Organization |
| 3.2(b) | Regulating Plan, Showing Regulating Districts and Overlay Districts |
| 3.2(c) | Regulating Districts and Overlay Districts |
| 3.2(d) | Building Types |
| 3.2(e) | Allowable Uses |
| 3.2(f) | Fences, Privacy Walls, and Hedges |
| 3.2(g) | Parking and Loading Standards |
| 3.2(h) | Landscaping Standards |
| 3.2(i) | Review Process |
| 3.2(j) | Developer Mitigation |
| 3.2(k) | Neighborhood Flooding |
| 3.2(l) | Nonconformities |

(b). Regulating Plan, Showing Regulating Districts and Overlay Districts.

- (1). The full regulating plan for the TPG zoning district is provided in Figure 2 and a zoomed-in map showing the TPG overlay districts and Local Register buildings is provided in Figure 3.
- (2). A summary of requirements for each regulating district and overlay district are provided in Tables 1 and 2 of Subsection 3.2(c). Allowable building types are described in Subsection 3.2(d); allowable uses of land are described in Subsection 3.2(e).

Figure 2 - TPG Regulating Districts & Overlays

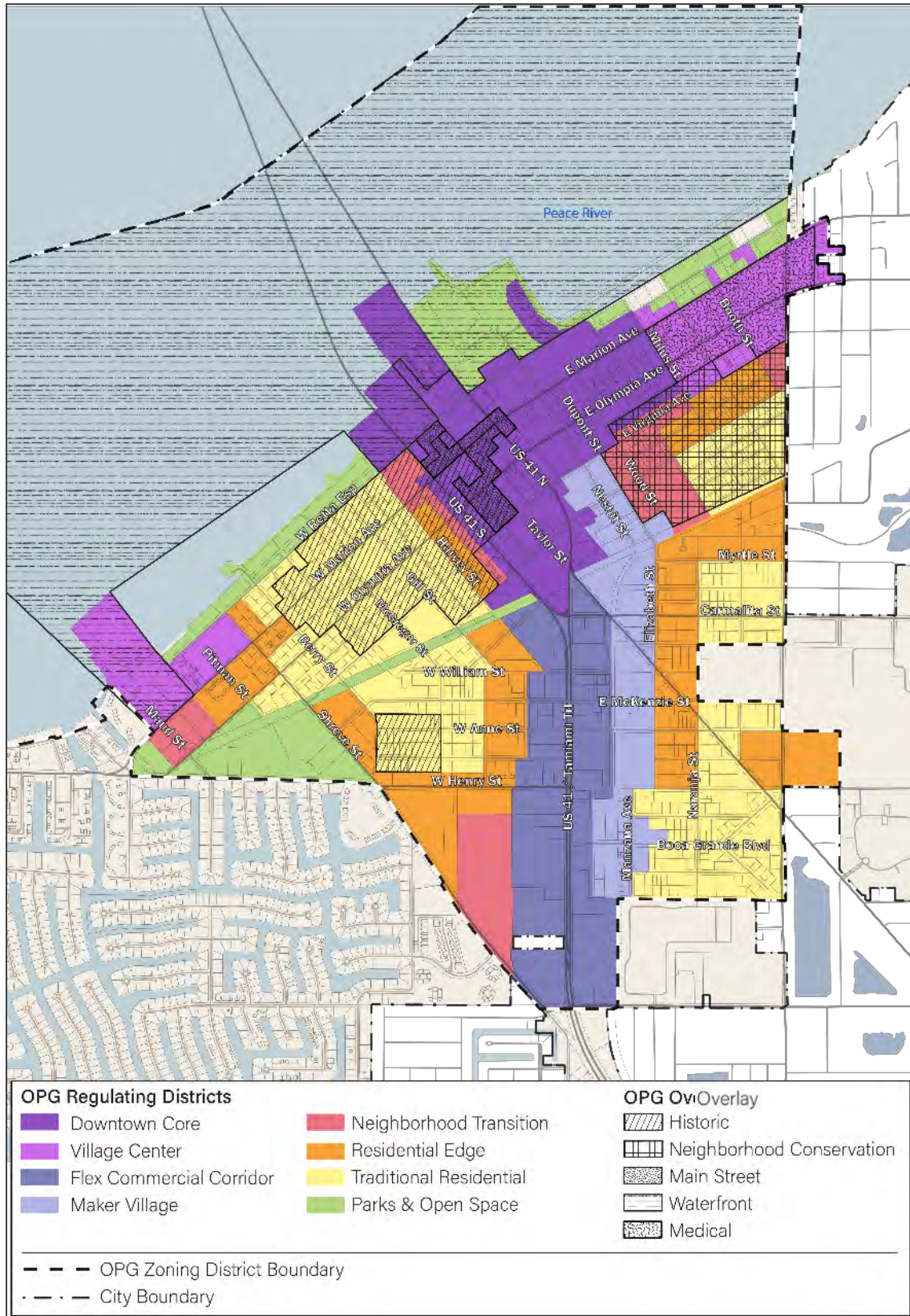
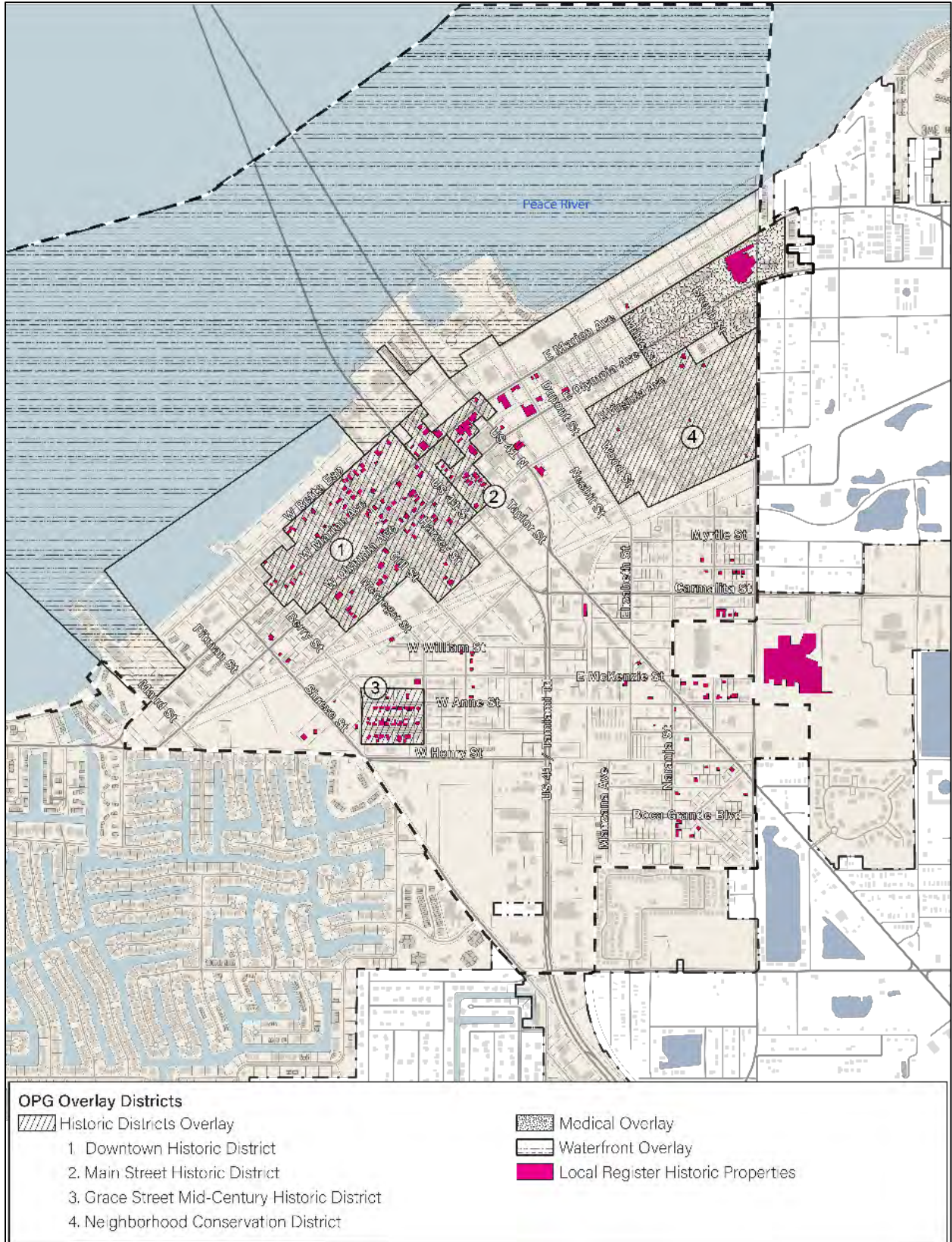


Figure 3 - TPG Overlay Districts Map



(c). Regulating Districts and Overlay Districts.

- (1). Introduction to regulating districts and overlay districts.
 - a. To understand the applicable regulations for a particular property, refer to Subsection 3.2(b) to determine the regulating district for the property and whether an overlay district also applies.
 - b. Most of the detailed regulations for each district are the same for all buildings in the district. Certain regulations vary depending on which building type is selected and which architectural style is selected for that building.
 - c. Table 1 shows which building types and which architectural styles are allowed in each regulating district and overlay district. An “X” in the column for each district indicates that a particular building type or architectural style is allowed in that district; other types and styles are not allowed in that district. If a property is in an overlay district, the allowable building types for the overlay district apply instead of those for the regulating district.
 - d. Table 2 provides a summary of many of the development standards in each regulating district and overlay district. Table 2 is provided to allow a quick comparison of all the districts.
 - e. Immediately after Table 2, each regulating district and overlay district is described in detail. Footnotes below the numerical development standards for each district indicate where a general regulation for that district would be modified if certain building types are selected. If a property is in an overlay, the relevant requirements for the overlay district apply instead of those for the regulating district.
 - f. Within the Historic Districts Overlay, four (4) overlay sub-districts designate areas of historic significance:
 1. The Downtown Historic District, which incorporates and updates the prior Downtown Commercial district and National Register (residential) district.
 2. The Main Street Historic District, which incorporates and updates the prior Downtown Commercial district
 3. The Grace Street Mid-Century Modern District
 4. The Neighborhood Conservation District, which incorporates and updates the prior Trabue Woods district and Bethel St. Mark district.
 - g. The TPG regulating plan also identifies designated historic buildings and sites listed in the Local Register of Historic Places that are outside these overlay districts. Additional historic districts and Local Register sites and buildings may be designated in the future; see Section 8.1.
 - h. Most standards in the historic overlays and sub-districts are the same as for the underlying regulating district; however, the palette of allowable architectural styles is limited to maintain historic character. Some lots in these overlay districts have been designated as containing a contributing

building or structure; alterations to them, and to any historic building on the Local Register, may require a Certificate of Appropriateness (see details in Sections 8.1 and 16.3). Proposed demolitions and relocations may also require a Certificate of Appropriateness; see Section 16.5.

- i. The Medical Overlay District also shares most standards with their underlying regulating districts but have slightly different density and building height standards to encourage medical uses and housing types suitable for a wide array of medical and other essential workers.
- j. Details for each building type are provided in Subsection 3.2(d). Details for allowable uses of land are provided in Subsection 3.2(e); allowable uses vary by regulating district, not by overlay district. Architectural provisions and details for each architectural style are provided in Article 7. Other requirements are provided beginning in Subsection 3.2(f).

Table 1 – Permitted Building Types and Architectural Styles

	Regulating Districts							Overlay Districts and Sub-districts						
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay	
								Downtown	Grace Street Mid-Century	Neighborhood Conservation				
Permitted Building Type. The black dot signifies that the building type is allowed within the district(s).														
Accessory Cottage ¹	•	•		•	•	•	•					•	•	
House					•	•	•							
Cottage Court						•	•							
Duplex					•	•	•							
Rowhouse	•	•		•	•	•							•	
Triplex/Fourplex		•			•	•							•	
Multiplex	•	•		•	•	•							•	
Courtyard Apartment	•	•	Building types not applicable for this district	•	•								•	
Live/Work	•	•		•	•	•		Same as Underlying District	Same as Underlying District				•	•
Small Footprint Mixed-Use	•	•		•	•								•	•
Medium Footprint Mixed-Use	•	•												•
Main Street Shopfront	•	•		•	•							•	•	
Neighborhood Shopfront	•	•			•							•	•	
Liner	•	•										•	•	
Loft				•										
Warehouse				•										
Civic/Institutional	•	•		•	•	•	•						•	
Permitted Architectural Styles²														
Florida Wood Frame	•	•		•	•	•	•	•		•		•	•	
Folk Victorian	•	•		•	•	•	•	•		•		•	•	
Craftsman	•	•		•	•	•	•	•		•		•	•	
Queen Anne Revival	•	•	Architectural styles not applicable for this district ³	•	•	•	•	•		•		•	•	
Colonial/Georgian Revival	•	•		•	•	•	•	•		•		•	•	
Neo-Classical Revival	•	•		•	•	•	•	•		•		•	•	
Mission	•	•		•	•	•	•	•		•		•	•	
Mid-Century Modern					•	•	•		•					
Masonry Modern	•	•		•	•	•	•					•	•	
Main Street Vernacular	•	•		•	•					•		•	•	

¹ Accessory Cottages with dwelling units in them are only permitted in conjunction with the house, rowhouse, and live/work building types.

² Compliance with architectural styles is not required for the Loft and Warehouse building types.

³ Development in the Flex Commercial Corridor District must still comply with the General Architectural Standards and Frontage Standards in Article 7.

Table 2 –Development Standards Summary

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Lot and Building Footprint													
Lot Width/Depth	<i>Defer to Building Type</i>		50' min./100' min.	<i>Defer to Building Type</i>				<i>Same as underlying</i>					
Lot Coverage	100% max.	100% max.	100% max.	90% max.	90% max.	80% max.	70% max.	<i>Same as underlying</i>					
Frontage Buildout													
Primary Street	70% min.	70% min.	70% min. ¹	70% min. ¹	60% min.	60% min.	60% min.	<i>Same as underlying</i>					
Secondary Street	50% min.	50% min.	50% min.	50% min.	50% min.	n/a	n/a	<i>Same as underlying</i>					
Density (Individual Lot)													
Base	25	25	0	15	25	25	25	<i>Same as underlying</i>					
Missing Middle Types ²	30	30	30	30	30	30	n/a	<i>Same as underlying</i>					
Maximum w/ Mitigation ³	60	45	40	n/a	n/a	n/a	n/a	<i>Same as underlying</i>		N/A	45	60	
Height (Base Flood Elevation to Parapet of Flat Roof or Highest Point of Pitched Roof)													
Base	50' max. (4 stories)	35' max. (3 stories)	35' max. (3 stories)	35' max. (3 stories)	40' max. (3 stories)	40' max. (3 stories)	35' max. (2 stories)	<i>Same as underlying</i>		50' max. (4 stories)	50' max. (4 stories)	<i>Same as underlying</i>	
Maximum w/ Mitigation ³	80' max. (6 stories)	65' max. (5 stories)	65' max. (5 stories)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	100' max. (7 stories)	80' max. (6 stories)	
Accessory Structure(s)													
Dwelling	25' max. (2 stories)							<i>Same as underlying</i>					
Other	12' max. (1 story)							<i>Same as underlying</i>					

¹ Lots less than 150' wide may have a reduced minimum frontage buildout of 60%

² Missing Middle Housing includes Live/Work, Rowhouse, Triplex/Fourplex, Multiplex, Courtyard Apartment, Small Footprint Mixed-Use, and Loft buildings, see Subsection 3.2(d)

³ See Subsection 3.2(j) regarding maximum density and height based on community mitigations

⁴ Attached Rowhouse, Live/Work, and Main Street types are exempt from 5' interior side setbacks

⁵ Accessory structures, including detached garages, are permitted only in the rear yard and must comply with all primary building setbacks except as specified in this row

⁶ Refers to interior rear setback only, not rear alley

Table 2 –Development Standards Summary Continued

	Regulating Districts							Overlay Districts and Sub-districts			
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay	Main Street Overlay	Medical Overlay	Waterfront Overlay
Building Setbacks (Distance from Property Line)											
Front	0' min., 10' max.	0' min., 10' max.	10' min., 25' max.	10' min., 25' max.	0' min., 20' max.	10' min., 25' max.	10' min., 25' max.	<i>Same as underlying</i>			
Side											
Street	0' min., 10' max.	0' min., 10' max.	10' min., 25' max.	10' min., 25' max.	5' min., 20' max.	10' min., 25' max.	10' min., 25' max.	<i>Same as underlying</i>			
Interior ⁴	0' min.	0' min.	5' min.	5' min.	5' min.	5' min.	5' min.	<i>Same as underlying</i>			
Rear											
Alley	0' min.	0' min.	10' min.	10' min.	10' min.	10' min.	10' min.	<i>Same as underlying</i>			
Interior	5' min.	5' min.	25' min.	15' min.	15' min.	15' min.	15' min.	<i>Same as underlying</i>			
Accessory Structure(s) ⁵	3' min. (rear ⁶)	3' min. (rear ⁶)	3' min. (side/rear)	3' min. (side/rear)	3' min. (side/rear)	3' min. (side/rear)	3' min. (side/rear)	<i>Same as underlying</i>			

¹ Lots less than 150' wide may have a reduced minimum frontage buildout of 60%

² Missing Middle Housing includes Live/Work, Rowhouse, Triplex/Fourplex, Multiplex, Courtyard Apartment, Small Footprint Mixed-Use, and Loft buildings, see Subsection 3.2(d)

³ See Subsection 3.2(j) regarding maximum density and height based on community mitigations

⁴ Attached Rowhouse, Live/Work, and Main Street types are exempt from 5' interior side setbacks

⁵ Accessory structures, including detached garages, are permitted only in the rear yard and must comply with all primary building setbacks except as specified in this row

⁶ Refers to interior rear setback only, not rear alley

Table 2 –Development Standards Summary Continued

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Parking (Setbacks from Property Line)													
Location	Behind Primary Building		Behind Primary Building and in the Side Yard ¹		Behind Primary Building or Within Attached Garage/Carport			<i>Same as underlying</i>					
Front Setback (Rear Yard/Side Yard)	40' min.	40' min.	40' min./15' min.	40' min./15' min.	40' min.	40' min.	40' min.	<i>Same as underlying</i>					
Side Setback													
Street	15' min.	15' min.	15' min.	15' min.	5' min.	5' min.	15' min.	<i>Same as underlying</i>					
Interior	0' min.	0' min.	0' min.	0' min.	0' min.	5' min.	5' min.	<i>Same as underlying</i>					
Rear Setback													
Alley	0' min.	0' min.	0' min.	0' min.	0' min.	0' min.	0' min.	<i>Same as underlying</i>					
Interior	5' min.	5' min.	5' min.	5' min.	5' min.	5' min.	5' min.	<i>Same as underlying</i>					
Attached Garage Setback from Front Façade ²	n/a	n/a	n/a	n/a	10' min.	10' min.	10' min.	<i>Same as underlying</i>					

¹ Side yard parking is only permitted along interior side yards, not abutting streets. Side yard parking land area cannot exceed 60' in width.

² Attached garage/carports are only permitted for the house

³ Ground level encroachments are permitted for frontage elements including porches, stoops, bay windows, porticos, and more. See Section 7.2(d) for additional frontage standards.

⁴ No ground level encroachments are permitted into the public right-of-way except for awnings, canopies, galleries, and arcades, which can encroach up to 10' provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained.

Table 2 –Development Standards Summary Continued

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Ground Level Encroachments³ (Distance from Min. Setback Line)													
Front	0' max. ⁴	0' max. ⁴	6' max.	6' max.	0' max. ⁴	6' max.	5' max.	<i>Same as underlying</i>					
Side Street	0' max. ⁴	0' max. ⁴	6' max.	6' max.	5' max. ⁴	6' max.	5' max.	<i>Same as underlying</i>					
Rear													
Alley	0' max.	0' max.	6' max.	6' max.	6' max.	6' max.	6' max.	<i>Same as underlying</i>					
Interior	0' max.	0' max.	4' max.	4' max.	4' max.	4' max.	4' max.	<i>Same as underlying</i>					
Upper Level Encroachments (Distance from Min. Setback Line)													
Front	6' max.	6' max.	6' max.	6' max.	6' max.	6' max.	5' max.	<i>Same as underlying</i>					
Side Street	6' max.	6' max.	6' max.	6' max.	6' max.	6' max.	5' max.	<i>Same as underlying</i>					
Rear													
Alley	0' max.	0' max.	6' max.	6' max.	6' max.	6' max.	6' max.	<i>Same as underlying</i>					
Interior	0' max.	0' max.	4' max.	4' max.	4' max.	4' max.	4' max.	<i>Same as underlying</i>					

¹ Side yard parking is only permitted along interior side yards, not abutting streets. Side yard parking land area cannot exceed 60' in width.

² Attached garage/carports are only permitted for the house

³ Ground level encroachments are permitted for frontage elements including porches, stoops, bay windows, porticos, and more. See Section 7.2(d) for additional frontage standards.

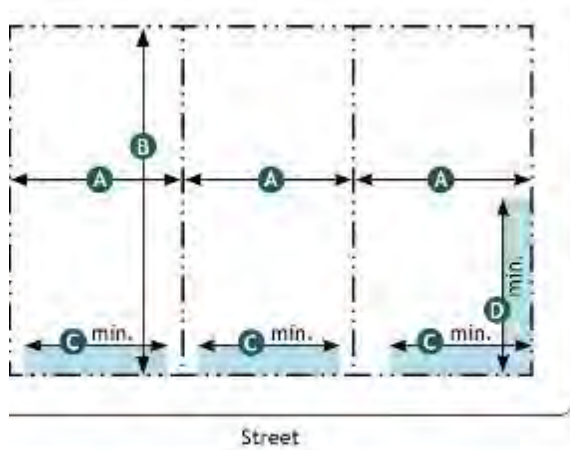
⁴ No ground level encroachments are permitted into the public right-of-way except for awnings, canopies, galleries, and arcades, which can encroach up to 10' provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained.

(2). Downtown Core

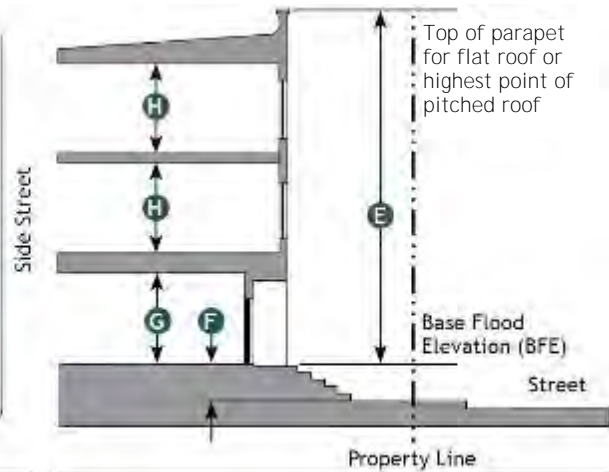


a. Intent	
Description	Primary Characteristics
<p>The Downtown Core is the traditional commercial center of Punta Gorda. This district accommodates the most intense urban development in the city, serving not only the residents of Punta Gorda, but also nearby communities and visitors. The area features mixed-use and multi-story buildings that actively engage streets and sidewalks to promote public gathering and support vibrant retail, dining, and commercial spaces.</p>	Attached or detached
	Small-to-medium footprint commercial and residential buildings
	Small-to-large footprint mixed-use
	Buildings at or near the ROW
	Small-to-no setbacks
	Up to 4 stories by right, or 6 stories with development mitigation
Diverse mix of frontages	

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
Rowhouse	18' min.	86' min.	3.2(d)(5)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Medium Footprint Mixed-Use	180' min.	120' min.	3.2(d)(12)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Neighborhood Shopfront	25' min., 84' max.	86' min.	3.2(d)(14)
Liner	n/a	n/a	3.2(d)(15)
Civic/Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with Rowhouse and Live/Work Building Types

c. Building Form

Footprint			
Lot Coverage ¹	100% max.		
Frontage Build-Out			
Primary Street	70% min.		C
Secondary Street	50% min.		D
Density (Individual Lot) & Height			
	Base	Missing Middle ²	Maximum w/ Mitigation ³
Density	25 du/a	30 du/a	40 du/a
Building Height ¹	E 50' max. (4 stories)	n/a	80' max. (6 stories)
Accessory Structure(s) Height			
Dwelling	2 stories, 25' max.		
Other	1 story, 12' max.		
Finish Ground Floor Level F			
Residential	24" min.		
Commercial ⁴	Max. 6" above grade or BFE + 1' freeboard		
Floor-to-Ceiling Height			
First Story: Commercial ⁴	14' min.		G
Upper Stories	8' min.		H
Habitable Half-Story/Attic ⁵	7' min.		

¹ May be lower for certain building types

² Base Density for Live/Work, Rowhouse, Multiplex, Courtyard Apartments, and Small Footprint Mixed-Use, see Subsection 3.2(d)

³ See Table d. Maximum Building Development Mitigation. Also, Development Mitigation is only applicable to (continued next page)

the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Mixed-Use (MFMU) building type. Areas within the Main Street Overlay are not eligible.

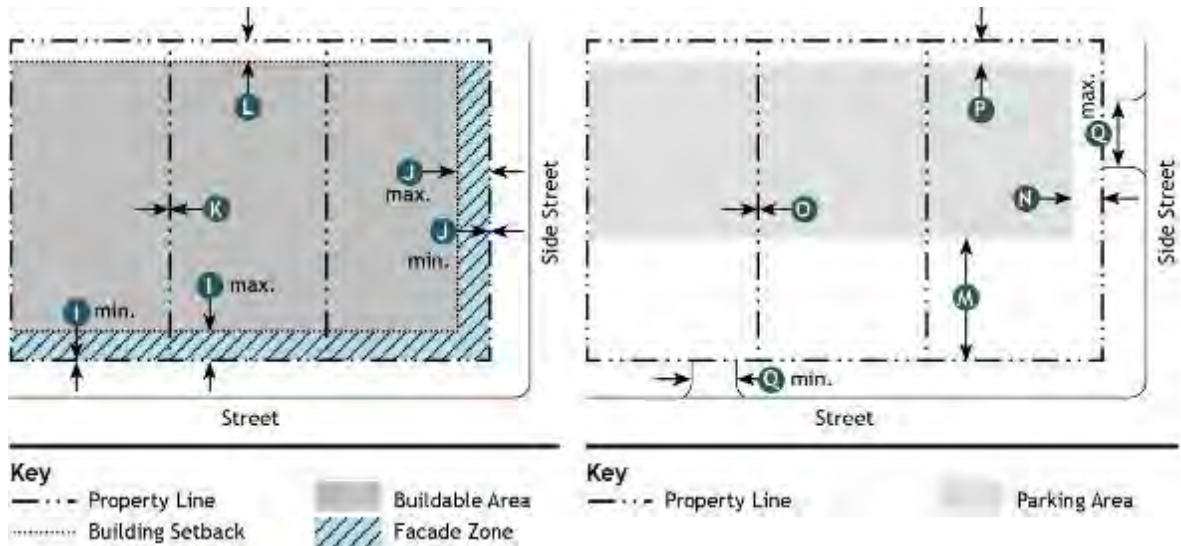
⁴ Does not apply to Neighborhood Shopfront type

⁵ Minimum of 70 sq. ft. of floor area required half of which must have at least 7' high ceilings and the other half at least 5' high ceilings

d. Maximum Building Height and Residential Density with development mitigation requirements						
Maximum allowable		Additional Requirements for Downtown Core properties including those within the Waterfront Overlay				Within Waterfront Overlay
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	Minimum street setback	Extra public open space	Public parking requirement ¹	Public Day Dock ²
65 feet (5 stories)	45 du/a	0.25	5 feet	2.5 percent of site	0.25 spaces per dwelling unit	10 percent of total slips permitted by the regulatory agency
80 feet (6 stories)	60 du/a	0.25	10 feet	5 percent of site	0.5 spaces per dwelling unit	12.5 percent of total slips permitted by the regulatory agency

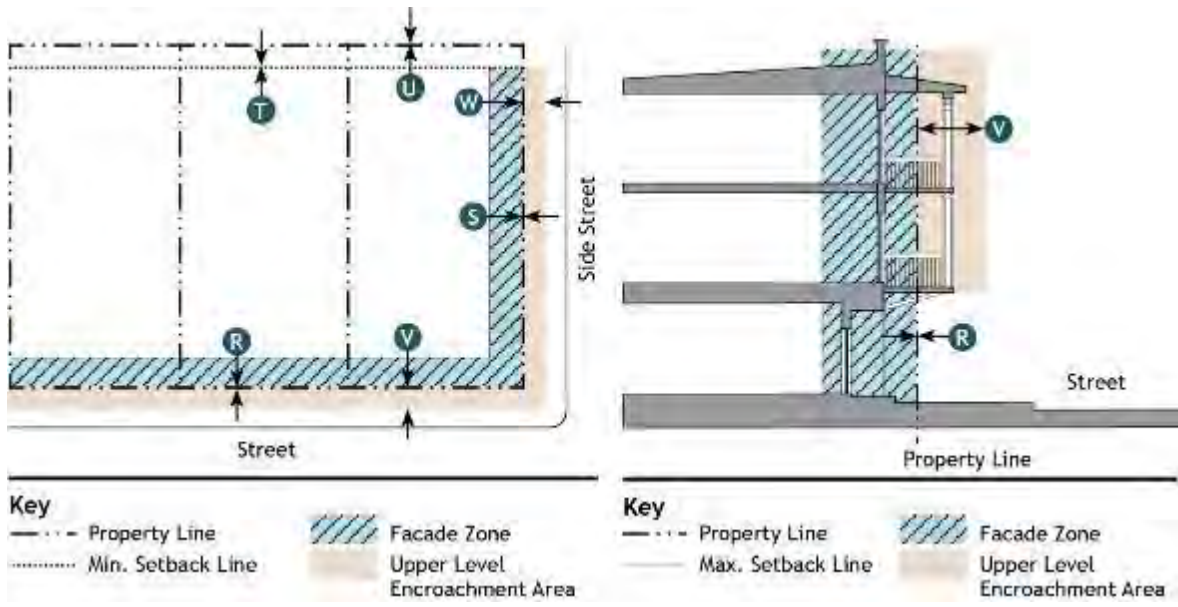
¹ The Public Parking requirement may be fulfilled on-site, off-site, or by a fee in-lieu payment. Public Parking requires an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.

² The Public Day Dock requirement must be fulfilled on-site. Public Day Dock required an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.



e. Building Placement	
Setback (Distance from Property Line)	
Front	0' min., 10' max. I
Side	
Street	0' min., 10' max. J
Interior	0' min. K
Rear	
Alley	0' min. L
Interior	5' min.
Garage Door/Carport (from front facade)	
Attached	Not permitted
Detached	See accessory building setbacks
Accessory Building Setback	
Front	50' min. (permitted in rear yard only)
Side	
Street	0' min.
Interior	0' min.
Rear	
Alley	0' min.
Interior	3' min.
Additional	
See Subsection 3.2(d) - Building Types	

f. Parking	
Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.	
Setback (Distance from Lot Line)	
Front Setback	40' or behind primary building, whichever is less M
Side Setback	
Street	15' min. N
Interior	0' min. O
Rear Setback	
Alley	0' min. P
Interior	5' min.
Additional requirements can be found in Section 3.2(d) - Building Type Standards	
Access	
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d) Q
Additional parking and access standards and specifications can be found in Article 10	
Required Spaces	
Vehicle Parking	See requirements in Article 10, Section 10.6
Bicycle parking requirements can be found in Section 10.13	



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From		
	Min. Setback	Property Line	
Front	n/a	0' max. ¹	R
Side Street	n/a	0' max. ¹	S
Rear			U
Alley	n/a	0' max.	T
Interior	0' max.	0' max.	

Upper Stories Encroachment	Distance From		
	Min. Setback	Property Line	
Front	n/a	6' max.	V
Side Street	n/a	6' max.	W
Rear			U
Alley	n/a	0'	T
Interior	0' max.	0' max.	

h. Architectural Provisions

Allowed Architectural Styles

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions

Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

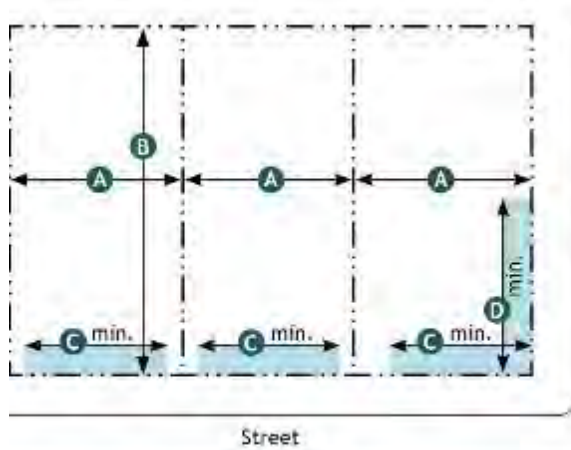
¹ Does not include awnings, canopies, galleries, and arcades, which can encroach past the property line on front and side streets up to 10', provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained.

(3). Village Center

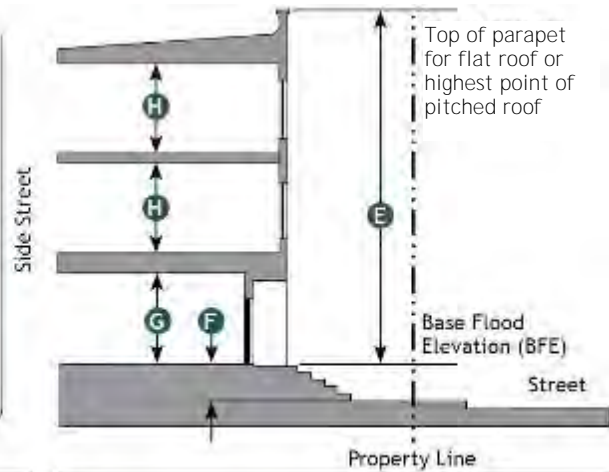


a. Intent	
Description	Primary Characteristics
<p>Village Centers are compact and mixed-use areas that provide a range of residential, commercial, and office uses which not only serve the needs of those living there, but also the needs of adjacent residential neighborhoods. Development patterns are intentionally urban, with street-oriented buildings that create a vibrant walkable environment, though at lower intensities to those permitted in the Downtown Core.</p>	Attached or detached
	Small-to-medium footprint commercial and residential
	Small-to-large footprint mixed-use
	Buildings at or near the ROW
	Small-to-no setbacks
	Up to 5 stories with mitigations
	Diverse mix of frontages

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Rowhouse	18' min.	86' min.	3.2(d)(5)
Triplex/ Fourplex	50' min., 84' max.	86' min.	3.2(d)(7)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Medium Footprint Mixed-Use	180' min.	120' min.	3.2(d)(12)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Neighborhood Shopfront	25' min., 84' max.	86' min.	3.2(d)(14)
Liner	n/a	n/a	3.2(d)(15)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

c. Building Form

Footprint			
Lot Coverage ¹	100% max.		
Frontage Build-Out			
Primary Street	70% min. C		
Secondary Street	50% min. D		
Density (Individual Lot) & Height			
	Base	Missing Middle ² e ²	Maximum w/ Mitigation ³
Density	22 du/a	30 du/a	45 du/a
Building Height ¹ E	35' max. (3 stories)	n/a	65' max. (5 stories)
Accessory Structure(s) Height			
Dwelling	2 stories, 25' max.		
Other	1 story, 12' max.		
Finish Ground Floor Level F			
Residential	24" min.		
Commercial ⁴	Max. 6" above grade or BFE + 1' freeboard		
Floor-to-Ceiling Height			
First Story: Commercial ⁴	14' min.	G	
Upper Stories	8' min.	H	
Habitable Half-Story/Attic ⁵	7' min.		

¹ May be lower for certain building types

² Base Density for Live/Work, Rowhouse, Multiplex, Courtyard Apartments, and Small Footprint Mixed-Use, see Subsection 3.2(d)

³ See Table d. (continued on next page)

Maximum Building Development Mitigation. Also, Development Mitigation is only applicable to the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Mixed-Use (MFMU) building type.

⁴ Does not apply to Neighborhood Shopfront type

⁵ Minimum of 70 sq. ft. of floor area

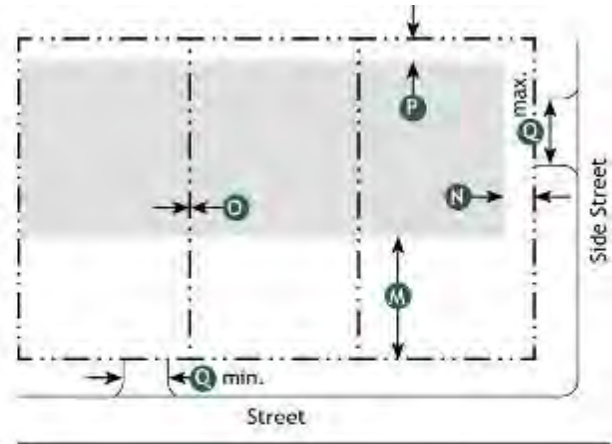
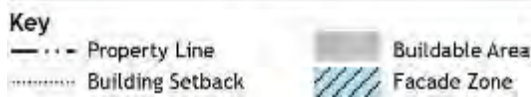
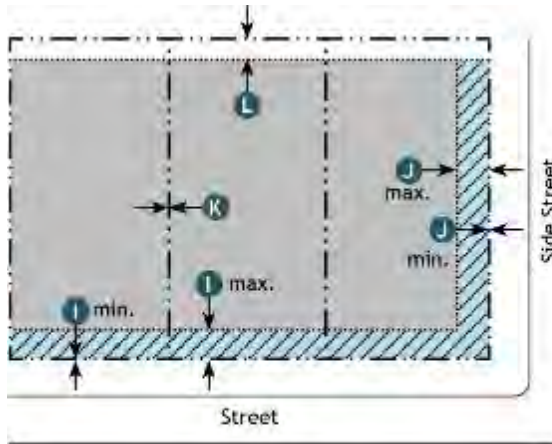
required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings

d. Maximum Building Height with development mitigation requirements						
Maximums		Additional Requirements for all Village Center properties including those within the Medical Overlay or Waterfront Overlay			Within Waterfront Overlay	
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	Public open space	Public parking requirement ¹	Public Day Docks ²
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site	0.25 spaces per dwelling unit	5 percent of total slips permitted by the regulatory agency
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site	0.5 spaces per dwelling unit	10 percent of total slips permitted by the regulatory agency
Waterfront Overlay Only						
80 feet (6 stories)	60 du/a	0.25	15 feet	7.5 percent of site	0.75 spaces per dwelling unit	12.5 percent of total slips permitted by the regulatory agency
Medical Overlay Only ³						
100 feet (7 stories)	45 du/a	0.25	15 feet	7.5 percent of site	N/A	N/A

¹ The Public Parking requirement may be fulfilled on-site, off-site, or by a fee in-lieu payment. Public Parking requires an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.

² The Public Day Dock requirement must be fulfilled on-site. Public Day Dock required an agreement

³ To achieve additional height above 65 feet, a minimum of 80% of the total gross floor area of all buildings on the development site must be dedicated to medical uses.



e. Building Placement

Setback (Distance from Property Line)

Front	0' min., 10' max.	I
Side		
Street	0' min., 10' max.	J
Interior	0' min.	K
Rear		
Alley	0' min.	
Interior	5' min.	L
Garage Door/Carport (from front facade)		
Attached	Not permitted	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	0' min.
Interior	0' min.
Rear	
Alley	0' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

f. Parking

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible

Setback (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is less	M
Side Setback		
Street	15' min.	N
Interior	0' min.	O
Rear Setback		P
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

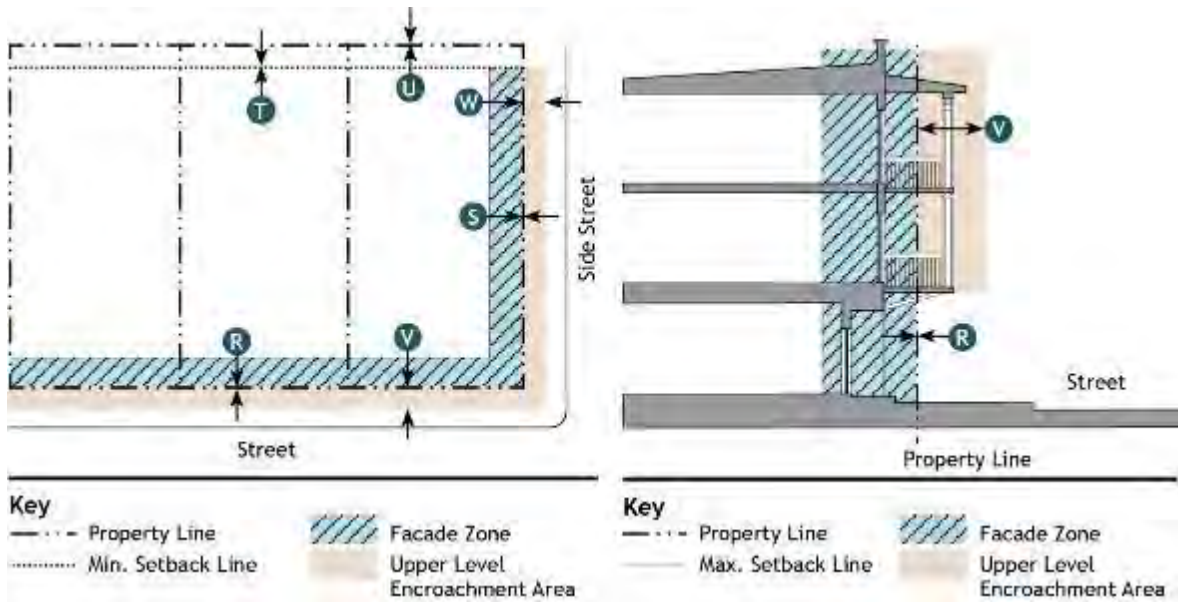
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	Q
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
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Bicycle parking requirements can be found in Section 10.13



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From	
	Min. Setback Line	Property Line
Front	n/a	0' max. ¹ R
Side Street	n/a	0' max. ¹ S
Rear		
Alley	n/a	0' max.
Interior	0' max. T	0' max. U
Upper Stories Encroachment	Distance From	
	Setback Line	Property Line
Front	n/a	6' max. V
Side Street	n/a	6' max. W
Rear		
Alley	n/a	0' max.
Interior	0' max. T	0' max. U

¹ Does not include awnings, canopies, galleries, and arcades, which can encroach past the property line on front and side streets up to 10', provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained

h. Architectural Provisions

Allowed Architectural Styles

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions

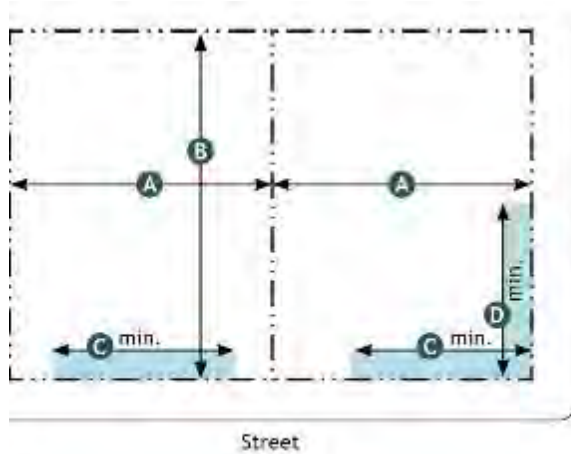
Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(4). Flex Commercial Corridor

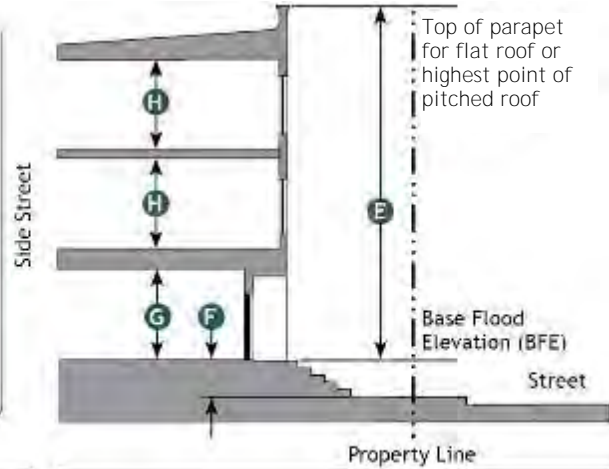


a. Intent	
Description	Primary Characteristics
<p>The Flex Commercial Corridor is intended to accommodate the highest flexibility of uses in Punta Gorda, supplementing existing highway-oriented commercial development with as much new multi-family, office, and commercial development as the market demands. New street-oriented and mixed-use buildings will facilitate walkability and create a more welcoming gateway and seamless transition into the Downtown Core.</p>	<p>Primarily detached</p> <hr/> <p>Medium-to-large footprint commercial and mixed-use buildings</p> <hr/> <p>Small-to-medium setbacks</p> <hr/> <p>Rear yard and limited side yard parking</p> <hr/> <p>Up to 5 stories with mitigations</p> <hr/> <p>Primarily shopfront, awning, and dooryard frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - - Property Line Frontage Buildout



Key
 - - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot	
	Width A	Depth B
Not applicable for this district	50' min.	100' min.

c. Building Form

Footprint	
Lot Coverage ¹	100% max.

Frontage Build-Out	
Primary Street	70% min. ² C
Secondary Street	50% min. D

Density (Individual Lot) & Height			
	Base	Missing Middle ³	Maximum w/ Mitigation ⁴
Density	0	30 du/a	45 du/a
Building Height E	35' max. (3 stories)	n/a	65' max. (5 stories)

Accessory Structure(s) Height	
Dwelling	Not Permitted
Other	1 story, 12' max.

Finish Ground Floor Level F	
Residential	24" min.
Commercial	Max. 6" above grade or BFE + 1' freeboard

Floor-to-Ceiling Height	
First Story: Commercial	14' min. G
Upper Stories	8' min. H
Habitable Half-Story/Attic ⁵	7' min.

¹ May be lower for certain building types
² May be 60% for lots less than 120' wide
³ Density is only applicable to the Small Footprint Mixed-Use, Medium Footprint Mixed-Use Building Types, and the Liner Building Type as an accessory to the Mixed-Use Mixed-Use (MFMU) building type for development sites with a minimum non-residential floor to area

ratio (FAR) of 0.25.

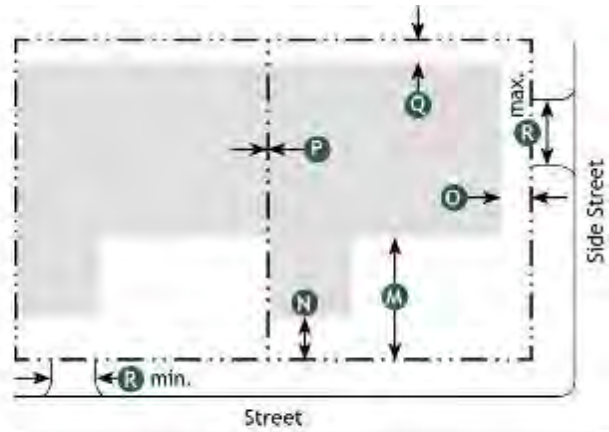
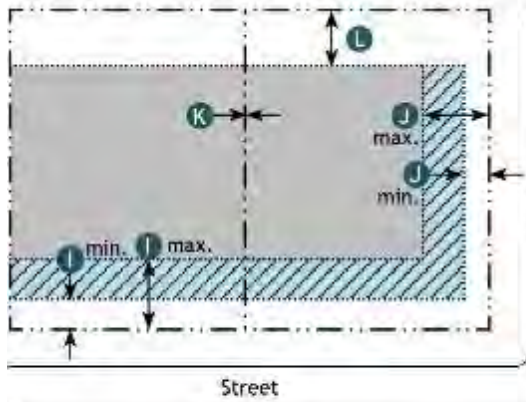
⁴ See Subsection 3.2(j) on Community Mitigations. (Continued on next page) Also, Development Mitigation is only applicable to the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Medium Footprint Mixed-Use (MFMU) building type.

⁵ Minimum of 70 sq. ft. of floor area

required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings

d. Maximum Building Height with development mitigation requirements

Maximums		Additional Requirements for Flex Commercial Corridor properties		
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	<u>Extra</u> public open space
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site



e. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	I
Side		
Street	10' min., 25' max.	J
Interior	5' min.	K
Rear		L
Alley	10' min.	
Interior	25' min.	
Garage Door/Carport (from front facade)		
Attached	Not permitted	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

f. Parking

Location

Parking shall be located behind the primary building and accessed from alleys or side streets wherever possible, though side yard parking areas are permitted provided they do not exceed 60' in width.

Setback (Distance from Property Line)

Front Setback		
Rear Yard Parking	40' or behind primary building, whichever is less	M
Side Yard Parking	15' min.	N
Side Setback		
Street	15' min.	O
Interior	0' min.	P
Rear Setback		Q
Alley	0' min.	
Interior	5' min.	

Access

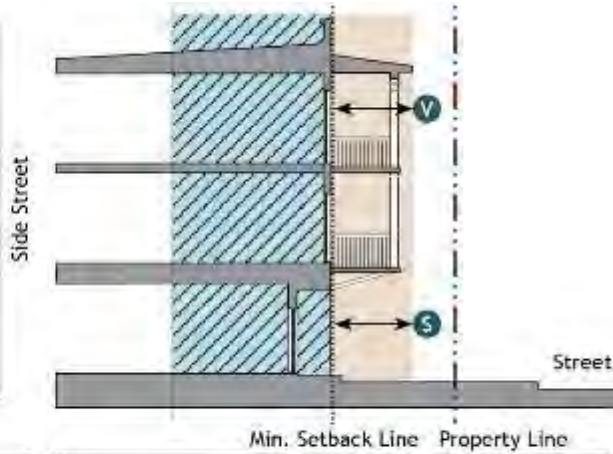
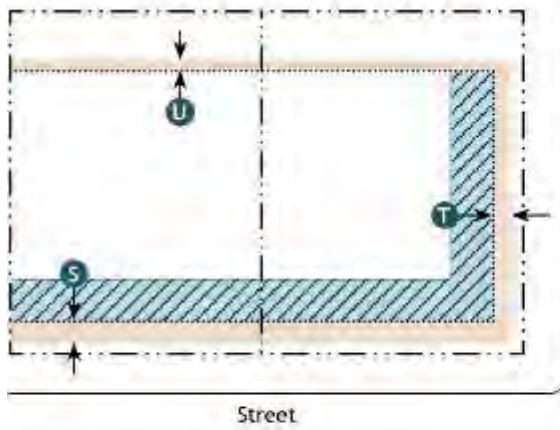
Curb Cut/Parking Driveway Width See Building Types, Subsection 3.2(d) R

Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking See requirements in Article 10, Section 10.6

Bicycle parking requirements can be found in Section 10.13



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From Minimum Setback Line	
Front	6' max.	S
Side Street	6' max.	T
Rear		
Alley	6' max.	
Interior	4' max.	U
Upper Stories Encroachment	Distance From Minimum Setback Line	
Front	6' max.	V
Side Street	6' max.	T
Rear		U
Alley	6' max.	
Interior	4' max.	

h. Architectural Provisions

Allowed Architectural Styles

Not applicable for this district

Standards

N/A

Permitted & Required Frontage Types

At least one of the following is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Additionally, one of the following types is required in combination with the above:	
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

Other Architectural Provisions

Standards

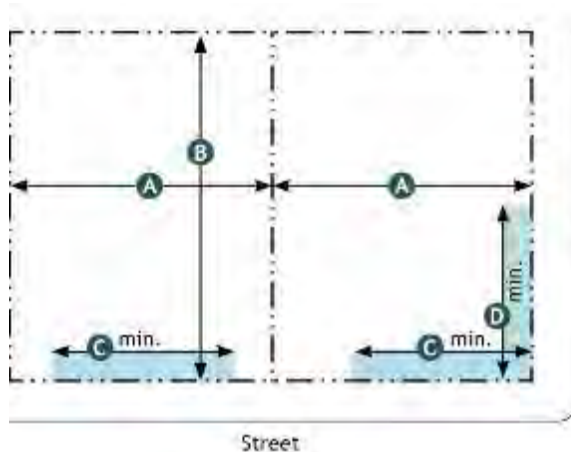
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(5). **Maker Village**

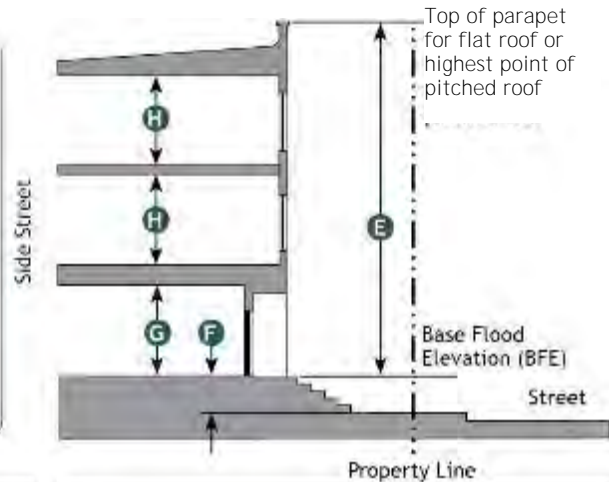


a. Intent	
Description	Primary Characteristics
<p>The Maker Village is an area that includes clusters of light industrial, artisan, and production, distribution, and repair (PDR) uses. New live/work, lofts, and small-scale shopfront and multifamily buildings complement existing one and two-story warehouses to create a unique and complete working neighborhood.</p>	<p>Primarily detached</p> <hr/> <p>Small-to-large footprint commercial, light industrial, and mixed-use buildings</p> <hr/> <p>Small-to-medium setbacks</p> <hr/> <p>Rear yard and limited side yard parking</p> <hr/> <p>Up to 3 stories</p> <hr/> <p>Diverse mix of frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - - Property Line Frontage Buildout



Key
 - - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
Rowhouse	18' min.	86' min.	3.2(d)(5)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Loft	50' min.	90' min. ²	3.2(d)(16)
Warehouse	70' min.	90' min. ²	3.2(d)(17)
Civic/Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with Rowhouse and Live/Work Building Types

² 120' min. lot depth preferred

c. Building Form

Footprint			
Lot Coverage ¹	90% max.		
Frontage Build-Out			
Primary Street	70% min. ²		C
Secondary Street	50% min.		D
Density (Individual Lot) & Height			
	Base	Missing Middle ³	Mitigation ⁶
Density	15 du/a	30 du/a	45 du/a
Building Height ¹	E 35' max. (3 stories)	N/A	50' max. (4 stories)
Accessory Structure(s) Height			
Dwelling	2 stories, 25' max.		
Other	1 story, 12' max.		
Finish Ground Floor Level			
Residential	24" min.		
Commercial	Max. 6" above grade or BFE + 1' freeboard		
Floor-to-Ceiling Height			
First Story: Commercial	14' min.	G	
Upper Stories	8' min.	H	
Habitable Half-Story/Attic ⁵	7' min.		

¹ May be lower for certain building types

² May be 60% for lots less than 120' wide

³ Base Density for Live/Work, Rowhouse, Multiplex, Courtyard Apartments, Small Footprint Mixed-Use, and Loft, see Subsection 3.2(d)

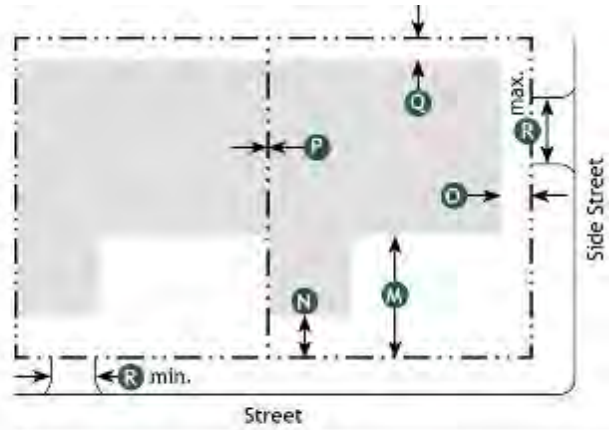
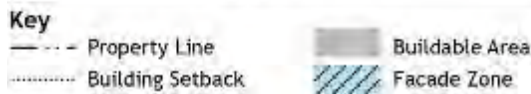
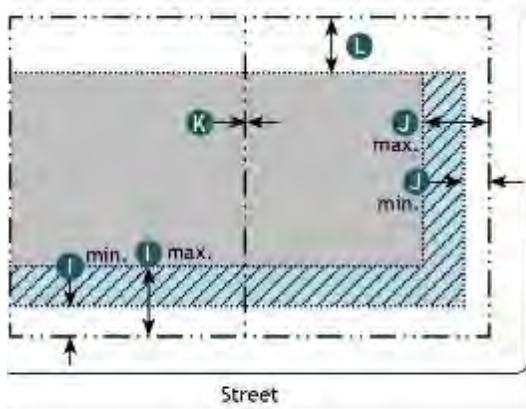
⁴ See Subsection 3.2(j) on Development Mitigations

⁵ Minimum of 70 sq. ft. of floor area required, half of which must have at least 7' high ceilings and the other half at least

5' high ceilings.

⁶ Development Mitigation is only applicable to the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Multi-Family Mixed-Use (MFMU) building type.

d. Maximum Building Height with development mitigation requirements				
Maximums		Additional Requirements for Maker Village properties		
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	<u>Extra</u> public open space
50 feet (4 stories)	45 du/a	0.25	10 feet	5 percent of site



e. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	I
Side		
Street	10' min., 25' max.	J
Interior	5' min.	K
Rear		
Alley	10' min.	
Interior	15' min.	L

Garage Door/Carport (from front façade)

Attached	Not permitted along front façade
Detached	See accessory building setbacks

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

f. Parking

Location

Parking shall be located behind the primary building and accessed from alleys or side streets wherever possible, though side yard parking areas are permitted provided they do not exceed 60'

Setbacks (Distance from Property Line)

Front Setback		
Rear Yard Parking	40' or behind primary building, whichever is less	M
Side Yard Parking	15' min.	N
Side Setback		
Street	15' min.	O
Interior	0' min.	P
Rear Setback		
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

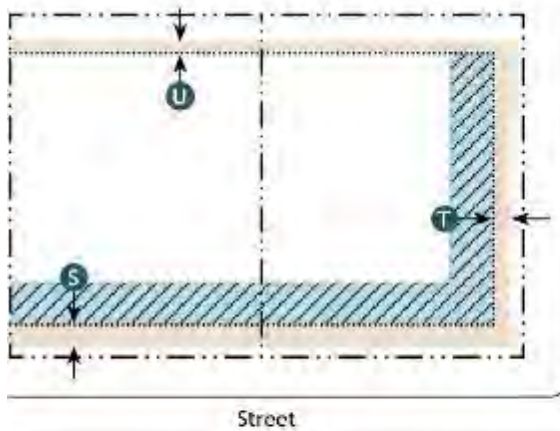
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	R
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

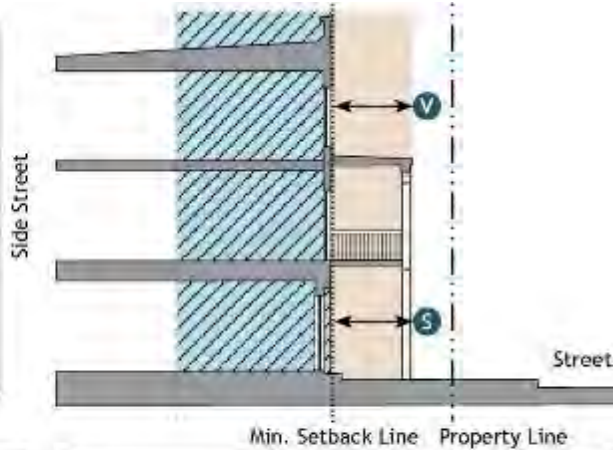
Vehicle Parking	See requirements in Article 10, Section 10.6
-----------------	----------------------------------------------

Bicycle parking requirements can be found in Section 10.13



Key

- - - - - Property Line
- Min. Setback Line
- //// Facade Zone
- Encroachment Area



Key

- - - - - Property Line
- Min. Setback Line
- //// Facade Zone
- Encroachment Area

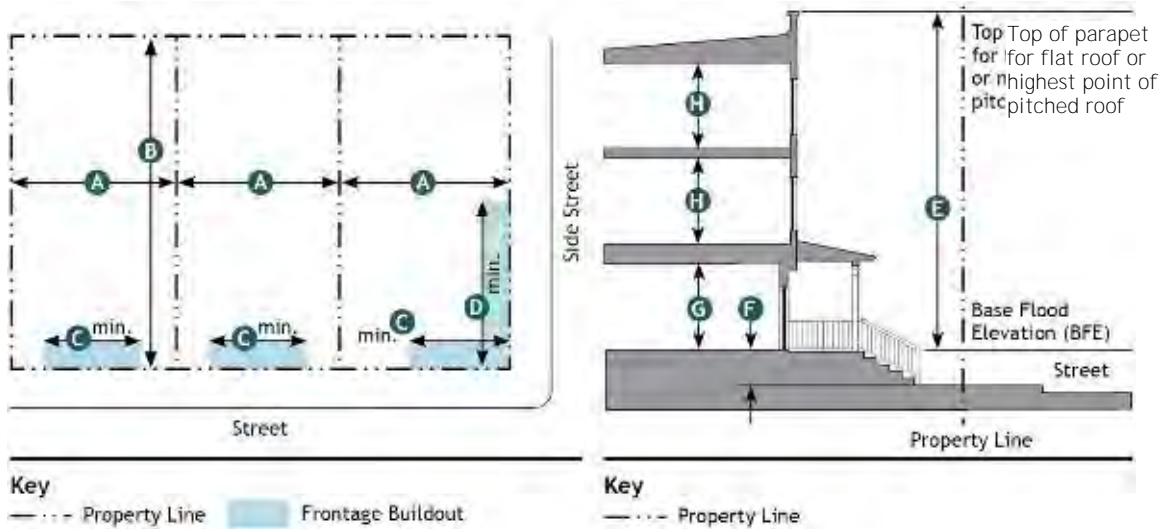
g. Encroachments		h. Architectural Provisions	
Allowed Encroachments		Allowed Architectural Styles¹	Standards
Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)		Florida Wood Frame	7.2(e)(3)
		Folk Victorian	7.2(e)(4)
		Craftsman	7.2(e)(5)
		Queen Anne Revival	7.2(e)(6)
		Colonial/Georgian Revival	7.2(e)(7)
		Neo-Classical Revival	7.2(e)(8)
		Mission	7.2(e)(9)
		Masonry Modern	7.2(e)(11)
		Main Street Vernacular	7.2(e)(12)
		Other Architectural Provisions	Standards
		General Building Standards	7.2(a)
		Elevated Building Standards	7.2(c)
		Frontage Standards	7.2(d)
		¹ The Loft and Warehouse Building Types are exempt from Architectural Style standards	
Ground Level Encroachment	Distance From Minimum Setback Line		
Front	6' max. S		
Side Street	6' max. T		
Rear	U		
Alley	6' max.		
Interior	4' max.		
Upper Stories Encroachment	Distance From Minimum Setback Line		
Front	6' max. V		
Side Street	6' max. T		
Rear			
Alley	6' max.		
Interior	4' max. U		

(6). Neighborhood Transition



a. Intent	
Description	Primary Characteristics
<p>Neighborhood Transition areas provide a similar variety of uses as the Downtown Core and Village Centers, though at scales more closely matching the surrounding residential neighborhoods. Buildings within this district range from shopfronts, to multiplexes, to single-family houses creating a deliberate transition between the highest intensity mixed-use districts and the lowest intensity residential districts.</p>	<p>Detached and attached residential</p> <hr/> <p>Small footprint commercial & mixed-use</p> <hr/> <p>Buildings at or close to ROW</p> <hr/> <p>Small-to-medium side setbacks</p> <hr/> <p>Up to 3 stories</p> <hr/> <p>Primarily stoop, portico, porch, and shop front frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
House	40 min., 150' max.	86' min.	3.2(d)(3)
Rowhouse	18' min., 25' max.	86' min.	3.2(d)(5)
Duplex	40' min., 100' max.	86' min.	3.2(d)(6)
Triplex/Fourplex	50' min., 84' max.	86' min.	3.2(d)(7)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Neighborhood Shopfront	25' min., 84' max.	86' min.	3.2(d)(14)
Civic/Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with House, Rowhouse, and Live/ Work Building Types

c. Building Form

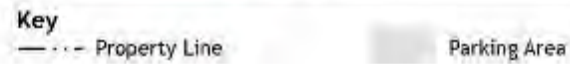
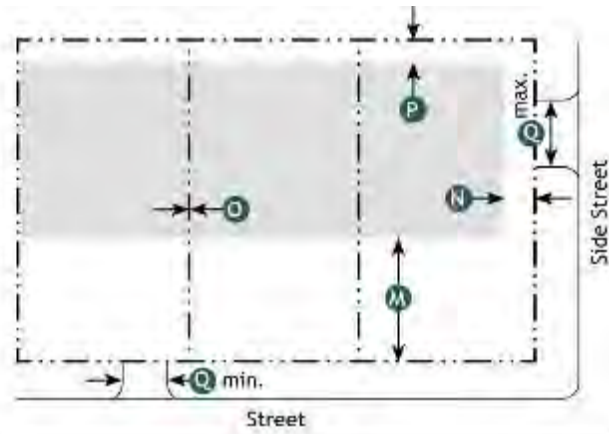
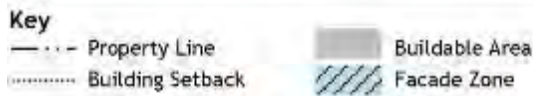
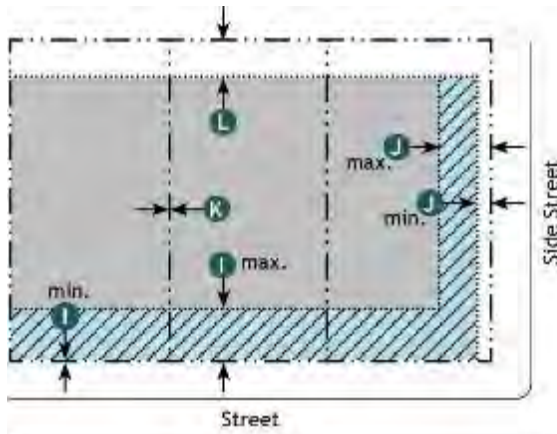
Footprint	
Lot Coverage ¹	90% max.
Frontage Build-Out	
Primary Street	60% min. C
Secondary Street	50% min. D
Density (Individual Lot) & Height	
Base	Missing Middle ²
Density	25 du/a / 30 du/a
Building Height ¹ E	40' max. (3 stories)
Accessory Structure(s) Height	
Dwelling	2 stories, 25' max.
Other	1 story, 12' max.
Finish Ground Floor Level F	
Residential	24" min.
Commercial ⁴	Max. 6" above grade or BFE + 1' freeboard
Floor-to-Ceiling Height	
First Story: Commercial ⁴	14' min. G
Upper Stories	8' min. H
Habitable Half-Story/Attic ⁵	7' min.

¹ May be lower for certain building types

² Base Density for Rowhouse, Triplex/Fourplex, Multiplex, Courtyard Apartments, Live/Work, & Small Footprint Mixed-Use, see Subsection 3.2(d)

⁴ Does not apply to Neighborhood Shopfront type.

⁵ Minimum of 70 sq. ft. of floor area required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings



d. Building Placement

Setback (Distance from Property Line)

Front	0' min., 20' max.	I
Side		
Street	5' min., 20' max.	J
Interior	5' min.	K
Rear		
Alley	10' min.	
Interior	15' min.	L
Garage Door/Carport (from front façade)		
Attached ¹	10' min.	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

¹ Attached garages and carports along the primary street frontage are only permitted for the House Building Type

e. Parking

Location

Except for the House building type, which may include attached garages/carports along the primary street frontage, parking shall be located behind the primary building in the rear yard, and accessed from alleys or side streets wherever possible

Setbacks (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is less	M
Side Setback		
Street	5' min.	N
Interior	0' min.	O
Rear Setback		P
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

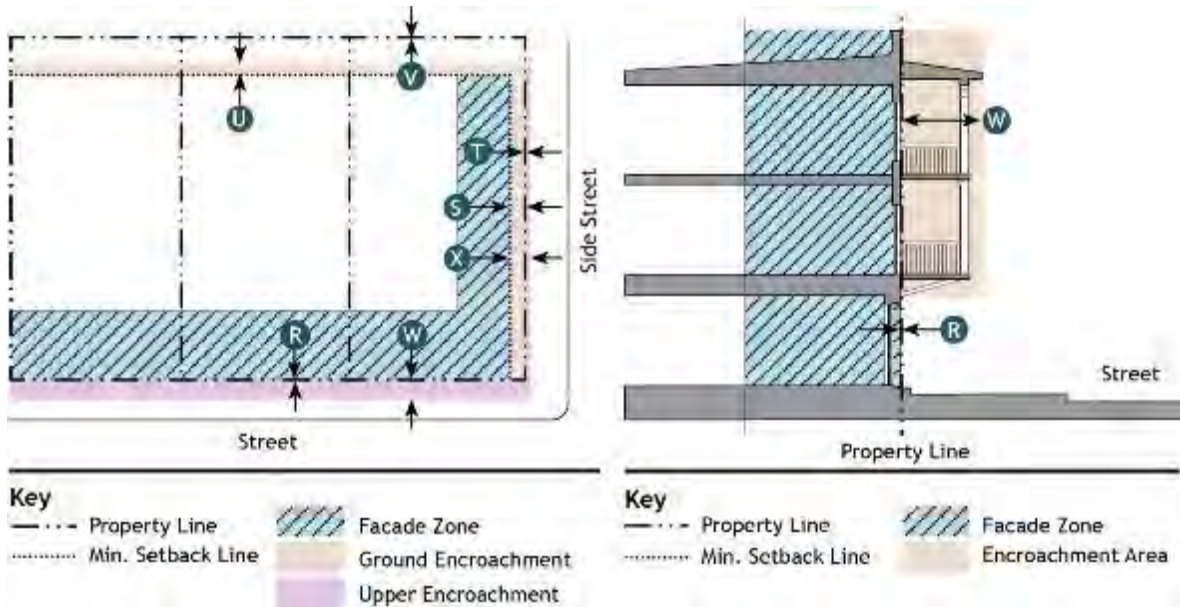
Access

Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	Q
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
Bicycle parking requirements	can be found in Section 10.13



f. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From		
	Min. Setback	Property Line ¹	
Front	n/a	0' max.	R
Side Street	5' max.	0' max.	S, T
Rear			
Alley	6' max.	0' max.	
Interior	4' max.	0' max.	U, V
Upper Level(s) Encroachment	Distance From		
	Min. Setback	Property Line	
Front	n/a	6' max.	W
Side Street	6' max.	1' max.	X
Rear			
Alley	6' max.	0' max.	
Interior	4' max.	0' max.	U, V

¹ Does not include awnings, canopies, galleries, and arcades, which can encroach past the property line on front and side streets up to 10', provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained

g. Architectural Provisions

Allowed Architectural Styles

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Mid-Century Modern	7.2(e)(10)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions

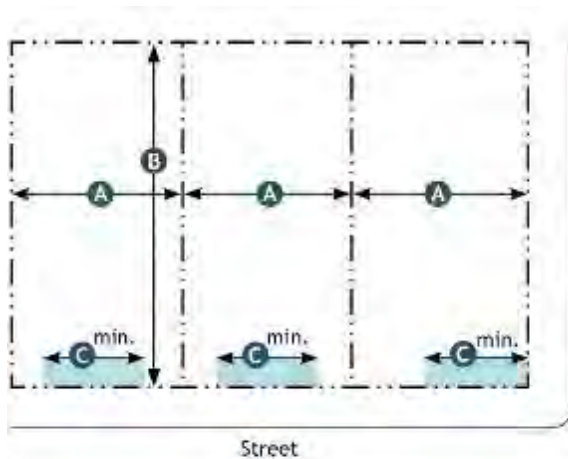
Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(7). Residential Edge

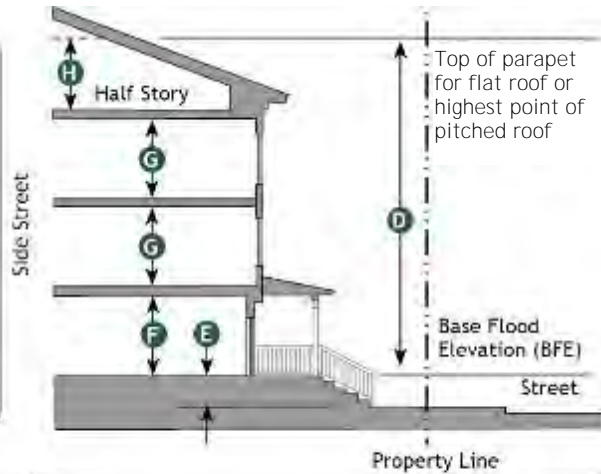


a. Intent	
Description	Primary Characteristics
Along the borders of the Traditional Residential neighborhoods are Residential Edge areas that accommodate a more diverse range of residential building types, including rowhouses, triplexes, fourplexes, and multiplexes buildings. While these areas allow for slightly higher density residential, the overall scale of the buildings still blend with those of the adjacent Traditional Residential areas.	<ul style="list-style-type: none"> Detached & attached residential Narrow-to-average lot widths Small-to-medium setbacks Up to 3 stories Elevated ground floor Primarily stoop, portico, and porch frontages

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
House	40' min., 150' max.	86' min.	3.2(d)(3)
Cottage Court	100' min., 160' max.	120' min.	3.2(d)(4)
Rowhouse	18' min.	86' min.	3.2(d)(5)
Duplex	40' min., 100' max.	86' min.	3.2(d)(6)
Triplex/ Fourplex	50' min., 84' max.	86' min.	3.2(d)(7)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with House, Rowhouse, and Live/Work Building Types

c. Building Form

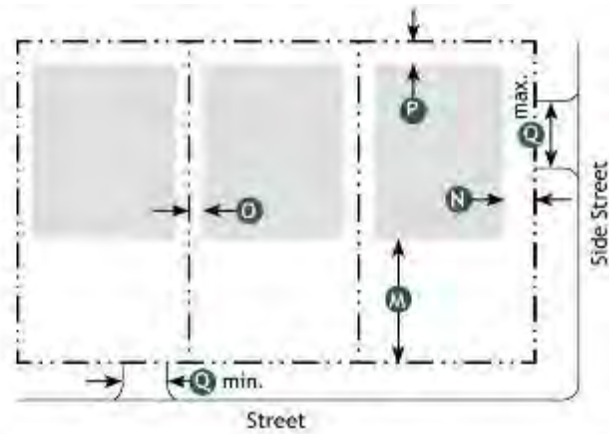
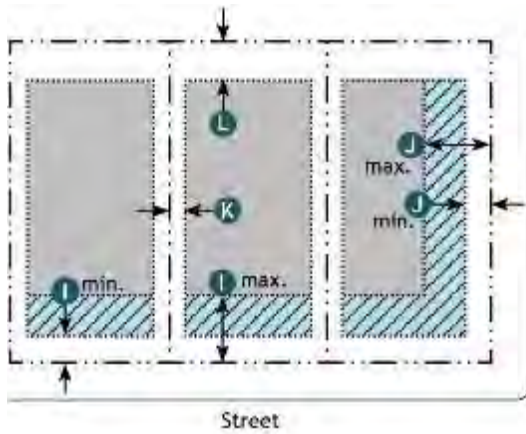
Footprint	
Lot Coverage ¹	80% max.
Frontage Build-Out	
Primary Street	60% min. C
Secondary Street	n/a
Density (Individual Lot) & Height	
	Base
Density ²	25 du/a
Building Height ¹ D	40' max. (3 stories)
Accessory Structure(s) Height	
Dwelling	2 stories, 25' max.
Other	1 story, 12' max.
Finish Ground Floor Level E	
Residential	24" min.
Live/Work ³	Max. 6" above grade or BFE + 1' freeboard
Floor-to-Ceiling Height	
First Story: Live/Work	14'/12' min.
First Story: Residential	8' min. F
Upper Stories	8' min. G
Habitable Half-Story/Attic ⁴	7' min. H

¹ May be lower for certain building types

² Base Density for Rowhouse, Triplex/Fourplex, Multiplex, and Live/Work, see Subsection 3.2(d)

³ Applies only to live/work buildings with ground floor Storefront frontage types

⁴ Minimum of 70 sq. ft. of floor area required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings



d. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	I
Side		
Street	10' min., 25' max.	J
Interior ¹	5' min.	K
Rear		L
Alley	10' min.	
Interior	15' min.	
Garage Door/Carport (from front façade)		
Attached ²	10' min.	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

¹ Rowhouses & attached Live/Work buildings can be built up to the interior side lot line, except for those that bookend a run or grouping of these building types, which must still comply with the 5' minimum interior side setback

² Attached garages and carports along the primary street frontage are only permitted for the House Building Type

e. Parking

Location

Except for the House building type, which may include attached garages/carports along the primary street frontage, parking shall be located behind the primary building in the rear yard, and accessed from alleys or side streets wherever possible

Setbacks (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is greater	M
Side Setback		
Street	5' min.	N
Interior	5' min.	O
Rear Setback		P
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

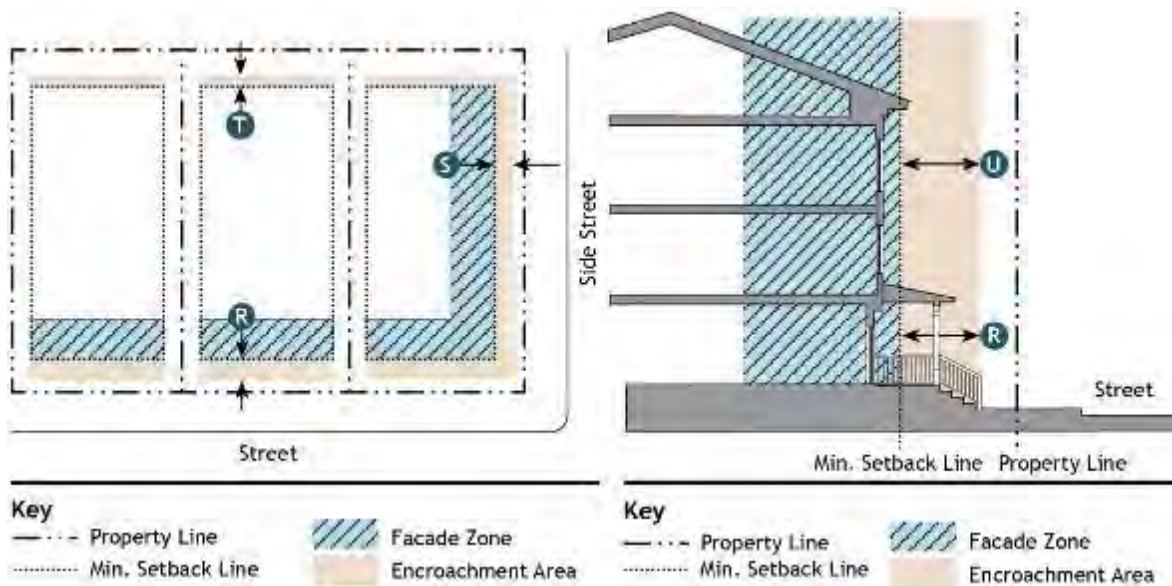
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	Q
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
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Bicycle parking requirements can be found in Section 10.13



f. Encroachments

Allowed Encroachments
Balconies, Bay Windows, Entry Canopies, Porches, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From Minimum Setback Line	
Front ¹	5' max.	R
Side Street ¹	5' max.	S
Rear		T
Alley	6' max.	
Interior	4' max.	

Upper Stories Encroachment	Distance From Minimum Setback Line	
Front	6' max.	U
Side Street	6' max.	S
Rear		T
Alley	6' max.	
Interior	4' max.	

¹ Stairs, ramps, and other vertical circulation elements needed to access the entry at or above BFE may extend all the way to the property line

g. Architectural Provisions

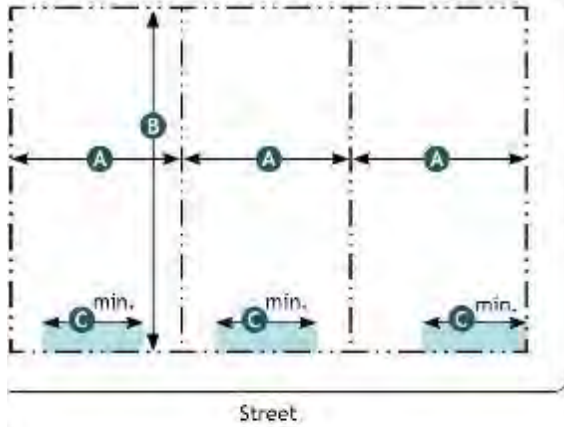
Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Mediterranean Revival	7.2(e)(10)
Masonry Modern	7.2(e)(11)
Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(8). Traditional Residential

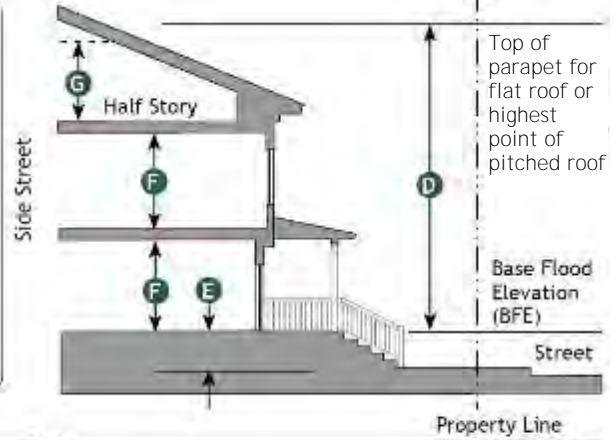


a. Intent	
Description	Primary Characteristics
Traditional Residential areas are the one and two-family home neighborhoods of Traditional Punta Gorda. These areas are characterized by detached single-family houses and duplexes on compact and regular-sized lots that feature traditional elements like porches and porticos which enhance the quaint and walkable character of the city.	Detached residential
	Narrow-to-average lot width
	Small-to-medium setbacks
	Up to 2 stories
	Elevated ground floor
	Primarily stoop, portico, and porch frontages

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - - Property Line Frontage Buildout



Key
 - - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
House	40 min., 150' max.	86' min.	3.2(d)(3)
Cottage Court	100' min., 160' max.	120' min.	3.2(d)(4)
Duplex	40' min., 100' max.	86' min.	3.2(d)(6)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

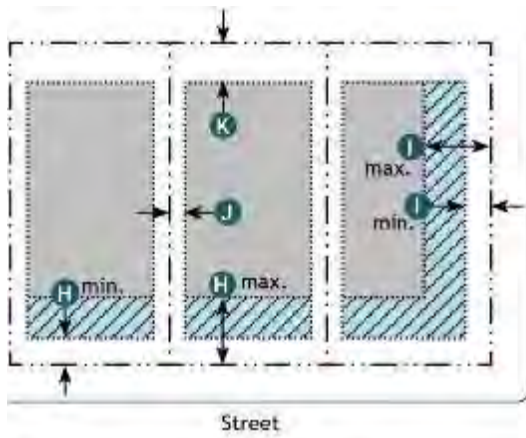
¹ Permitted only with the House Building Type

c. Building Form

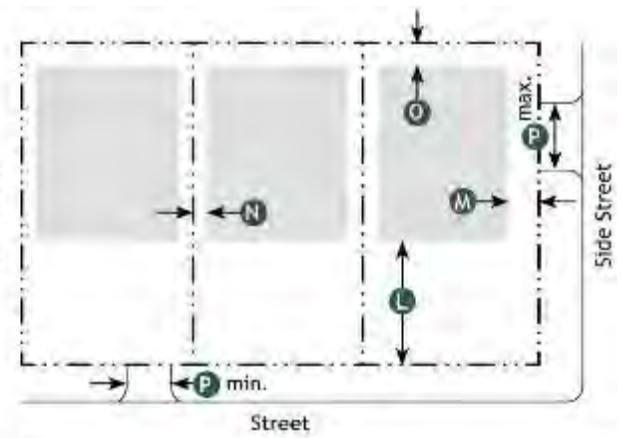
Footprint	
Lot Coverage ¹	70% max.
Frontage Build-Out	
Primary Street	60% min. C
Secondary Street	n/a
Density (Individual Lot) & Height	
Base	
Density	25 dua
Building Height ¹ D	35' max. (2 stories)
Accessory Structure(s) Height	
Dwelling	2 stories, 25' max.
Other	1 story, 12' max.
Finish Ground Floor Level E	
Residential	24" min.
Floor-to-Ceiling Height	
Full Story	8' min. F
Habitable Half-Story/Attic ²	7' min. G

¹ A habitable half-story/attic may be added above the second story, for a 2.5-story building

² Minimum of 70 sq. ft. of floor area required half of which must have at least 7' high ceilings and the other half at least 5' high ceilings



Key
 - - - Property Line
 Building Setback
 Buildable Area
 Facade Zone



Key
 - - - Property Line
 Parking Area

d. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	H
Side		
Street	10' min., 25' max.	I
Interior	5' min.	J
Rear		K
Alley	10' min.	
Interior	15' min.	
Garage Door/Carport (from front façade)		
Attached ¹	10' min.	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

¹ Attached garages and carports along the primary street frontage are only permitted for the House Building Type

e. Parking

Location

Except for the House building type, which may include attached garages/carports along the primary street frontage, parking shall be located behind the primary building in the rear yard, and accessed from alleys or side streets wherever possible

Setbacks (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is greater
Side Setback	
Street	5' min. M
Interior	5' min. N
Rear Setback	O
Alley	0' min.
Interior	5' min.

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

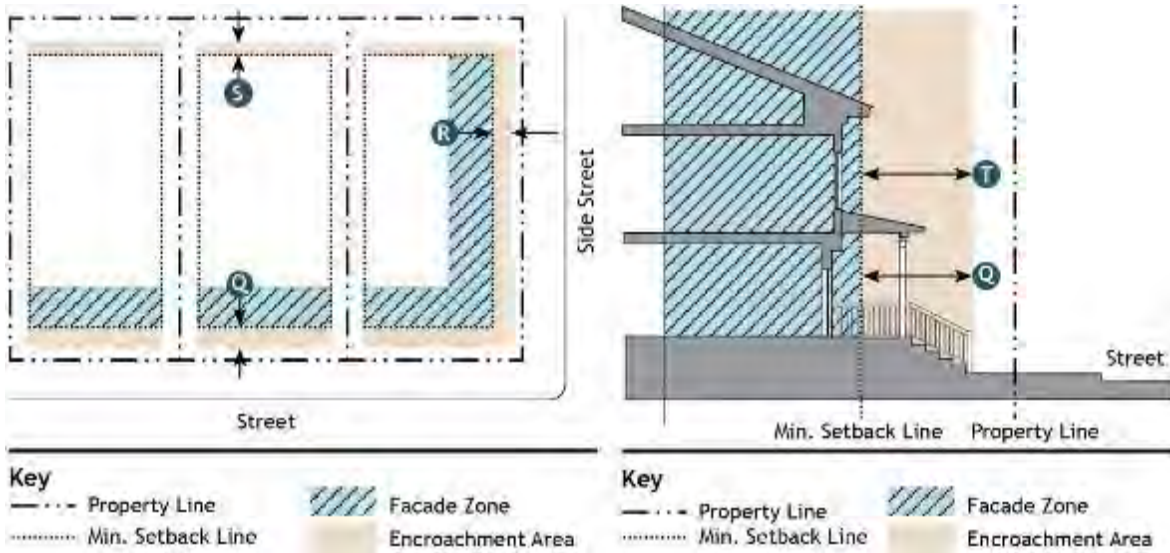
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	P
---------------------------------	---------------------------------------	---

Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
-----------------	----------------------------------------------

Bicycle parking requirements can be found in Section 10.13



f. Encroachments

Allowed Encroachments	
Ground Level	Stairs, Ramps, Bay Windows, Porticos, Stoops, and Entry Canopies only
Upper Stories	Balconies and Bay Windows

See Article 7 for a full list of permitted frontage types with additional details and standards

Ground Level Encroachment	Distance From Minimum Setback Line	
Front ¹	5' max.	Q
Side Street ¹	5' max.	R
Rear		S
Alley	6' max.	
Interior	4' max.	

Upper Stories Encroachment	Distance From Minimum Setback Line	
Front	5' max.	T
Side Street	5' max.	R
Rear		
Alley	6' max.	
Interior	4' max.	

¹ Stairs, ramps, and other vertical circulation elements needed to access the entry at or above BFE may extend all the way to the property line

g. Architectural Provisions

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Mid-Century Modern	7.2(e)(10)
Masonry Modern	7.2(e)(11)
Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(9). Parks & Open Space



a. Intent	
Description	Primary Characteristics
Parks and Open Space encompasses those lands owned by the City with a primary purpose of providing park facilities and public open spaces for the mitigation of the community. City Council will set development standards for these areas on a project-by-project basis through the City’s Capital Improvements Program in alignment with the adopted Comprehensive Plan and Parks and Recreation Master Plan.	Serves recreational and civic uses Accessible to the public Limited buildings permitted Limited impervious surface areas Development standards subject to design review and Council approval
b. Development Standards	
Permitted Building Types	Buildings, not including public bathrooms, storage structures, kiosks, or other open-air structures such as gazebos, shall comply with the standards for Civic/Institutional Buildings as defined in Subsection 3.2(d)(18) and will be subject to design review
Lot Standards	None
Maximum Building Height	Subject to design review and approval by City Council

(10). Historic Districts Overlay

a. **Intent:** The purpose of the Historic Districts Overlay is to promote the educational, cultural, and general welfare of the public through the preservation, protection, and enhancement of the old, historic, or architecturally significant structures and areas of the City and to maintain such structures and areas as visible reminders of the history and cultural heritage of the City, the state, and the nation. The Historic Districts Overlay contains four sub-districts, the Downtown Historic District, the Main Street Historic District, the Grace Street Mid-Century Modern Historic District, and the Neighborhood Conservation District, which are described as follows:

1. **Downtown Historic District:** This sub-district preserves and enhances the largest remaining cluster of historic commercial and residential buildings in Punta Gorda. In addition to stricter regulations regarding the demolition and renovation of historic structures (Section 16.3), development in this district must comply with a more select range of architectural styles that directly reflect the character of past and existing historic structures.
2. **Main Street Historic District:** This sub-district preserves and enhances the historic low-rise commercial buildings in Downtown Punta Gorda's, ensuring that new development on both sides of these streets is compatible and create a more complete and cohesive traditional main street district. In addition to stricter regulations regarding the demolition and renovation of historic structures (Section 16.3), development in this district is ineligible for Development Mitigation allowances for residential density and building and must comply with a more select range of architectural styles that directly reflect the character of past and existing historic structures.
3. **Grace Street Mid-Century Modern District:** This sub-district preserves and enhances the unique cluster of ranch-style homes built in the 1950s and 1960s along W Ann and W Grace Street between Berry and McGregor Street. New residential development and renovations in this district must comply with architectural standards that preserve the mid-century modern architectural style of the existing historic structures.
4. **Neighborhood Conservation District:** This sub-district enhances the historically platted neighborhoods East of US 41 by encouraging new traditional development that will restore this once vibrant and bustling historic neighborhood. Development in this district must comply with a more select range of architectural styles that directly reflect the historic structures that were once located here.

- b. **Applicability:** Properties within the Historic Districts Overlay are subject to specific standards found in this section, and to the review procedures of the Historic Preservation Advisory Board (HPAB) as described in Sections 8.1 and 16.3.
- c. **Historic Districts Overlay Designated:** For the purposes of this section, the Historic Districts Overlay is hereby established as a series of areas which overlap and overlay existing regulating districts. The boundaries of this overlay shall be designated on the official Regulating Plan for the Traditional Punta Gorda Zoning District. The Historic Districts Overlay may be applied in combination with any underlying base regulating district, and none shall be established or implemented unless deemed and found by the Historic Preservation Advisory Board (HPAB) to be of special significance according to the procedures outlined in Section 16.3.
- d. **Sub-districts Established:** The Historic Districts Overlay shall be composed of four (4) Local Register historic sub-districts identified as the Downtown District, the Main Street District, the Grace Street Mid-Century Modern District, and the Neighborhood Conservation District, which are hereby established. The boundaries of these sub-districts shall be designated on the official Regulating Plan for the Traditional Punta Gorda Zoning District. Where the term Punta Gorda Historic District (or a similar reference) is used in this section or in any supplementary materials, it shall apply to both sub-districts. However, where there is a specific reference to a sub-district, that specific reference shall apply and supersede any reference to the Historic Districts Overlay.
- e. **Specific Standards:** Development within the Historic Districts Overlay shall comply with all underlying Regulating Districts standards established in Subsection 3.2(c), except as otherwise noted below:
1. Permitted Architectural Styles: Buildings in this district must comply with the Architectural Style Standards in Article 7, Section 7.2(e) for the following styles:
 - i. Downtown Historic District:
 - Florida Wood Frame Vernacular
 - Folk Victorian
 - Craftsman
 - Queen Anne Revival
 - Colonial/Georgian Revival
 - Neo-Classical Revival
 - Mission
 - Main Street Vernacular
 - ii. Main Street Historic District:

- Florida Wood Frame Vernacular
 - Folk Victorian
 - Craftsman
 - Queen Anne Revival
 - Colonial/Georgian Revival
 - Main Street Vernacular
 - Masonry Modern
- iii. Grace Street Mid-Century Modern Historic District:
- Mid-Century Modern
- iv. Neighborhood Conservation Sub-district
- Florida Wood Frame Vernacular
 - Folk Victorian
 - Craftsman
 - Queen Anne Revival
 - Colonial/Georgian Revival
 - Neo-Classical Revival
 - Mission
 - Main Street Vernacular
- f. Exterior Building Materials: The application of artificial siding, including aluminum and vinyl siding, shall not be permitted on structures listed on the Local Register due to its potential to damage wood frame buildings. However, vinyl siding may be replaced on historic structures which, as of January 1, 2005, already had it. Vinyl siding may also be used in new buildings within the Historic Overlay, provided it is of high quality and is designed to match the plank sizes and patterns found in historic wood siding for the chosen architectural style.
- g. Building Height
1. Main Street Historic District: Buildings in this district shall not exceed 35' max. (2 stories) and shall not be eligible for any additional height allowance through the Community Mitigation Program outlined in Subsection 3.2(j).

(11). **Medical Overlay District**

- a. **Intent:** The Medical Overlay District provides additional development intensity for development in and around the hospital. As communities grow and change, hospitals must expand and evolve to meet the needs of the region. This overlay is intended to support the needs of hospitals today and in the future while also encouraging a vibrant medical-focused mixed-use district that brings new jobs, medical and other essential workers as

residents to this area.

- b. **Applicability:** Properties within the Medical Overlay District are subject to specific standards found in this section.
- c. **Specific Standards:** Development within the Medical Overlay District shall comply with all underlying Regulating Districts standards established in Subsection 3.2(c), except as otherwise noted below:
 - i. **Building Height:** Buildings in this district may exceed those of the underlying regulating district up to a base height of 50 feet (4 stories) and a maximum height with development mitigation requirements of 100 feet (7 stories).
- d. **Development Mitigation** allowances/requirements are available in the Medical Overlay District and are shown below in Table 3.2-11
 - i. Building types available for Development Mitigation are limited to Medium Footprint Mixed Use (MFMU) and Liner (as accessory to MFMU) Building Types.
 - ii. A minimum of 25 percent of the development total floor to area ratio must be non-residential (FAR should be clearly defined as total building area (cubical content /impact fees charged excludes parking, outdoor plaza/dining/pavilion, or any other unenclosed space) by total land area.

Table 3.2-11: Allowances/requirements for Development Mitigation in the Medical Overlay District.

Maximums		Additional Requirements for all properties within the Medical Overlay District		
Building Height	Residential Density	minimum non-residential floor to area ratio (FAR)	minimum street setback	Public open space
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site
100 feet ¹ (7 stories)	45 du/a	0.25	15 feet	7.5 percent of site

¹ To achieve additional height above 65 feet, a minimum of 80% of the total gross floor area of all buildings on the development site must be dedicated to medical uses.

(12). **Waterfront Overlay District**

- a. **Intent:** The Waterfront Overlay District provides additional development intensity for development on waterfront parcels to encourage continued water dependent economic activities and greater public access to the waterfront.
- b. **Applicability:** Properties within the Waterfront Overlay District are subject to the specific standards found in this section.
- c. **Specific Standards:** Development within the Waterfront Overlay District shall comply with all underlying Regulating Districts standards established in Subsection 3.2(c).
- d. **Permitted Uses:** In addition to the uses permitted by the underlying regulating district the following maritime and non - maritime uses are also permissible:
 - i. Marinas, including industrial marinas and sports marinas.
 - ii. Boat ramps including unimproved launch facilities for non - motorized vessels.
 - iii. Ferry or water taxi terminals.
 - iv. Excursion and charter boat facilities.
 - v. Offshore mooring facilities.
 - vi. Rental facilities for water-oriented sports equipment.
 - vii. Parks.
 - viii. Public esplanades, bike paths and boardwalks.
 - ix. Environmental educational facilities.
 - x. Recreational fishing piers.
 - xi. Transit and pedestrian/bicycle facilities.
 - xii. Mixed use facilities when greater than 50% non - residential.
 - xiii. Event/civic centers (public).
 - xiv. Marine dry storage facility.
- e. **Permitted Accessory Uses and Structures:**
 - i. Uses and structures which are customarily incidental and subordinate to permitted uses.
 - ii. Such other uses as determined by the Zoning Official or his/her designee to be:
 - Appropriate by reasonable implication and intent of the district.
 - Similar to another use either explicitly permitted in the district or allowed by special exception.

f. **Development Mitigation** allowances/requirements are available in the Waterfront Overlay District and are shown below in Table 3.2-12

- i. The Public Day Dock requirement must be fulfilled on-site. Public Day Docks require an agreement between the City and property owner.
- ii. Building types available for Development Mitigation are limited to Medium Footprint mixed use and liner (as accessory to MFMU) Building Types.
- iii. A minimum of 25 percent of the development total floor to area ratio must be non-residential (FAR should be clearly defined as total building area (cubical content /impact fees charged excludes parking, outdoor plaza/dining/pavilion, or any other unenclosed space) by total land area.

Table 3.2-12: Allowances/requirements for Development Mitigation in the Waterfront Overlay District.						
Maximums, all districts		Within Waterfront Overlay only				
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	Public open space	Public parking requirement ¹	Public Day Docks
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site	0.25 spaces per dwelling unit	5 percent of total slips permitted by the regulatory agency
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site	0.5 spaces per dwelling unit	10 percent of total slips permitted by the regulatory agency
80 feet (6 stories)	60 du/a	0.25	15 feet	7.5 percent of site	0.75 spaces per dwelling unit	12.5 percent of total slips permitted by the regulatory agency

¹ The Public Parking requirement may be fulfilled on-site, off-site, or by a fee in-lieu payment. Public Parking requires an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.

Article 3

Zoning Regulating Districts

The following Base Districts, Overlay Districts, and Planned Development Districts are established in the City of Punta Gorda.

Section 3.1. District Classification

- (a). **Base Districts.** The following general base districts are hereby established. and are described in the sections that follow:

Form-Based Districts:

TPG	Traditional Punta Gorda District	Mixed Use
-----	----------------------------------	-----------

Conventional Zoning Districts:

EP:	Environmental Preserve District	Residential
GS:	General Single-Family District	Residential
GM:	General Multi-Family District	Residential
MH:	Manufactured Home District	Residential
NR:	Neighborhood Residential District	Residential
NC:	Neighborhood Center District	Mixed Use
HC:	Highway Commercial District	Commercial
P:	Public District	Governmental

- (b). **Overlay Districts.** The following overlay districts are hereby established- and are described in Section 3.13. The overlays within the Traditional Punta Gorda zoning district are also described in detail in Subsection 3.2.(c).(10).

SRO:	Special Residential Overlay District
HDO:	Historic Districts Overlay
	DHD: Downtown Historic District
	MSD: Main Street Historic District
	GHD: Grace Street Mid-Century Historic District
	NCD: Neighborhood Conservation District
APO:	Airport Protection Overlay District
ICO:	Interchange Commercial Overlay District
EPO:	Emerald Point Condominium Overlay District
MD:	Medical Overlay District
WD:	Waterfront Overlay District

- (c). **Planned Development Districts.** The following planned development districts are hereby established. (See Article 5 for details of each planned development district.)

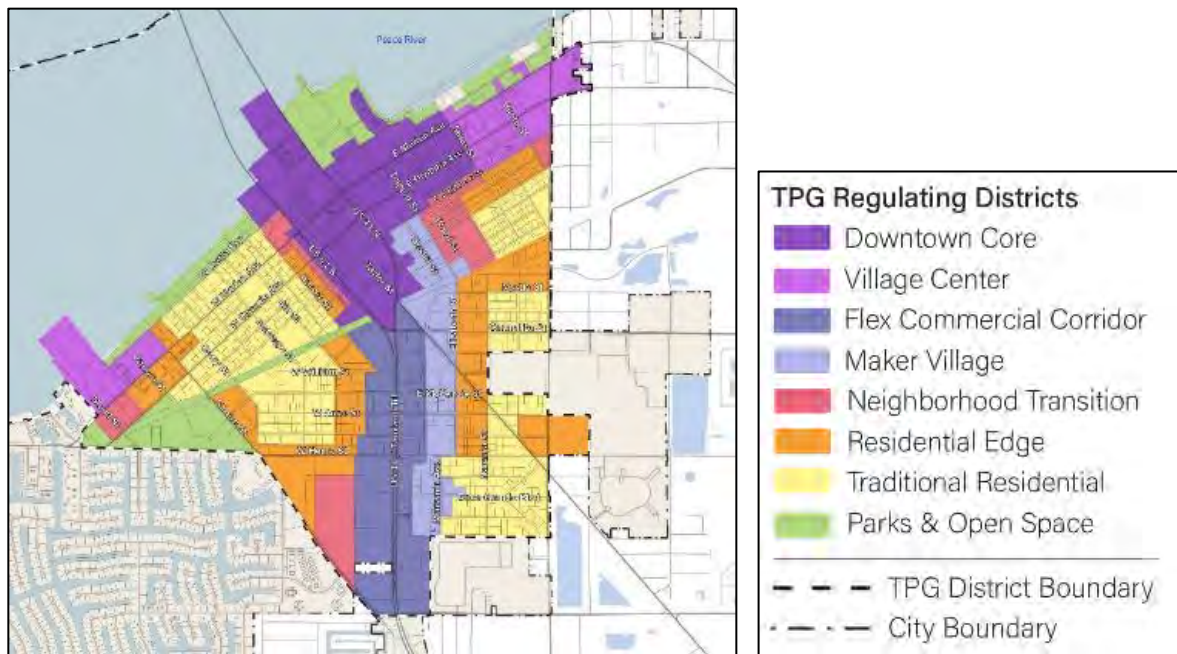
PDN:	Planned Development Neighborhood
PDV:	Planned Development Village
PEC:	Planned Employment Center
PMU:	Planned Mixed Use

Section 3.2. TPG, Traditional Punta Gorda District

(a). Purpose, Regulating Districts, and Organization.

- (1). The Traditional Punta Gorda (TPG) zoning district was created to implement portions of the 2019 Citywide Master Plan which called for a new form-based code for central portions of Punta Gorda. Master plan goals include improving walkability and bikeability to ensure community safety and economic vibrancy, promoting a greater variety of housing including Missing Middle housing types, creating new historic districts, enabling commercial and mixed-use infill development in certain locations, and ensuring high-quality growth that preserves and enhances community character.
- (2). The Traditional Punta Gorda (TPG) zoning district includes land identified on Figure 1, which is bounded generally by Charlotte Harbor to the north, Cooper Street on the east, by the northern edge of the Emerald Lake community and Airport Road on the south, and by Shreve Street and West Henry Street on the southwest.
 - a. All land in this zoning district is assigned to one of eight regulating districts:
 1. Downtown Core
 2. Village Center
 3. Flex Commercial Corridor
 4. Maker Village
 5. Neighborhood Transition
 6. Traditional Residential
 7. Residential Edge
 8. Parks & Open Space
 - a. Some land in this zoning district may be assigned to the following overlay districts, sub-districts, or may be indicated as Local Register historic properties:
 1. Historic Districts Overlay
 - i. Downtown Historic District
 - ii. Main Street Historic District
 - iii. Grace Street Mid-Century Modern Historic District
 - iv. Neighborhood Conservation District
 2. Medical Overlay District
 3. Waterfront Overlay District
 - b. The regulating districts are shown generally on Figure 1 below. The

regulating districts and the overlay districts are shown in detail on the regulating plan for the TPG zoning district in Subsection 3.2(b).



- (3). The TPG zoning district can be navigated in various ways. For instance:
 - a. To determine the regulations for a particular property:
 1. Locate the property on the detailed regulating plan in Subsection 3.2(b) and identify the property’s regulating district, and any overlay districts that may also apply.
 2. Read about the basic regulations for property in each regulating district and overlay district in Subsection 3.2(c).
 3. Determine allowable building types in Table 1 in Subsection 3.2(d).
 4. Determine allowable uses in Table 4 in Subsection 3.2(e).
 5. Review additional regulations that may apply beginning in Subsection 3.2(f).
 - b. To determine where a particular building type and/or particular use of land can be constructed:
 1. Identify which regulating districts allow that building type in Table 1 of Subsection 3.2(d).
 2. Identify which regulating districts allow that use of land in Table 4 of Subsection 3.2(e).

3. Determine what land in the TPG zoning district has the appropriate regulating districts using the detailed regulating plan in Subsection 3.2(b).
 4. Review additional regulations that may apply beginning in Subsection 3.2(f).
- c. The Traditional Punta Gorda (TPG) zoning district is organized in the following manner:
- | | |
|--------|---------------------------------------------------------------------|
| 3.2(a) | Purpose, Regulating Districts, and Organization |
| 3.2(b) | Regulating Plan, Showing Regulating Districts and Overlay Districts |
| 3.2(c) | Regulating Districts and Overlay Districts |
| 3.2(d) | Building Types |
| 3.2(e) | Allowable Uses |
| 3.2(f) | Fences, Privacy Walls, and Hedges |
| 3.2(g) | Parking and Loading Standards |
| 3.2(h) | Landscaping Standards |
| 3.2(i) | Review Process |
| 3.2(j) | Developer Mitigation |
| 3.2(k) | Neighborhood Flooding |
| 3.2(l) | Nonconformities |

(b). Regulating Plan, Showing Regulating Districts and Overlay Districts.

- (1). The full regulating plan for the TPG zoning district is provided in Figure 2 and a zoomed-in map showing the TPG overlay districts and Local Register buildings is provided in Figure 3.
- (2). A summary of requirements for each regulating district and overlay district are provided in Tables 1 and 2 of Subsection 3.2(c). Allowable building types are described in Subsection 3.2(d); allowable uses of land are described in Subsection 3.2(e).

Figure 2 – TPG Regulating Districts & Overlays

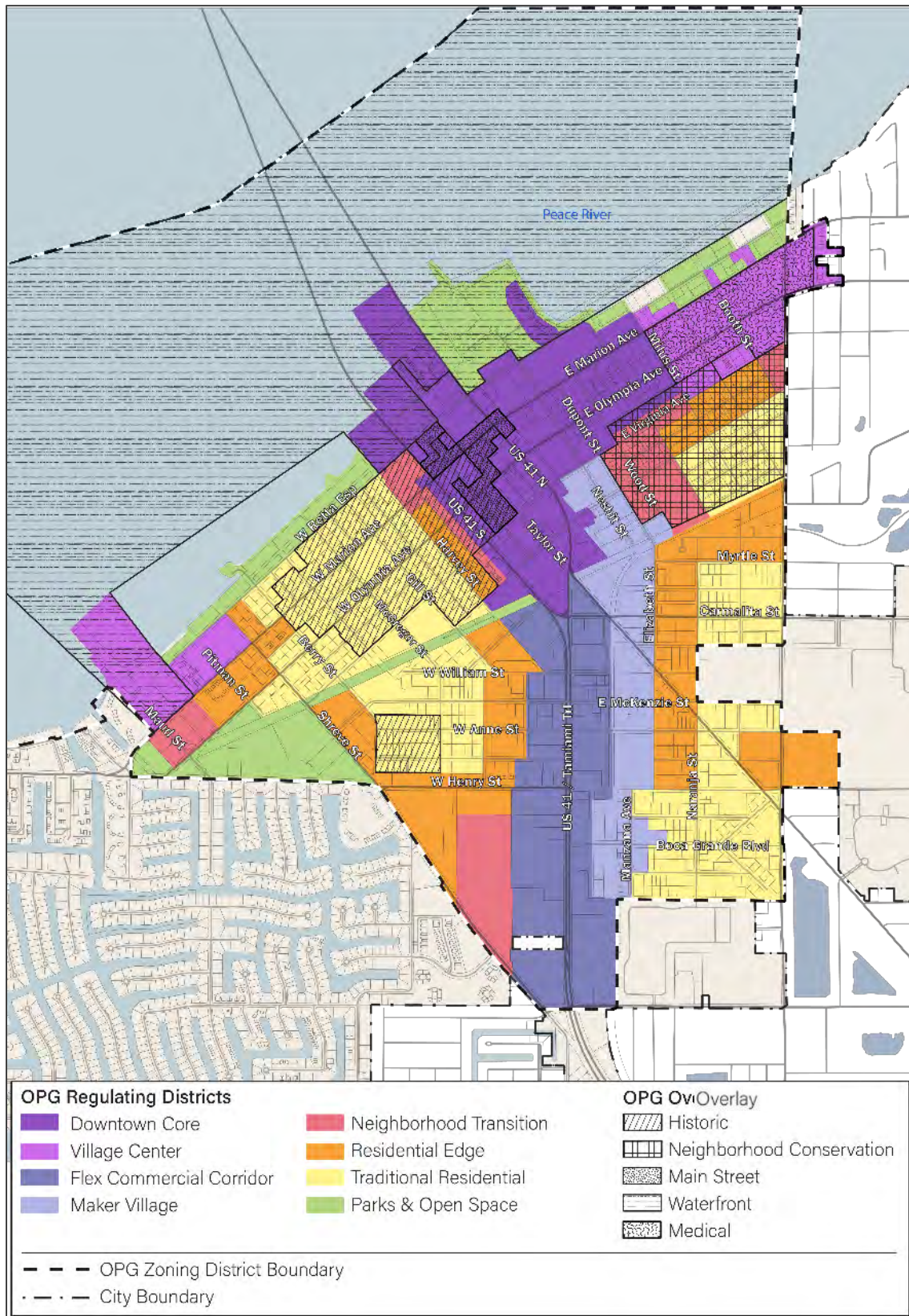
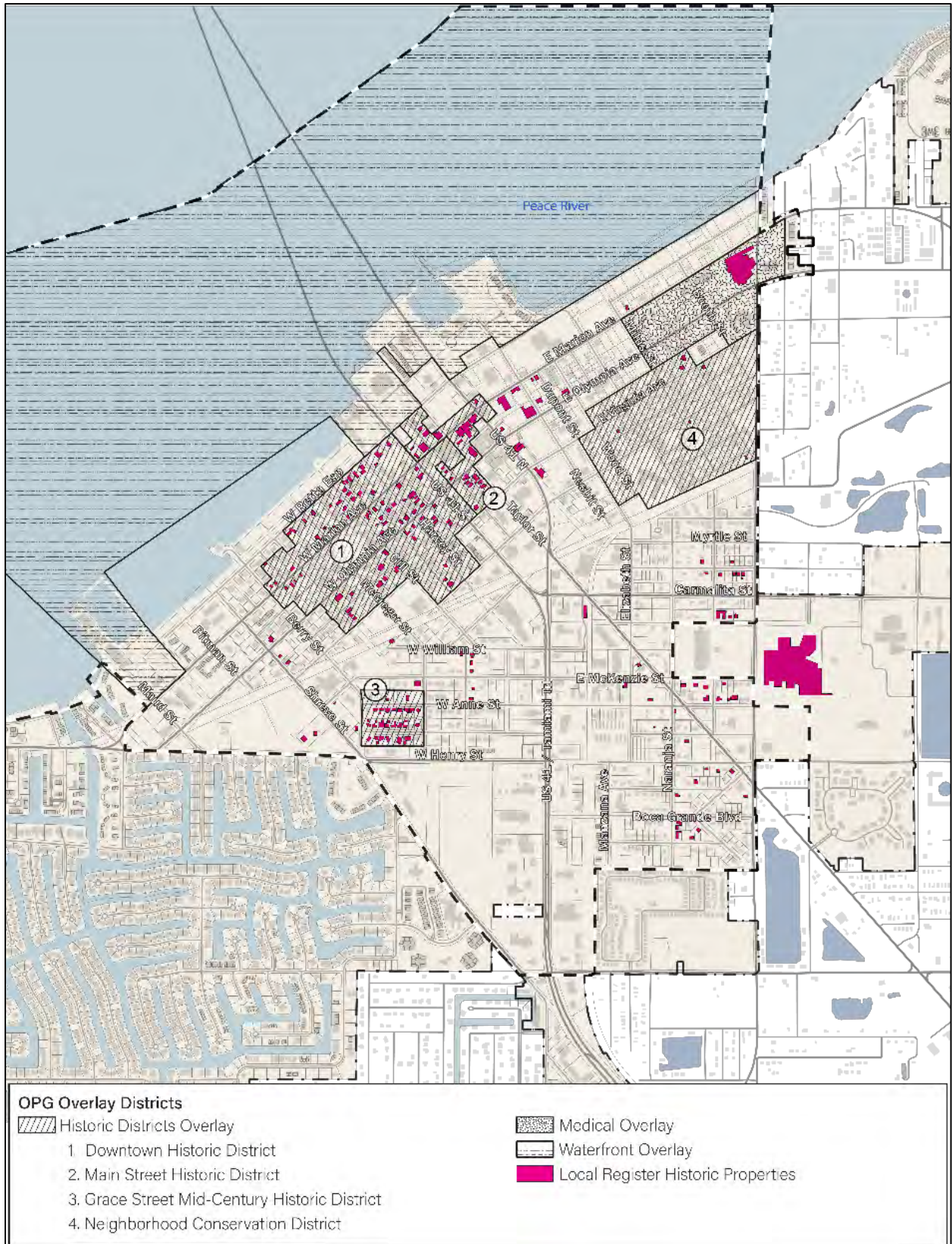


Figure 3 - TPG Overlay Districts Map



(c). Regulating Districts and Overlay Districts.

- (1). Introduction to regulating districts and overlay districts.
 - a. To understand the applicable regulations for a particular property, refer to Subsection 3.2(b) to determine the regulating district for the property and whether an overlay district also applies.
 - b. Most of the detailed regulations for each district are the same for all buildings in the district. Certain regulations vary depending on which building type is selected and which architectural style is selected for that building.
 - c. Table 1 shows which building types and which architectural styles are allowed in each regulating district and overlay district. An “X” in the column for each district indicates that a particular building type or architectural style is allowed in that district; other types and styles are not allowed in that district. If a property is in an overlay district, the allowable building types for the overlay district apply instead of those for the regulating district.
 - d. Table 2 provides a summary of many of the development standards in each regulating district and overlay district. Table 2 is provided to allow a quick comparison of all the districts.
 - e. Immediately after Table 2, each regulating district and overlay district is described in detail. Footnotes below the numerical development standards for each district indicate where a general regulation for that district would be modified if certain building types are selected. If a property is in an overlay, the relevant requirements for the overlay district apply instead of those for the regulating district.
 - f. Within the Historic Districts Overlay, four (4) overlay sub-districts designate areas of historic significance:
 1. The Downtown Historic District, which incorporates and updates the prior Downtown Commercial district and National Register (residential) district.
 2. The Main Street Historic District, which incorporates and updates the prior Downtown Commercial district
 3. The Grace Street Mid-Century Modern District
 4. The Neighborhood Conservation District, which incorporates and updates the prior Trabue Woods district and Bethel St. Mark district.
 - g. The TPG regulating plan also identifies designated historic buildings and sites listed in the Local Register of Historic Places that are outside these overlay districts. Additional historic districts and Local Register sites and buildings may be designated in the future; see Section 8.1.
 - h. Most standards in the historic overlays and sub-districts are the same as for the underlying regulating district; however, the palette of allowable architectural styles is limited to maintain historic character. Some lots in these overlay districts have been designated as containing a contributing

building or structure; alterations to them, and to any historic building on the Local Register, may require a Certificate of Appropriateness (see details in Sections 8.1 and 16.3). Proposed demolitions and relocations may also require a Certificate of Appropriateness; see Section 16.5.

- i. The Medical Overlay District also shares most standards with their underlying regulating districts but have slightly different density and building height standards to encourage medical uses and housing types suitable for a wide array of medical and other essential workers.
- j. Details for each building type are provided in Subsection 3.2(d). Details for allowable uses of land are provided in Subsection 3.2(e); allowable uses vary by regulating district, not by overlay district. Architectural provisions and details for each architectural style are provided in Article 7. Other requirements are provided beginning in Subsection 3.2(f).

Table 1 – Permitted Building Types and Architectural Styles

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Permitted Building Type. The black dot signifies that the building type is allowed within the district(s).													
Accessory Cottage ¹	•	•		•	•	•	•				•	•	
House					•	•	•						
Cottage Court						•	•						
Duplex					•	•	•						
Rowhouse	•	•		•	•	•						•	
Triplex/Fourplex		•			•	•						•	
Multiplex	•	•		•	•	•						•	
Courtyard Apartment	•	•	Building types not applicable for this district	•	•							•	Same as Underlying District
Live/Work	•	•		•	•	•					•	•	
Small Footprint Mixed-Use	•	•		•	•						•	•	
Medium Footprint Mixed-Use	•	•										•	
Main Street Shopfront	•	•		•	•						•	•	
Neighborhood Shopfront	•	•			•						•	•	
Liner	•	•									•	•	
Loft				•									
Warehouse				•									
Civic/Institutional	•	•		•	•	•	•					•	
Permitted Architectural Styles²													
Florida Wood Frame	•	•		•	•	•	•	•		•	•	•	
Folk Victorian	•	•		•	•	•	•	•		•	•	•	
Craftsman	•	•		•	•	•	•	•		•	•	•	
Queen Anne Revival	•	•	Architectural styles not applicable for this district ³	•	•	•	•	•		•	•	•	Same as Underlying District
Colonial/Georgian Revival	•	•		•	•	•	•	•		•	•	•	
Neo-Classical Revival	•	•		•	•	•	•	•		•	•	•	
Mission	•	•		•	•	•	•	•		•	•	•	
Mid-Century Modern					•	•	•		•				
Masonry Modern	•	•		•	•	•	•				•	•	
Main Street Vernacular	•	•		•	•				•		•	•	

¹ Accessory Cottages with dwelling units in them are only permitted in conjunction with the house, rowhouse, and live/work building types.

² Compliance with architectural styles is not required for the Loft and Warehouse building types.

³ Development in the Flex Commercial Corridor District must still comply with the General Architectural Standards and Frontage Standards in Article 7.

Table 2 –Development Standards Summary

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Lot and Building Footprint													
Lot Width/Depth	<i>Defer to Building Type</i>		50' min./100' min.	<i>Defer to Building Type</i>				<i>Same as underlying</i>					
Lot Coverage	100% max.	100% max.	100% max.	90% max.	90% max.	80% max.	70% max.	<i>Same as underlying</i>					
Frontage Buildout													
Primary Street	70% min.	70% min.	70% min. ¹	70% min. ¹	60% min.	60% min.	60% min.	<i>Same as underlying</i>					
Secondary Street	50% min.	50% min.	50% min.	50% min.	50% min.	n/a	n/a	<i>Same as underlying</i>					
Density (Individual Lot)													
Base	25	25	0	15	25	25	25	<i>Same as underlying</i>					
Missing Middle Types ²	30	30	30	30	30	30	n/a	<i>Same as underlying</i>					
Maximum w/ Mitigation ³	60	45	40	n/a	n/a	n/a	n/a	<i>Same as underlying</i>		N/A	45	60	
Height (Base Flood Elevation to Parapet of Flat Roof or Highest Point of Pitched Roof)													
Base	50' max. (4 stories)	35' max. (3 stories)	35' max. (3 stories)	35' max. (3 stories)	40' max. (3 stories)	40' max. (3 stories)	35' max. (2 stories)	<i>Same as underlying</i>		50' max. (4 stories)	50' max. (4 stories)	<i>Same as underlying</i>	
Maximum w/ Mitigation ³	80' max. (6 stories)	65' max. (5 stories)	65' max. (5 stories)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	100' max. (7 stories)	80' max. (6 stories)	
Accessory Structure(s)													
Dwelling	25' max. (2 stories)							<i>Same as underlying</i>					
Other	12' max. (1 story)							<i>Same as underlying</i>					

¹ Lots less than 150' wide may have a reduced minimum frontage buildout of 60%

² Missing Middle Housing includes Live/Work, Rowhouse, Triplex/Fourplex, Multiplex, Courtyard Apartment, Small Footprint Mixed-Use, and Loft buildings, see Subsection 3.2(d)

³ See Subsection 3.2(j) regarding maximum density and height based on community mitigations

⁴ Attached Rowhouse, Live/Work, and Main Street types are exempt from 5' interior side setbacks

⁵ Accessory structures, including detached garages, are permitted only in the rear yard and must comply with all primary building setbacks except as specified in this row

⁶ Refers to interior rear setback only, not rear alley

Table 2 –Development Standards Summary Continued

	Regulating Districts							Overlay Districts and Sub-districts			
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay	Main Street Overlay	Medical Overlay	Waterfront Overlay
Building Setbacks (Distance from Property Line)											
Front	0' min., 10' max.	0' min., 10' max.	10' min., 25' max.	10' min., 25' max.	0' min., 20' max.	10' min., 25' max.	10' min., 25' max.	<i>Same as underlying</i>			
Side											
Street	0' min., 10' max.	0' min., 10' max.	10' min., 25' max.	10' min., 25' max.	5' min., 20' max.	10' min., 25' max.	10' min., 25' max.	<i>Same as underlying</i>			
Interior ⁴	0' min.	0' min.	5' min.	5' min.	5' min.	5' min.	5' min.	<i>Same as underlying</i>			
Rear											
Alley	0' min.	0' min.	10' min.	10' min.	10' min.	10' min.	10' min.	<i>Same as underlying</i>			
Interior	5' min.	5' min.	25' min.	15' min.	15' min.	15' min.	15' min.	<i>Same as underlying</i>			
Accessory Structure(s) ⁵	3' min. (rear ⁶)	3' min. (rear ⁶)	3' min. (side/rear)	3' min. (side/rear)	3' min. (side/rear)	3' min. (side/rear)	3' min. (side/rear)	<i>Same as underlying</i>			

¹ Lots less than 150' wide may have a reduced minimum frontage buildout of 60%

² Missing Middle Housing includes Live/Work, Rowhouse, Triplex/Fourplex, Multiplex, Courtyard Apartment, Small Footprint Mixed-Use, and Loft buildings, see Subsection 3.2(d)

³ See Subsection 3.2(j) regarding maximum density and height based on community mitigations

⁴ Attached Rowhouse, Live/Work, and Main Street types are exempt from 5' interior side setbacks

⁵ Accessory structures, including detached garages, are permitted only in the rear yard and must comply with all primary building setbacks except as specified in this row

⁶ Refers to interior rear setback only, not rear alley

Table 2 –Development Standards Summary Continued

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Parking (Setbacks from Property Line)													
Location	Behind Primary Building		Behind Primary Building and in the Side Yard ¹		Behind Primary Building or Within Attached Garage/Carport			<i>Same as underlying</i>					
Front Setback (Rear Yard/Side Yard)	40' min.	40' min.	40' min./15' min.	40' min./15' min.	40' min.	40' min.	40' min.	<i>Same as underlying</i>					
Side Setback													
Street	15' min.	15' min.	15' min.	15' min.	5' min.	5' min.	15' min.	<i>Same as underlying</i>					
Interior	0' min.	0' min.	0' min.	0' min.	0' min.	5' min.	5' min.	<i>Same as underlying</i>					
Rear Setback													
Alley	0' min.	0' min.	0' min.	0' min.	0' min.	0' min.	0' min.	<i>Same as underlying</i>					
Interior	5' min.	5' min.	5' min.	5' min.	5' min.	5' min.	5' min.	<i>Same as underlying</i>					
Attached Garage Setback from Front Façade ²	n/a	n/a	n/a	n/a	10' min.	10' min.	10' min.	<i>Same as underlying</i>					

¹ Side yard parking is only permitted along interior side yards, not abutting streets. Side yard parking land area cannot exceed 60' in width.

² Attached garage/carports are only permitted for the house

³ Ground level encroachments are permitted for frontage elements including porches, stoops, bay windows, porticos, and more. See Section 7.2(d) for additional frontage standards.

⁴ No ground level encroachments are permitted into the public right-of-way except for awnings, canopies, galleries, and arcades, which can encroach up to 10' provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained.

Table 2 –Development Standards Summary Continued

	Regulating Districts							Overlay Districts and Sub-districts					
	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Historic Districts Overlay			Main Street Overlay	Medical Overlay	Waterfront Overlay
								Downtown	Grace Street Mid-Century	Neighborhood Conservation			
Ground Level Encroachments³ (Distance from Min. Setback Line)													
Front	0' max. ⁴	0' max. ⁴	6' max.	6' max.	0' max. ⁴	6' max.	5' max.	<i>Same as underlying</i>					
Side Street	0' max. ⁴	0' max. ⁴	6' max.	6' max.	5' max. ⁴	6' max.	5' max.	<i>Same as underlying</i>					
Rear													
Alley	0' max.	0' max.	6' max.	6' max.	6' max.	6' max.	6' max.	<i>Same as underlying</i>					
Interior	0' max.	0' max.	4' max.	4' max.	4' max.	4' max.	4' max.	<i>Same as underlying</i>					
Upper Level Encroachments (Distance from Min. Setback Line)													
Front	6' max.	6' max.	6' max.	6' max.	6' max.	6' max.	5' max.	<i>Same as underlying</i>					
Side Street	6' max.	6' max.	6' max.	6' max.	6' max.	6' max.	5' max.	<i>Same as underlying</i>					
Rear													
Alley	0' max.	0' max.	6' max.	6' max.	6' max.	6' max.	6' max.	<i>Same as underlying</i>					
Interior	0' max.	0' max.	4' max.	4' max.	4' max.	4' max.	4' max.	<i>Same as underlying</i>					

¹ Side yard parking is only permitted along interior side yards, not abutting streets. Side yard parking land area cannot exceed 60' in width.

² Attached garage/carports are only permitted for the house

³ Ground level encroachments are permitted for frontage elements including porches, stoops, bay windows, porticos, and more. See Section 7.2(d) for additional frontage standards.

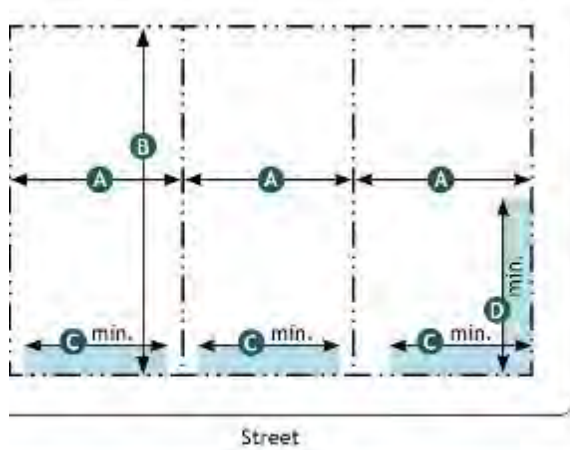
⁴ No ground level encroachments are permitted into the public right-of-way except for awnings, canopies, galleries, and arcades, which can encroach up to 10' provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained.

(2). Downtown Core

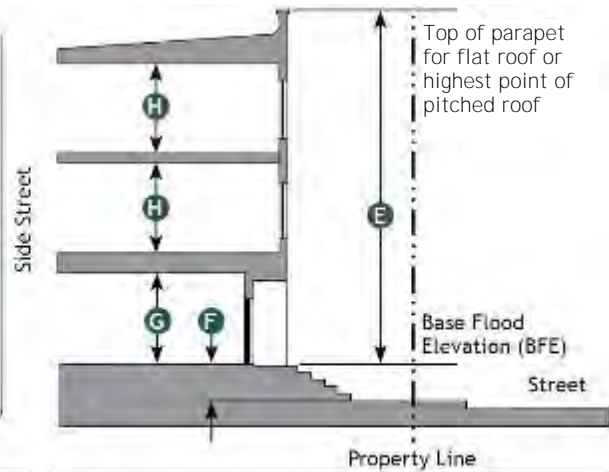


a. Intent	
Description	Primary Characteristics
<p>The Downtown Core is the traditional commercial center of Punta Gorda. This district accommodates the most intense urban development in the city, serving not only the residents of Punta Gorda, but also nearby communities and visitors. The area features mixed-use and multi-story buildings that actively engage streets and sidewalks to promote public gathering and support vibrant retail, dining, and commercial spaces.</p>	Attached or detached
	Small-to-medium footprint commercial and residential buildings
	Small-to-large footprint mixed-use
	Buildings at or near the ROW
	Small-to-no setbacks
	Up to 4 stories by right, or 6 stories with development mitigation
Diverse mix of frontages	

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
Rowhouse	18' min.	86' min.	3.2(d)(5)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Medium Footprint Mixed-Use	180' min.	120' min.	3.2(d)(12)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Neighborhood Shopfront	25' min., 84' max.	86' min.	3.2(d)(14)
Liner	n/a	n/a	3.2(d)(15)
Civic/Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with Rowhouse and Live/Work Building Types

c. Building Form

Footprint			
Lot Coverage ¹	100% max.		
Frontage Build-Out			
Primary Street	70% min.	C	
Secondary Street	50% min.	D	
Density (Individual Lot) & Height			
	Base	Missing Middle ²	Maximum w/ Mitigation ³
Density	25 du/a	30 du/a	40 du/a
Building Height ¹	E 50' max. (4 stories)	n/a	80' max. (6 stories)
Accessory Structure(s) Height			
Dwelling	2 stories, 25' max.		
Other	1 story, 12' max.		
Finish Ground Floor Level F			
Residential	24" min.		
Commercial ⁴	Max. 6" above grade or BFE + 1' freeboard		
Floor-to-Ceiling Height			
First Story: Commercial ⁴	14' min.	G	
Upper Stories	8' min.	H	
Habitable Half-Story/Attic ⁵	7' min.		

¹ May be lower for certain building types

² Base Density for Live/Work, Rowhouse, Multiplex, Courtyard Apartments, and Small Footprint Mixed-Use, see Subsection 3.2(d)

³ See Table d. Maximum Building Development Mitigation. Also, Development Mitigation is only applicable to (continued next page)

the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Mixed-Use (MFMU) building type. Areas within the Main Street Overlay are not eligible.

⁴ Does not apply to Neighborhood Shopfront type

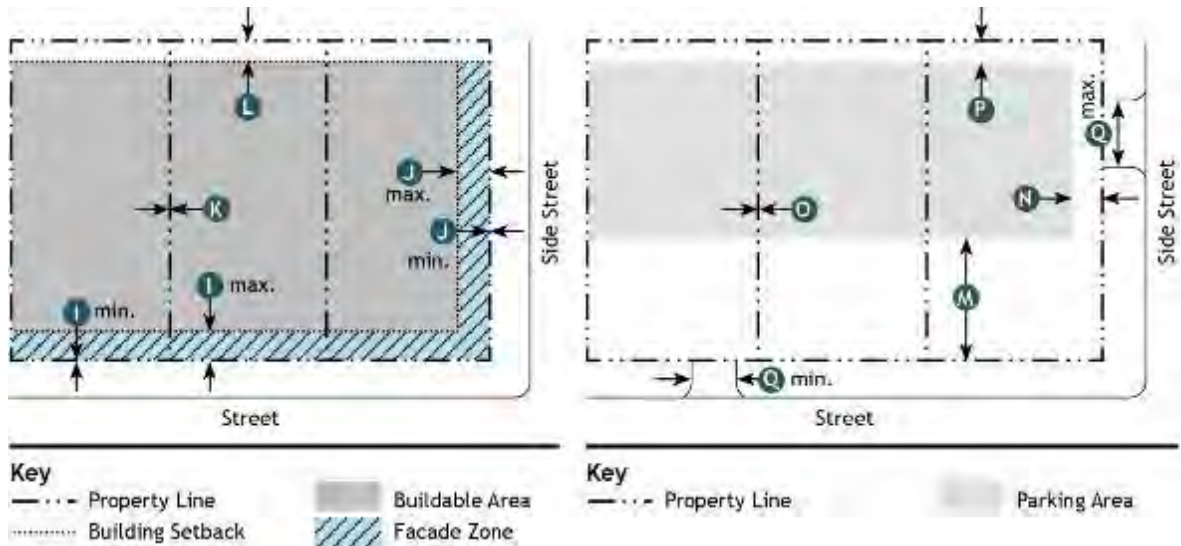
⁵ Minimum of 70 sq. ft. of floor area required half of which must have at least 7' high ceilings and the other half at least 5' high ceilings

d. Maximum Building Height and Residential Density with development mitigation requirements

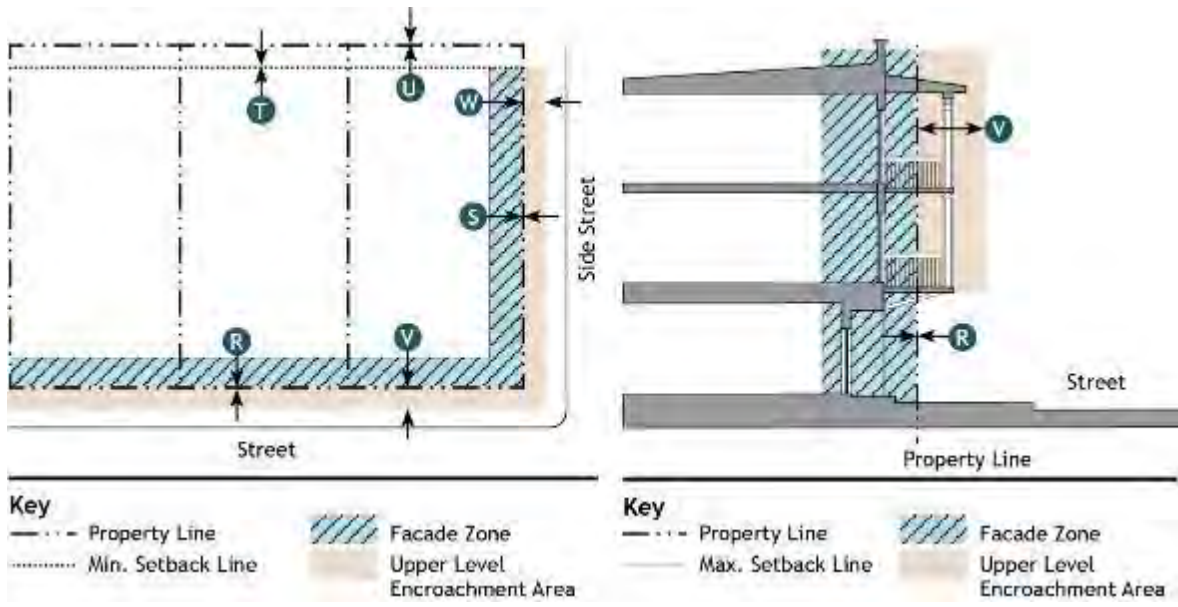
Maximum allowable		Additional Requirements for Downtown Core properties including those within the Waterfront Overlay				Within Waterfront Overlay
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	Minimum street setback	Extra public open space	Public parking requirement ¹	Public Day Dock ²
65 feet (5 stories)	45 du/a	0.25	5 feet	2.5 percent of site	0.25 spaces per dwelling unit	10 percent of total slips permitted by the regulatory agency
80 feet (6 stories)	60 du/a	0.25	10 feet	5 percent of site	0.5 spaces per dwelling unit	12.5 percent of total slips permitted by the regulatory agency

¹ The Public Parking requirement may be fulfilled on-site, off-site, or by a fee in-lieu payment. Public Parking requires an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.

² The Public Day Dock requirement must be fulfilled on-site. Public Day Dock required an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.



e. Building Placement		f. Parking	
Setback (Distance from Property Line)		Location	
Front	0' min., 10' max. I	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.	
Side		Setback (Distance from Lot Line)	
Street	0' min., 10' max. J	Front Setback	40' or behind primary building, whichever is less M
Interior	0' min. K	Side Setback	
Rear		Street	15' min. N
Alley	0' min.	Interior	0' min. O
Interior	5' min. L	Rear Setback	
Garage Door/Carport (from front facade)		Alley	0' min.
Attached	Not permitted	Interior	5' min.
Detached	See accessory building setbacks	Additional requirements can be found in Section 3.2(d) - Building Type Standards	
Accessory Building Setback		Access	
Front	50' min. (permitted in rear yard only)	Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d) Q
Side		Additional parking and access standards and specifications can be found in Article 10	
Street	0' min.	Required Spaces	
Interior	0' min.	Vehicle Parking	See requirements in Article 10, Section 10.6
Rear		Bicycle parking requirements can be found in Section 10.13	
Alley	0' min.		
Interior	3' min.		
Additional			
See Subsection 3.2(d) - Building Types			



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From		
	Min. Setback	Property Line	
Front	n/a	0' max. ¹	R
Side Street	n/a	0' max. ¹	S
Rear			U
Alley	n/a	0' max.	T
Interior	0' max.	0' max.	

Upper Stories Encroachment	Distance From		
	Min. Setback	Property Line	
Front	n/a	6' max.	V
Side Street	n/a	6' max.	W
Rear			U
Alley	n/a	0'	T
Interior	0' max.	0' max.	

h. Architectural Provisions

Allowed Architectural Styles

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions

Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

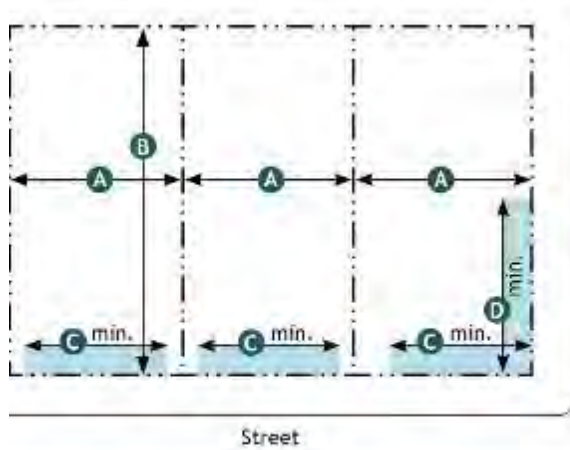
¹ Does not include awnings, canopies, galleries, and arcades, which can encroach past the property line on front and side streets up to 10', provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained.

(3). Village Center

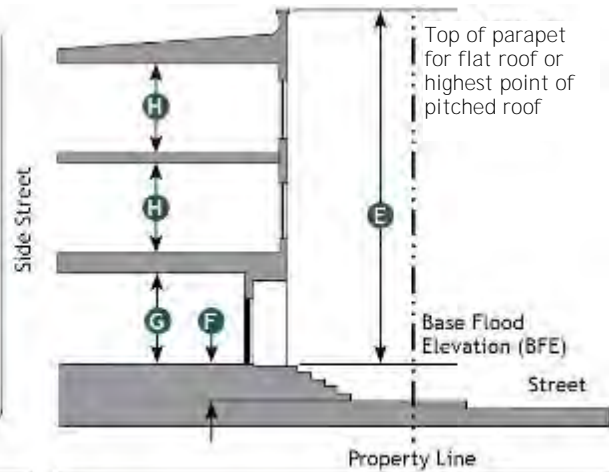


a. Intent	
Description	Primary Characteristics
<p>Village Centers are compact and mixed-use areas that provide a range of residential, commercial, and office uses which not only serve the needs of those living there, but also the needs of adjacent residential neighborhoods. Development patterns are intentionally urban, with street-oriented buildings that create a vibrant walkable environment, though at lower intensities to those permitted in the Downtown Core.</p>	Attached or detached
	Small-to-medium footprint commercial and residential
	Small-to-large footprint mixed-use
	Buildings at or near the ROW
	Small-to-no setbacks
	Up to 5 stories with mitigations
	Diverse mix of frontages

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Rowhouse	18' min.	86' min.	3.2(d)(5)
Triplex/ Fourplex	50' min., 84' max.	86' min.	3.2(d)(7)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Medium Footprint Mixed-Use	180' min.	120' min.	3.2(d)(12)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Neighborhood Shopfront	25' min., 84' max.	86' min.	3.2(d)(14)
Liner	n/a	n/a	3.2(d)(15)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

c. Building Form

Footprint			
Lot Coverage ¹	100% max.		
Frontage Build-Out			
Primary Street	70% min. C		
Secondary Street	50% min. D		
Density (Individual Lot) & Height			
	Base	Missing Middle ² e ²	Maximum w/ Mitigation ³
Density	22 du/a	30 du/a	45 du/a
Building Height ¹ E	35' max. (3 stories)	n/a	65' max. (5 stories)
Accessory Structure(s) Height			
Dwelling	2 stories, 25' max.		
Other	1 story, 12' max.		
Finish Ground Floor Level F			
Residential	24" min.		
Commercial ⁴	Max. 6" above grade or BFE + 1' freeboard		
Floor-to-Ceiling Height			
First Story: Commercial ⁴	14' min.	G	
Upper Stories	8' min.	H	
Habitable Half-Story/Attic ⁵	7' min.		

¹ May be lower for certain building types

² Base Density for Live/Work, Rowhouse, Multiplex, Courtyard Apartments, and Small Footprint Mixed-Use, see Subsection 3.2(d)

³ See Table d. (continued on next page)

Maximum Building Development Mitigation. Also, Development Mitigation is only applicable to the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Mixed-Use (MFMU) building type.

⁴ Does not apply to Neighborhood Shopfront type

⁵ Minimum of 70 sq. ft. of floor area

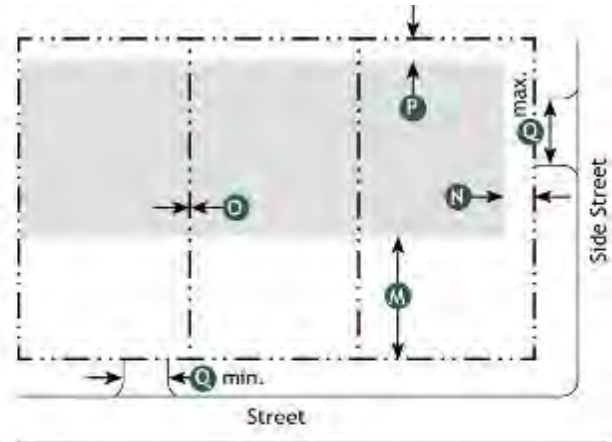
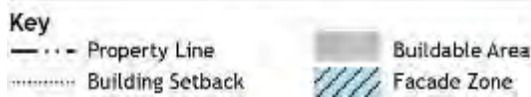
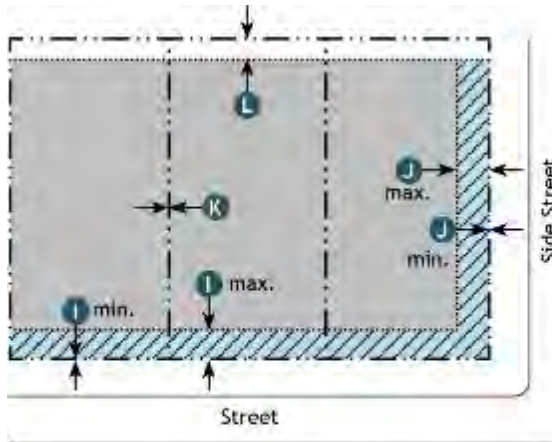
required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings

d. Maximum Building Height with development mitigation requirements						
Maximums		Additional Requirements for all Village Center properties including those within the Medical Overlay or Waterfront Overlay			Within Waterfront Overlay	
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	Public open space	Public parking requirement ¹	Public Day Docks ²
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site	0.25 spaces per dwelling unit	5 percent of total slips permitted by the regulatory agency
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site	0.5 spaces per dwelling unit	10 percent of total slips permitted by the regulatory agency
Waterfront Overlay Only						
80 feet (6 stories)	60 du/a	0.25	15 feet	7.5 percent of site	0.75 spaces per dwelling unit	12.5 percent of total slips permitted by the regulatory agency
Medical Overlay Only ³						
100 feet (7 stories)	45 du/a	0.25	15 feet	7.5 percent of site	N/A	N/A

¹ The Public Parking requirement may be fulfilled on-site, off-site, or by a fee in-lieu payment. Public Parking requires an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.

² The Public Day Dock requirement must be fulfilled on-site. Public Day Dock required an agreement

³ To achieve additional height above 65 feet, a minimum of 80% of the total gross floor area of all buildings on the development site must be dedicated to medical uses.



e. Building Placement

Setback (Distance from Property Line)

Front	0' min., 10' max.	I
Side		
Street	0' min., 10' max.	J
Interior	0' min.	K
Rear		
Alley	0' min.	
Interior	5' min.	L
Garage Door/Carport (from front facade)		
Attached	Not permitted	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	0' min.
Interior	0' min.
Rear	
Alley	0' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

f. Parking

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible

Setback (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is less	M
Side Setback		
Street	15' min.	N
Interior	0' min.	O
Rear Setback		
Alley	0' min.	P
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

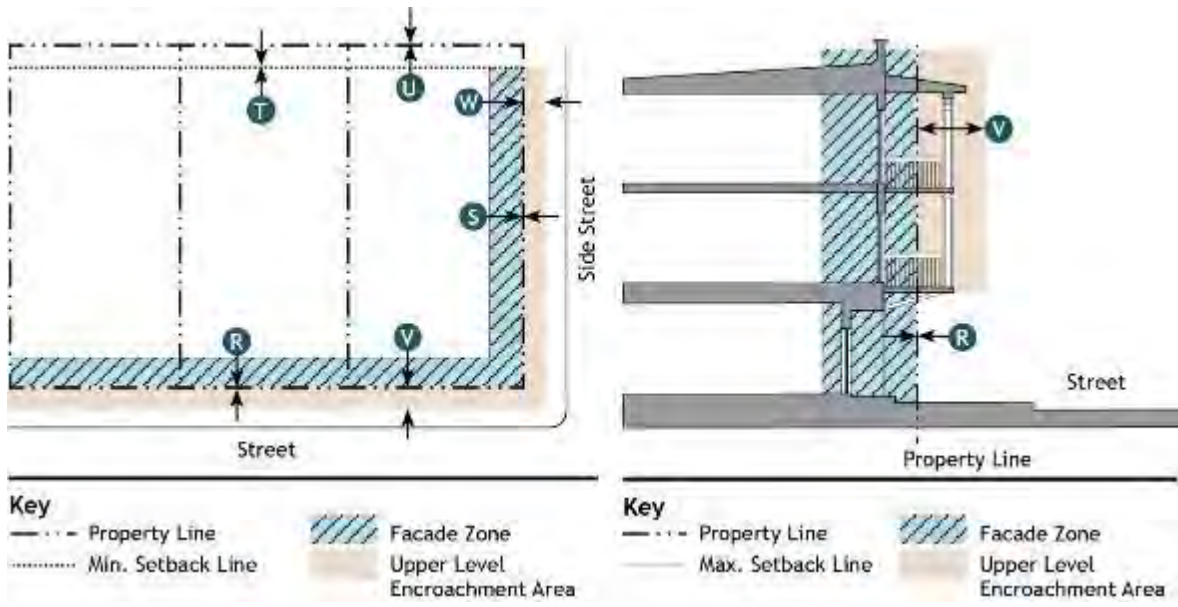
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	Q
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
-----------------	----------------------------------------------

Bicycle parking requirements can be found in Section 10.13



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From	
	Min. Setback Line	Property Line
Front	n/a	0' max. ¹ R
Side Street	n/a	0' max. ¹ S
Rear		
Alley	n/a	0' max.
Interior	0' max. T	0' max. U
Upper Stories Encroachment	Distance From	
	Setback Line	Property Line
Front	n/a	6' max. V
Side Street	n/a	6' max. W
Rear		
Alley	n/a	0' max.
Interior	0' max. T	0' max. U

¹ Does not include awnings, canopies, galleries, and arcades, which can encroach past the property line on front and side streets up to 10', provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained

h. Architectural Provisions

Allowed Architectural Styles

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions

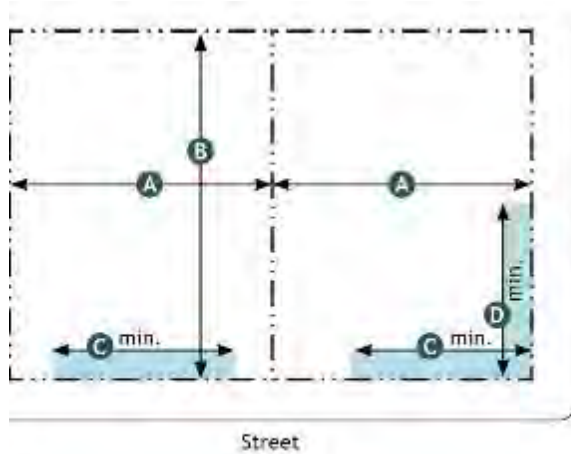
Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(4). Flex Commercial Corridor

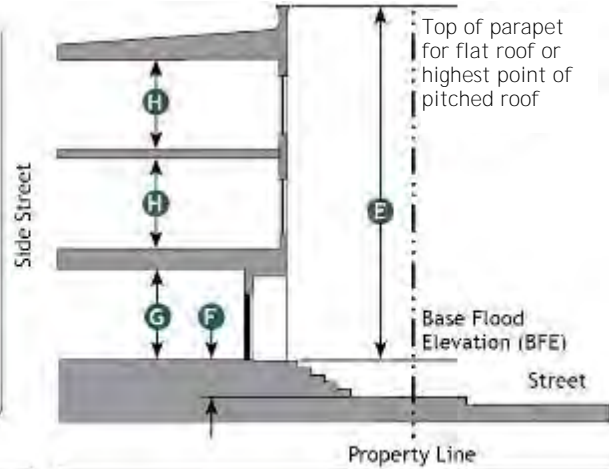


a. Intent	
Description	Primary Characteristics
<p>The Flex Commercial Corridor is intended to accommodate the highest flexibility of uses in Punta Gorda, supplementing existing highway-oriented commercial development with as much new multi-family, office, and commercial development as the market demands. New street-oriented and mixed-use buildings will facilitate walkability and create a more welcoming gateway and seamless transition into the Downtown Core.</p>	<p>Primarily detached</p> <hr/> <p>Medium-to-large footprint commercial and mixed-use buildings</p> <hr/> <p>Small-to-medium setbacks</p> <hr/> <p>Rear yard and limited side yard parking</p> <hr/> <p>Up to 5 stories with mitigations</p> <hr/> <p>Primarily shopfront, awning, and dooryard frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - - Property Line Frontage Buildout



Key
 - - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot	
	Width A	Depth B
Not applicable for this district	50' min.	100' min.

c. Building Form

Footprint	
Lot Coverage ¹	100% max.

Frontage Build-Out	
Primary Street	70% min. ² C
Secondary Street	50% min. D

Density (Individual Lot) & Height			
	Base	Missing Middle ³	Maximum w/ Mitigation ⁴
Density	0	30 du/a	45 du/a
Building Height E	35' max. (3 stories)	n/a	65' max. (5 stories)

Accessory Structure(s) Height	
Dwelling	Not Permitted
Other	1 story, 12' max.

Finish Ground Floor Level F	
Residential	24" min.
Commercial	Max. 6" above grade or BFE + 1' freeboard

Floor-to-Ceiling Height	
First Story: Commercial	14' min. G
Upper Stories	8' min. H
Habitable Half-Story/Attic ⁵	7' min.

¹ May be lower for certain building types
² May be 60% for lots less than 120' wide
³ Density is only applicable to the Small Footprint Mixed-Use, Medium Footprint Mixed-Use Building Types, and the Liner Building Type as an accessory to the Small or Medium Footprint Mixed-Use building type for development sites with a minimum non-residential floor to area

ratio (FAR) of 0.25.

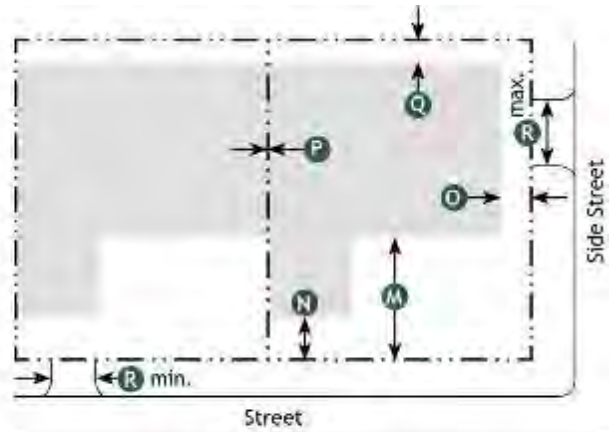
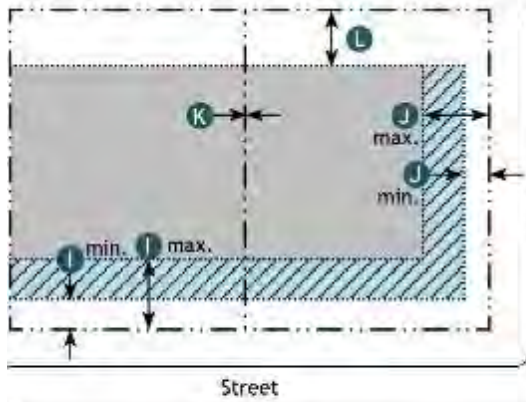
⁴ See Subsection 3.2(j) on Community Mitigations. (Continued on next page) Also, Development Mitigation is only applicable to the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Medium Footprint Mixed-Use (MFMU) building type.

⁵ Minimum of 70 sq. ft. of floor area

required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings

d. Maximum Building Height with development mitigation requirements

Maximums		Additional Requirements for Flex Commercial Corridor properties		
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	<u>Extra</u> public open space
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site



e. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	I
Side		
Street	10' min., 25' max.	J
Interior	5' min.	K
Rear		L
Alley	10' min.	
Interior	25' min.	
Garage Door/Carport (from front facade)		
Attached	Not permitted	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

f. Parking

Location

Parking shall be located behind the primary building and accessed from alleys or side streets wherever possible, though side yard parking areas are permitted provided they do not exceed 60' in width.

Setback (Distance from Property Line)

Front Setback		
Rear Yard Parking	40' or behind primary building, whichever is less	M
Side Yard Parking	15' min.	N
Side Setback		
Street	15' min.	O
Interior	0' min.	P
Rear Setback		Q
Alley	0' min.	
Interior	5' min.	

Access

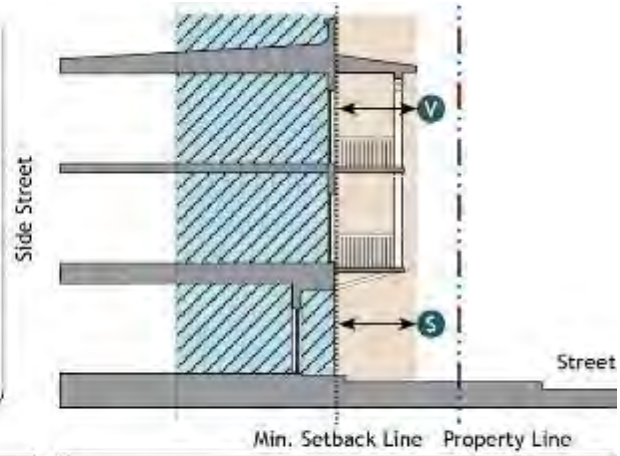
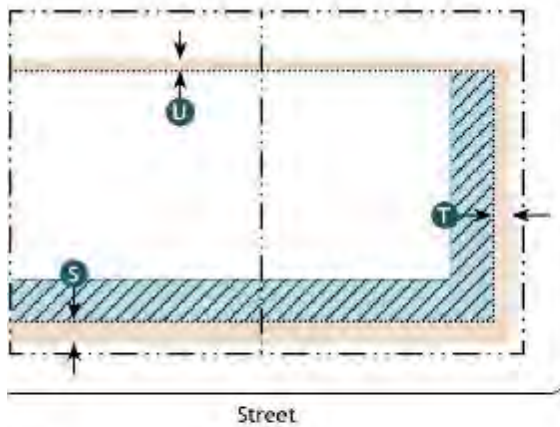
Curb Cut/Parking Driveway Width See Building Types, Subsection 3.2(d) R

Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking See requirements in Article 10, Section 10.6

Bicycle parking requirements can be found in Section 10.13



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From Minimum Setback Line	
Front	6' max.	S
Side Street	6' max.	T
Rear		
Alley	6' max.	
Interior	4' max.	U
Upper Stories Encroachment	Distance From Minimum Setback Line	
Front	6' max.	V
Side Street	6' max.	T
Rear		U
Alley	6' max.	
Interior	4' max.	

h. Architectural Provisions

Allowed Architectural Styles

Not applicable for this district

Standards

N/A

Permitted & Required Frontage Types

At least one of the following is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Additionally, one of the following types is required in combination with the above:	
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

Other Architectural Provisions

Standards

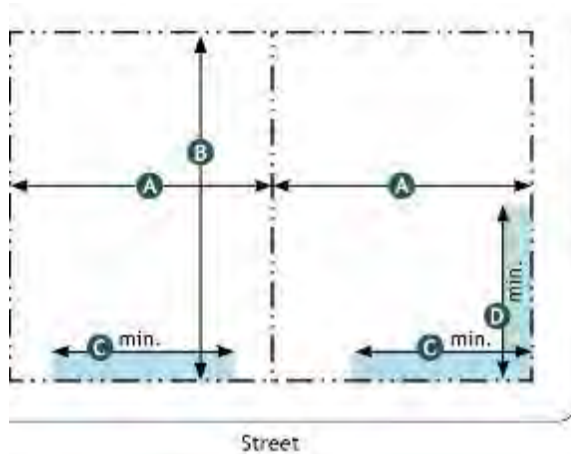
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(5). **Maker Village**

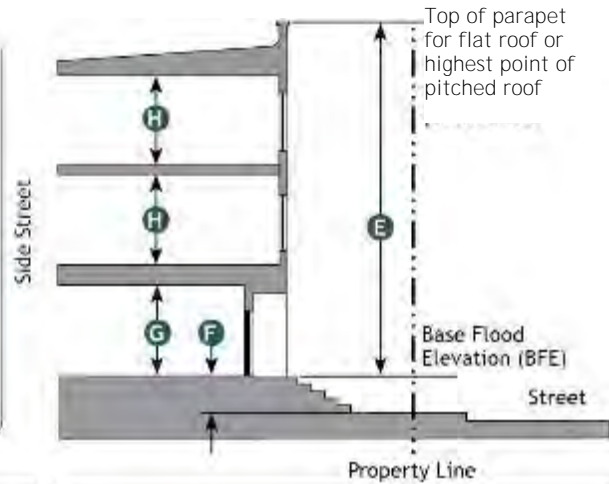


a. Intent	
Description	Primary Characteristics
<p>The Maker Village is an area that includes clusters of light industrial, artisan, and production, distribution, and repair (PDR) uses. New live/work, lofts, and small-scale shopfront and multifamily buildings complement existing one and two-story warehouses to create a unique and complete working neighborhood.</p>	<p>Primarily detached</p> <hr/> <p>Small-to-large footprint commercial, light industrial, and mixed-use buildings</p> <hr/> <p>Small-to-medium setbacks</p> <hr/> <p>Rear yard and limited side yard parking</p> <hr/> <p>Up to 3 stories</p> <hr/> <p>Diverse mix of frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - - Property Line Frontage Buildout



Key
 - - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
Rowhouse	18' min.	86' min.	3.2(d)(5)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Loft	50' min.	90' min. ²	3.2(d)(16)
Warehouse	70' min.	90' min. ²	3.2(d)(17)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with Rowhouse and Live/Work Building Types

² 120' min. lot depth preferred

c. Building Form

Footprint			
Lot Coverage ¹	90% max.		
Frontage Build-Out			
Primary Street	70% min. ²		C
Secondary Street	50% min.		D
Density (Individual Lot) & Height			
	Base	Missing Middle ³	Mitigation ⁶
Density	15 du/a	30 du/a	45 du/a
Building Height ¹	E 35' max. (3 stories)	N/A	50' max. (4 stories)
Accessory Structure(s) Height			
Dwelling	2 stories, 25' max.		
Other	1 story, 12' max.		
Finish Ground Floor Level			
Residential	24" min.		
Commercial	Max. 6" above grade or BFE + 1' freeboard		
Floor-to-Ceiling Height			
First Story: Commercial	14' min.	G	
Upper Stories	8' min.	H	
Habitable Half-Story/Attic ⁵	7' min.		

¹ May be lower for certain building types

² May be 60% for lots less than 120' wide

³ Base Density for Live/Work, Rowhouse, Multiplex, Courtyard Apartments, Small Footprint Mixed-Use, and Loft, see Subsection 3.2(d)

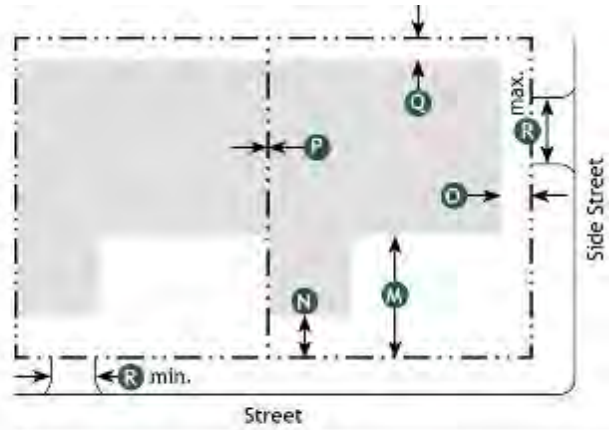
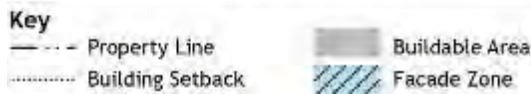
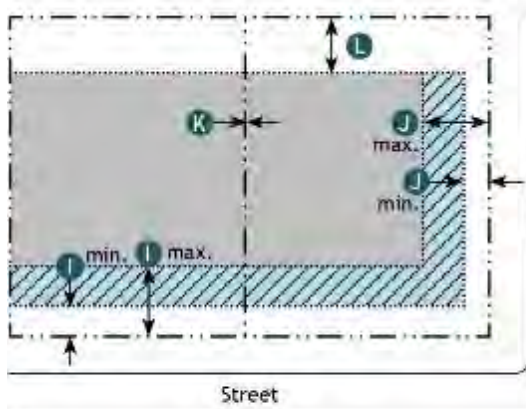
⁴ See Subsection 3.2(j) on Development Mitigations

⁵ Minimum of 70 sq. ft. of floor area required, half of which must have at least 7' high ceilings and the other half at least

5' high ceilings.

⁶ Development Mitigation is only applicable to the Medium Footprint Mixed Use Building Type and the Liner Building Type as an accessory to the Multi-Family Mixed-Use (MFMU) building type.

d. Maximum Building Height with development mitigation requirements				
Maximums		Additional Requirements for Maker Village properties		
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	<u>Extra</u> public open space
50 feet (4 stories)	45 du/a	0.25	10 feet	5 percent of site



e. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	I
Side		
Street	10' min., 25' max.	J
Interior	5' min.	K
Rear		
Alley	10' min.	
Interior	15' min.	L

Garage Door/Carport (from front façade)

Attached	Not permitted along front façade
Detached	See accessory building setbacks

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

f. Parking

Location

Parking shall be located behind the primary building and accessed from alleys or side streets wherever possible, though side yard parking areas are permitted provided they do not exceed 60'

Setbacks (Distance from Property Line)

Front Setback		
Rear Yard Parking	40' or behind primary building, whichever is less	M
Side Yard Parking	15' min.	N
Side Setback		
Street	15' min.	O
Interior	0' min.	P
Rear Setback		
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

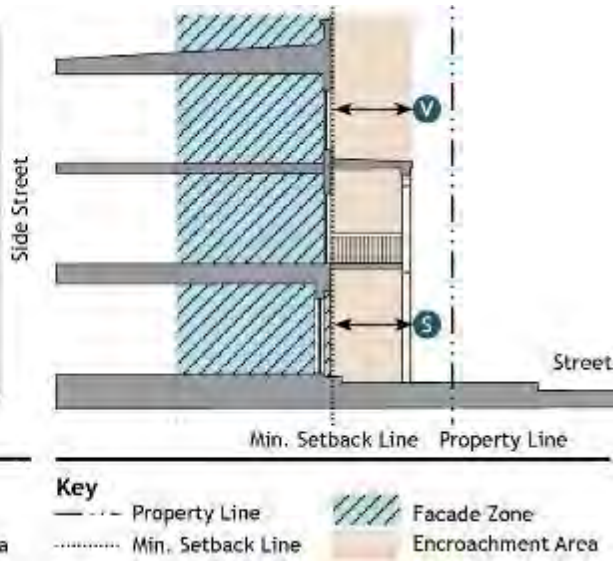
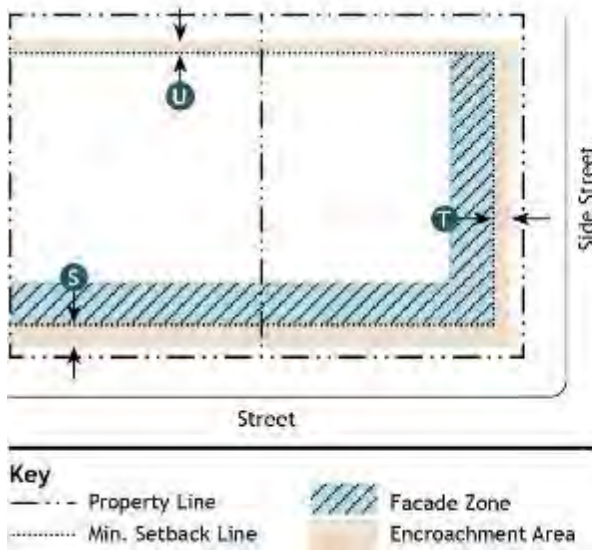
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	R
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
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Bicycle parking requirements can be found in Section 10.13



g. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From Minimum Setback Line	
Front	6' max.	S
Side Street	6' max.	T
Rear		U
Alley	6' max.	
Interior	4' max.	

Upper Stories Encroachment	Distance From Minimum Setback Line	
Front	6' max.	V
Side Street	6' max.	T
Rear		
Alley	6' max.	
Interior	4' max.	U

h. Architectural Provisions

Allowed Architectural Styles¹ Standards

Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions Standards

General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

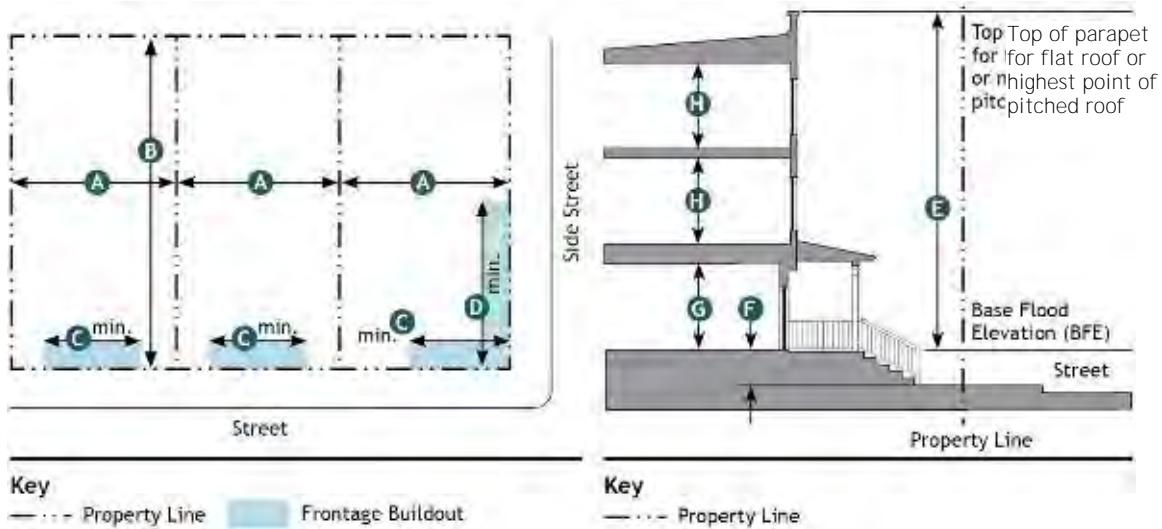
¹ The Loft and Warehouse Building Types are exempt from Architectural Style standards

(6). Neighborhood Transition



a. Intent	
Description	Primary Characteristics
<p>Neighborhood Transition areas provide a similar variety of uses as the Downtown Core and Village Centers, though at scales more closely matching the surrounding residential neighborhoods. Buildings within this district range from shopfronts, to multiplexes, to single-family houses creating a deliberate transition between the highest intensity mixed-use districts and the lowest intensity residential districts.</p>	<p>Detached and attached residential</p> <hr/> <p>Small footprint commercial & mixed-use</p> <hr/> <p>Buildings at or close to ROW</p> <hr/> <p>Small-to-medium side setbacks</p> <hr/> <p>Up to 3 stories</p> <hr/> <p>Primarily stoop, portico, porch, and shop front frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
House	40 min., 150' max.	86' min.	3.2(d)(3)
Rowhouse	18' min., 25' max.	86' min.	3.2(d)(5)
Duplex	40' min., 100' max.	86' min.	3.2(d)(6)
Triplex/Fourplex	50' min., 84' max.	86' min.	3.2(d)(7)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Courtyard Apartment	84' min., 150' max.	100' min.	3.2(d)(9)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Small Footprint Mixed-Use	40' min.	86' min.	3.2(d)(11)
Main Street Shopfront	25' min., 150' max.	86' min.	3.2(d)(13)
Neighborhood Shopfront	25' min., 84' max.	86' min.	3.2(d)(14)
Civic/Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with House, Rowhouse, and Live/ Work Building Types

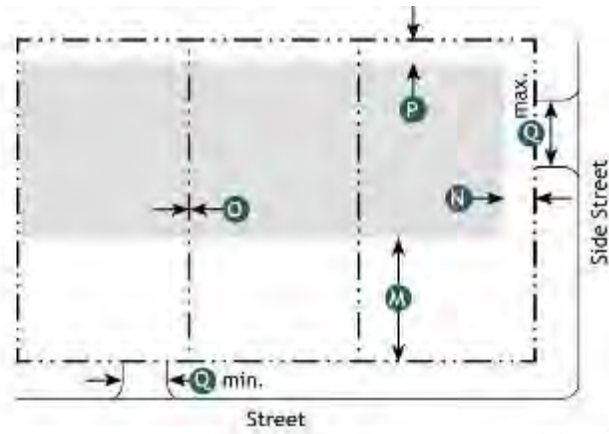
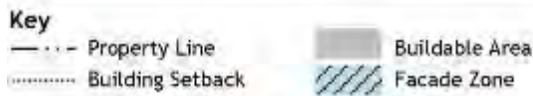
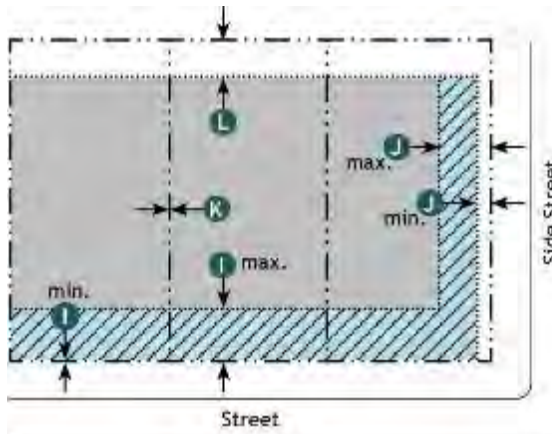
c. Building Form

Footprint	
Lot Coverage ¹	90% max.
Frontage Build-Out	
Primary Street	60% min. C
Secondary Street	50% min. D
Density (Individual Lot) & Height	
Base Density	25 du/a
Missing Middle ²	30 du/a
Building Height ¹ E	40' max. (3 stories)
Accessory Structure(s) Height	
Dwelling	2 stories, 25' max.
Other	1 story, 12' max.
Finish Ground Floor Level F	
Residential	24" min.
Commercial ⁴	Max. 6" above grade or BFE + 1' freeboard
Floor-to-Ceiling Height	
First Story: Commercial ⁴	14' min. G
Upper Stories	8' min. H
Habitable Half-Story/Attic ⁵	7' min.

¹ May be lower for certain building types
² Base Density for Rowhouse, Triplex/Fourplex, Multiplex, Courtyard Apartments, Live/Work, & Small Footprint Mixed-Use, see Subsection 3.2(d)

⁴ Does not apply to Neighborhood Shopfront type.

⁵ Minimum of 70 sq. ft. of floor area required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings



d. Building Placement

Setback (Distance from Property Line)

Front	0' min., 20' max.	I
Side		
Street	5' min., 20' max.	J
Interior	5' min.	K
Rear		
Alley	10' min.	
Interior	15' min.	L
Garage Door/Carport (from front façade)		
Attached ¹	10' min.	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

¹ Attached garages and carports along the primary street frontage are only permitted for the House Building Type

e. Parking

Location

Except for the House building type, which may include attached garages/carports along the primary street frontage, parking shall be located behind the primary building in the rear yard, and accessed from alleys or side streets wherever possible

Setbacks (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is less	M
Side Setback		
Street	5' min.	N
Interior	0' min.	O
Rear Setback		P
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

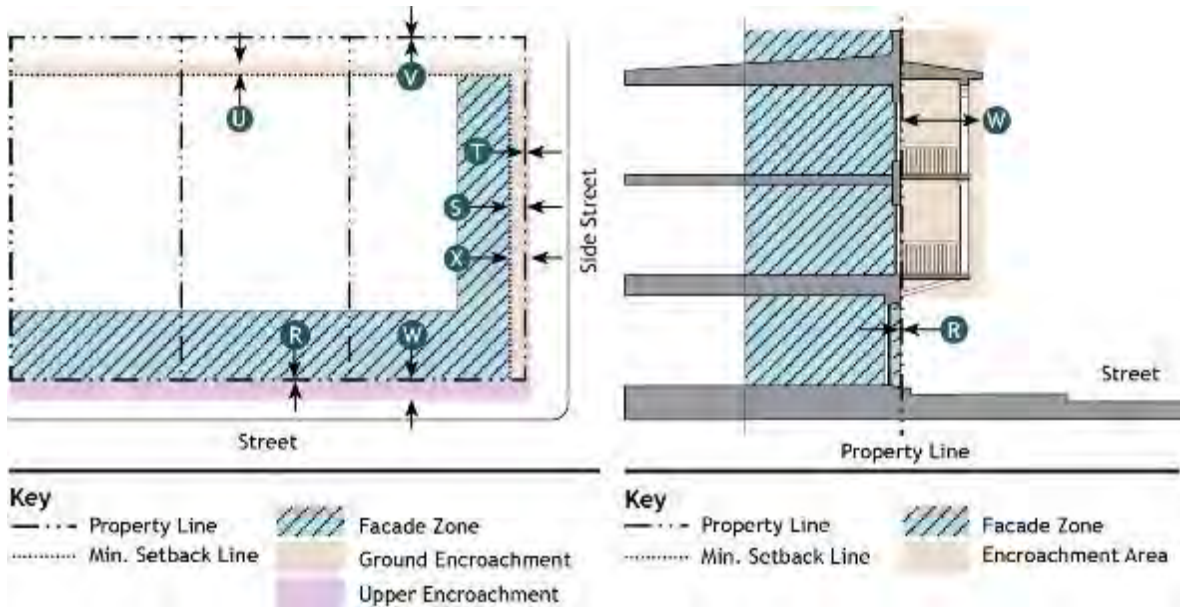
Access

Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	Q
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
Bicycle parking requirements	can be found in Section 10.13



f. Encroachments

Allowed Encroachments

Balconies, Bay Windows, Awnings, Galleries, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From		
	Min. Setback	Property Line ¹	
Front	n/a	0' max.	R
Side Street	5' max.	0' max.	S, T
Rear			
Alley	6' max.	0' max.	
Interior	4' max.	0' max.	U, V
Upper Level(s) Encroachment	Distance From		
	Min. Setback	Property Line	
Front	n/a	6' max.	W
Side Street	6' max.	1' max.	X
Rear			
Alley	6' max.	0' max.	
Interior	4' max.	0' max.	U, V

¹ Does not include awnings, canopies, galleries, and arcades, which can encroach past the property line on front and side streets up to 10', provided a 6' minimum clear sidewalk zone and an 8' vertical clear zone beneath these elements is maintained

g. Architectural Provisions

Allowed Architectural Styles Standards

Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Mid-Century Modern	7.2(e)(10)
Masonry Modern	7.2(e)(11)
Main Street Vernacular	7.2(e)(12)

Other Architectural Provisions Standards

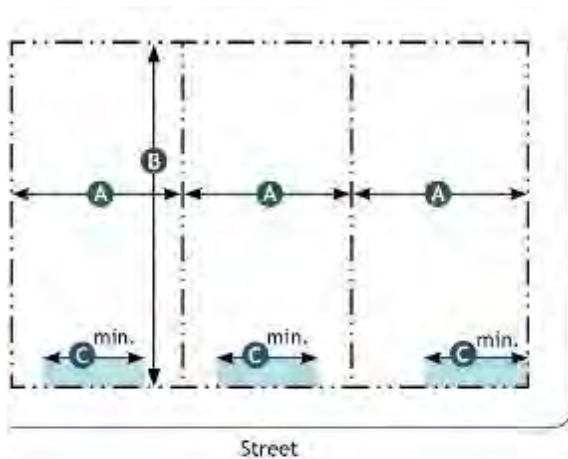
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(7). Residential Edge

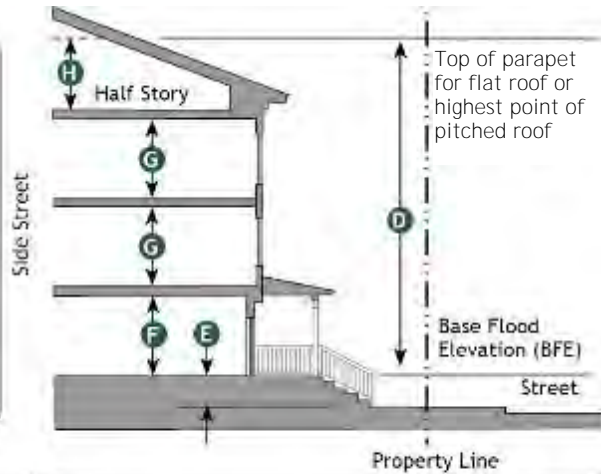


a. Intent	
Description	Primary Characteristics
<p>Along the borders of the Traditional Residential neighborhoods are Residential Edge areas that accommodate a more diverse range of residential building types, including rowhouses, triplexes, fourplexes, and multiplexes buildings. While these areas allow for slightly higher density residential, the overall scale of the buildings still blend with those of the adjacent Traditional Residential areas.</p>	<p>Detached & attached residential</p> <hr/> <p>Narrow-to-average lot widths</p> <hr/> <p>Small-to-medium setbacks</p> <hr/> <p>Up to 3 stories</p> <hr/> <p>Elevated ground floor</p> <hr/> <p>Primarily stoop, portico, and porch frontages</p>

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
House	40' min., 150' max.	86' min.	3.2(d)(3)
Cottage Court	100' min., 160' max.	120' min.	3.2(d)(4)
Rowhouse	18' min.	86' min.	3.2(d)(5)
Duplex	40' min., 100' max.	86' min.	3.2(d)(6)
Triplex/ Fourplex	50' min., 84' max.	86' min.	3.2(d)(7)
Multiplex	80' min., 130' max.	86' min.	3.2(d)(8)
Live/Work	18' min., 53' max.	86' min.	3.2(d)(10)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

¹ Permitted only with House, Rowhouse, and Live/Work Building Types

c. Building Form

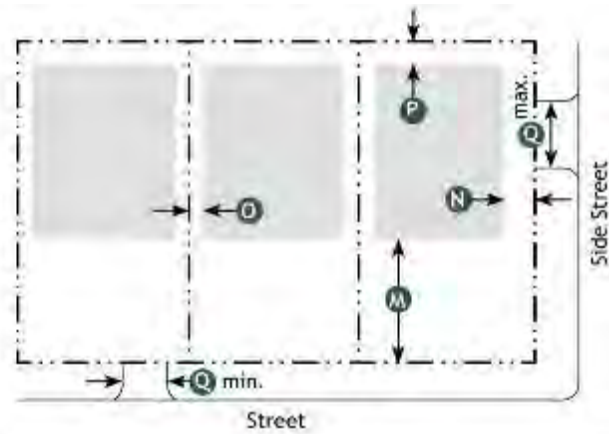
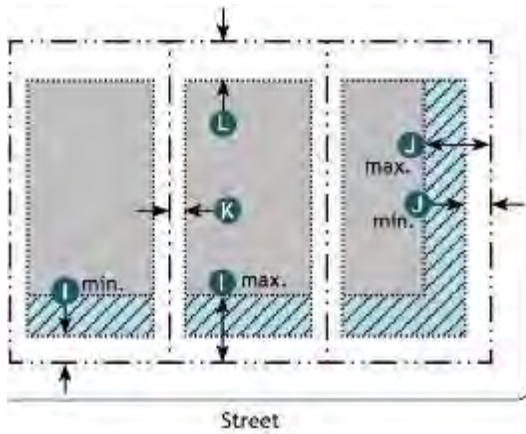
Footprint	
Lot Coverage ¹	80% max.
Frontage Build-Out	
Primary Street	60% min. C
Secondary Street	n/a
Density (Individual Lot) & Height	
	Base
Density ²	25 du/a
Building Height ¹ D	40' max. (3 stories)
Missing Middle ²	
	30 du/a
Accessory Structure(s) Height	
Dwelling	2 stories, 25' max.
Other	1 story, 12' max.
Finish Ground Floor Level E	
Residential	24" min.
Live/Work ³	Max. 6" above grade or BFE + 1' freeboard
Floor-to-Ceiling Height	
First Story: Live/Work	14'/12' min.
First Story: Residential	8' min. F
Upper Stories	8' min. G
Habitable Half-Story/Attic ⁴	7' min. H

¹ May be lower for certain building types

² Base Density for Rowhouse, Triplex/Fourplex, Multiplex, and Live/Work, see Subsection 3.2(d)

³ Applies only to live/work buildings with ground floor Storefront frontage types

⁴ Minimum of 70 sq. ft. of floor area required, half of which must have at least 7' high ceilings and the other half at least 5' high ceilings



d. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	I
Side		
Street	10' min., 25' max.	J
Interior ¹	5' min.	K
Rear		L
Alley	10' min.	
Interior	15' min.	
Garage Door/Carport (from front façade)		
Attached ²	10' min.	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

¹ Rowhouses & attached Live/Work buildings can be built up to the interior side lot line, except for those that bookend a run or grouping of these building types, which must still comply with the 5' minimum interior side setback

² Attached garages and carports along the primary street frontage are only permitted for the House Building Type

e. Parking

Location

Except for the House building type, which may include attached garages/carports along the primary street frontage, parking shall be located behind the primary building in the rear yard, and accessed from alleys or side streets wherever possible

Setbacks (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is greater	M
Side Setback		
Street	5' min.	N
Interior	5' min.	O
Rear Setback		P
Alley	0' min.	
Interior	5' min.	

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

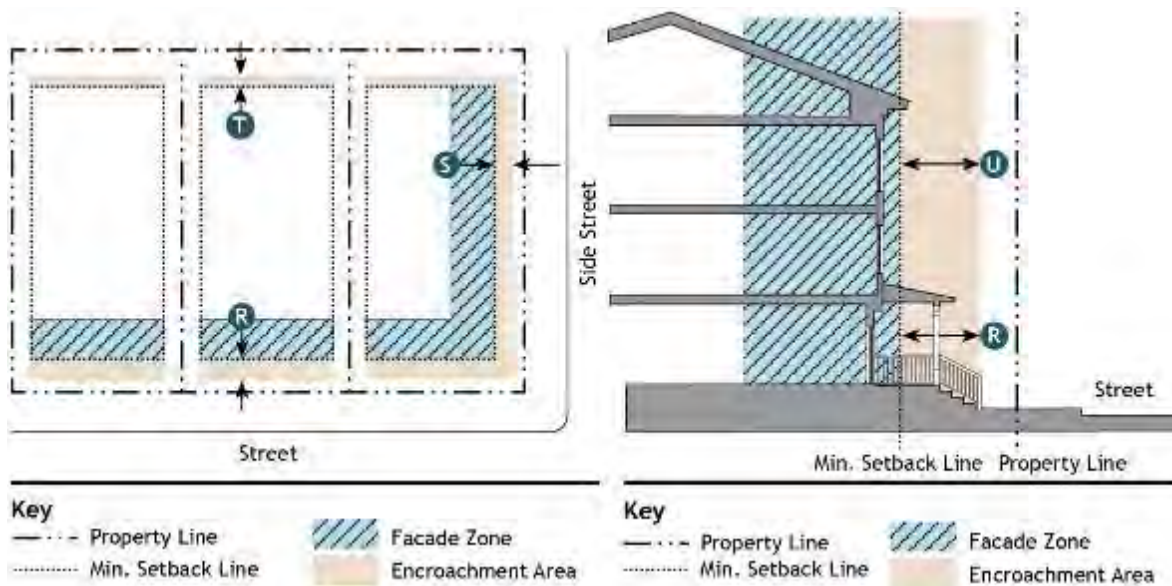
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	Q
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Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
-----------------	----------------------------------------------

Bicycle parking requirements can be found in Section 10.13



f. Encroachments

Allowed Encroachments
 Balconies, Bay Windows, Entry Canopies, Porches, Stoops, and Other Frontage Elements (see Article 7 for a full list with additional details and standards)

Ground Level Encroachment	Distance From Minimum Setback Line	
Front ¹	5' max.	R
Side Street ¹	5' max.	S
Rear		T
Alley	6' max.	
Interior	4' max.	

Upper Stories Encroachment	Distance From Minimum Setback Line	
Front	6' max.	U
Side Street	6' max.	S
Rear		T
Alley	6' max.	
Interior	4' max.	

¹ Stairs, ramps, and other vertical circulation elements needed to access the entry at or above BFE may extend all the way to the property line

g. Architectural Provisions

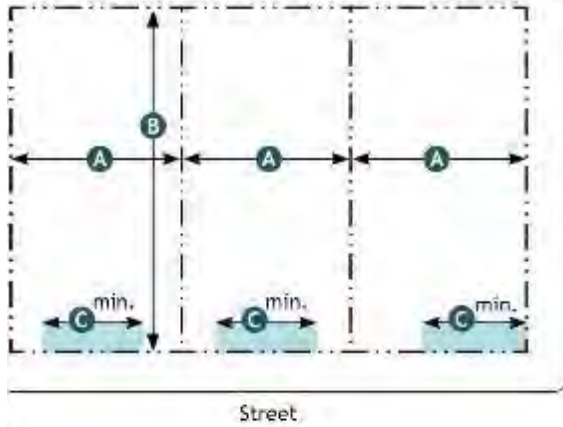
Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Mediterranean Revival	7.2(e)(10)
Masonry Modern	7.2(e)(11)
Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

(8). Traditional Residential

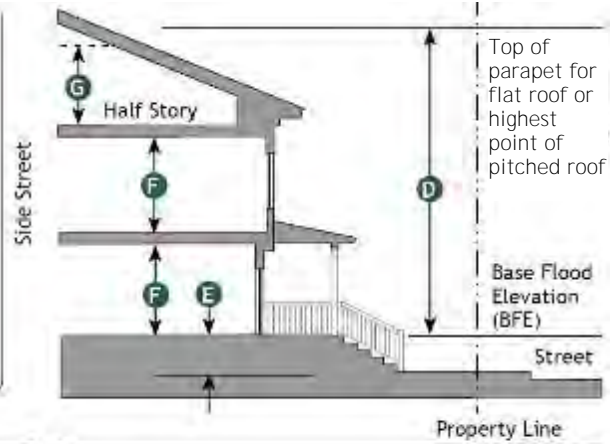


a. Intent	
Description	Primary Characteristics
<p>Traditional Residential areas are the one and two-family home neighborhoods of Traditional Punta Gorda. These areas are characterized by detached single-family houses and duplexes on compact and regular-sized lots that feature traditional elements like porches and porticos which enhance the quaint and walkable character of the city.</p>	Detached residential
	Narrow-to-average lot width
	Small-to-medium setbacks
	Up to 2 stories
	Elevated ground floor
	Primarily stoop, portico, and porch frontages

Note: The drawing above is intended to provide a brief overview of this regulating district and should be used for illustrative purposes only.



Key
 - - - Property Line Frontage Buildout



Key
 - - - Property Line

b. Allowed Building Types & Lot Size

Building Type	Lot		Standards
	Width A	Depth B	
Accessory Cottage ¹	n/a	n/a	3.2(d)(2)
House	40 min., 150' max.	86' min.	3.2(d)(3)
Cottage Court	100' min., 160' max.	120' min.	3.2(d)(4)
Duplex	40' min., 100' max.	86' min.	3.2(d)(6)
Civic/ Institutional	n/a	n/a	3.2(d)(18)

Note: Minimum and maximum lot sizes can also be found in the Building Types Subsection 3.2(d)

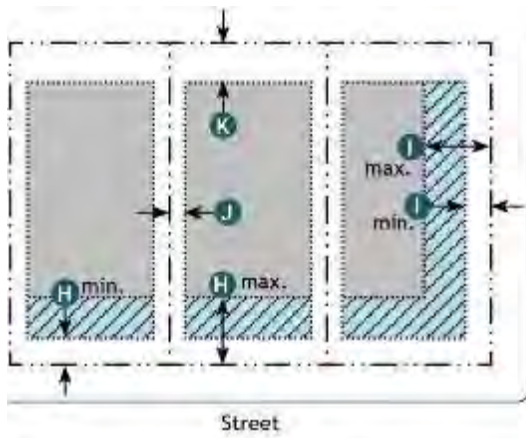
¹ Permitted only with the House Building Type

c. Building Form

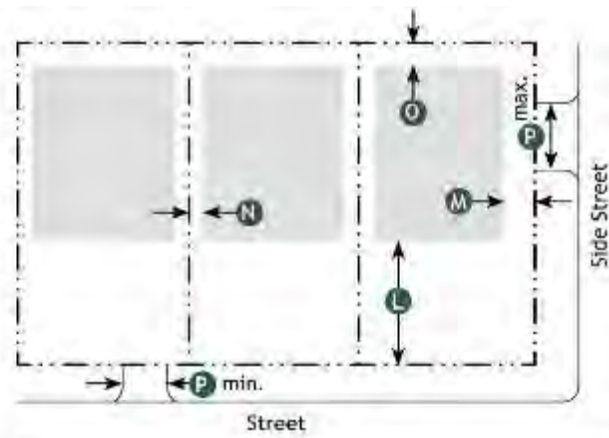
Footprint	
Lot Coverage ¹	70% max.
Frontage Build-Out	
Primary Street	60% min. C
Secondary Street	n/a
Density (Individual Lot) & Height	
Base	
Density	25 dua
Building Height ¹ D	35' max. (2 stories)
Accessory Structure(s) Height	
Dwelling	2 stories, 25' max.
Other	1 story, 12' max.
Finish Ground Floor Level E	
Residential	24" min.
Floor-to-Ceiling Height	
Full Story	8' min. F
Habitable Half-Story/Attic ² G	7' min.

¹ A habitable half-story/attic may be added above the second story, for a 2.5-story building

² Minimum of 70 sq. ft. of floor area required half of which must have at least 7' high ceilings and the other half at least 5' high ceilings



Key
 - - - Property Line
 Building Setback
 Buildable Area
 Facade Zone



Key
 - - - Property Line
 Parking Area

d. Building Placement

Setback (Distance from Property Line)

Front	10' min., 25' max.	H
Side		
Street	10' min., 25' max.	I
Interior	5' min.	J
Rear		K
Alley	10' min.	
Interior	15' min.	
Garage Door/Carport (from front façade)		
Attached ¹	10' min.	
Detached	See accessory building setbacks	

Accessory Building Setback

Front	50' min. (permitted in rear yard only)
Side	
Street	3' min.
Interior	3' min.
Rear	
Alley	3' min.
Interior	3' min.

Additional

See Subsection 3.2(d) - Building Types

¹ Attached garages and carports along the primary street frontage are only permitted for the House Building Type

e. Parking

Location

Except for the House building type, which may include attached garages/carports along the primary street frontage, parking shall be located behind the primary building in the rear yard, and accessed from alleys or side streets wherever possible

Setbacks (Distance from Property Line)

Front Setback	40' or behind primary building, whichever is greater
Side Setback	
Street	5' min. M
Interior	5' min. N
Rear Setback	O
Alley	0' min.
Interior	5' min.

Additional requirements can be found in Section 3.2(d) - Building Type Standards

Access

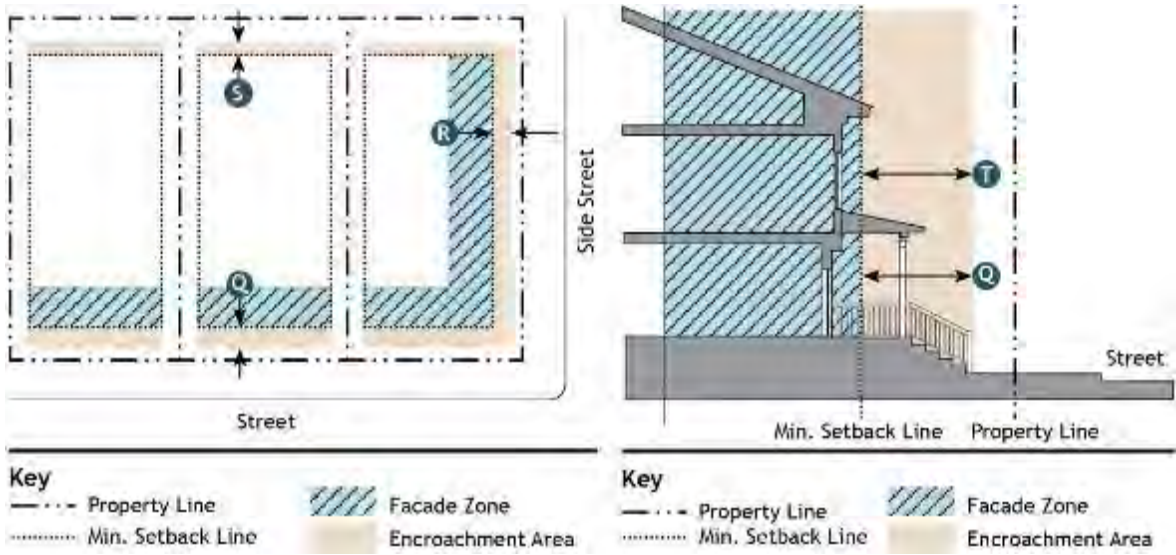
Curb Cut/Parking Driveway Width	See Building Types, Subsection 3.2(d)	P
---------------------------------	---------------------------------------	---

Additional parking and access standards and specifications can be found in Article 10

Required Spaces

Vehicle Parking	See requirements in Article 10, Section 10.6
-----------------	----------------------------------------------

Bicycle parking requirements can be found in Section 10.13



f. Encroachments

Allowed Encroachments	
Ground Level	Stairs, Ramps, Bay Windows, Porticos, Stoops, and Entry Canopies only
Upper Stories	Balconies and Bay Windows

See Article 7 for a full list of permitted frontage types with additional details and standards

Ground Level Encroachment	Distance From Minimum Setback Line	
Front ¹	5' max.	Q
Side Street ¹	5' max.	R
Rear		S
Alley	6' max.	
Interior	4' max.	

g. Architectural Provisions

Allowed Architectural Styles	Standards
Florida Wood Frame	7.2(e)(3)
Folk Victorian	7.2(e)(4)
Craftsman	7.2(e)(5)
Queen Anne Revival	7.2(e)(6)
Colonial/Georgian Revival	7.2(e)(7)
Neo-Classical Revival	7.2(e)(8)
Mission	7.2(e)(9)
Mid-Century Modern	7.2(e)(10)
Masonry Modern	7.2(e)(11)

Other Architectural Provisions	Standards
General Building Standards	7.2(a)
Elevated Building Standards	7.2(c)
Frontage Standards	7.2(d)

¹ Stairs, ramps, and other vertical circulation elements needed to access the entry at or above BFE may extend all the way to the property line

(9). Parks & Open Space



a. Intent	
Description	Primary Characteristics
<p>Parks and Open Space encompasses those lands owned by the City with a primary purpose of providing park facilities and public open spaces for the mitigation of the community. City Council will set development standards for these areas on a project-by-project basis through the City’s Capital Improvements Program in alignment with the adopted Comprehensive Plan and Parks and Recreation Master Plan.</p>	<p>Serves recreational and civic uses Accessible to the public Limited buildings permitted Limited impervious surface areas Development standards subject to design review and Council approval</p>
b. Development Standards	
<p>Permitted Building Types</p>	<p>Buildings, not including public bathrooms, storage structures, kiosks, or other open-air structures such as gazebos, shall comply with the standards for Civic/Institutional Buildings as defined in Subsection 3.2(d)(18) and will be subject to design review</p>
<p>Lot Standards</p>	<p>None</p>
<p>Maximum Building Height</p>	<p>Subject to design review and approval by City Council</p>

(10). Historic Districts Overlay

a. **Intent:** The purpose of the Historic Districts Overlay is to promote the educational, cultural, and general welfare of the public through the preservation, protection, and enhancement of the old, historic, or architecturally significant structures and areas of the City and to maintain such structures and areas as visible reminders of the history and cultural heritage of the City, the state, and the nation. The Historic Districts Overlay contains four sub-districts, the Downtown Historic District, the Main Street Historic District, the Grace Street Mid-Century Modern Historic District, and the Neighborhood Conservation District, which are described as follows:

1. **Downtown Historic District:** This sub-district preserves and enhances the largest remaining cluster of historic commercial and residential buildings in Punta Gorda. In addition to stricter regulations regarding the demolition and renovation of historic structures (Section 16.3), development in this district must comply with a more select range of architectural styles that directly reflect the character of past and existing historic structures.
2. **Main Street Historic District:** This sub-district preserves and enhances the historic low-rise commercial buildings in Downtown Punta Gorda's, ensuring that new development on both sides of these streets is compatible and create a more complete and cohesive traditional main street district. In addition to stricter regulations regarding the demolition and renovation of historic structures (Section 16.3), development in this district is ineligible for Development Mitigation allowances for residential density and building and must comply with a more select range of architectural styles that directly reflect the character of past and existing historic structures.
3. **Grace Street Mid-Century Modern District:** This sub-district preserves and enhances the unique cluster of ranch-style homes built in the 1950s and 1960s along W Ann and W Grace Street between Berry and McGregor Street. New residential development and renovations in this district must comply with architectural standards that preserve the mid-century modern architectural style of the existing historic structures.
4. **Neighborhood Conservation District:** This sub-district enhances the historically platted neighborhoods East of US 41 by encouraging new traditional development that will restore this once vibrant and bustling historic neighborhood. Development in this district must comply with a more select range of architectural styles that directly reflect the historic structures that were once located here.

- b. **Applicability:** Properties within the Historic Districts Overlay are subject to specific standards found in this section, and to the review procedures of the Historic Preservation Advisory Board (HPAB) as described in Sections 8.1 and 16.3.
- c. **Historic Districts Overlay Designated:** For the purposes of this section, the Historic Districts Overlay is hereby established as a series of areas which overlap and overlay existing regulating districts. The boundaries of this overlay shall be designated on the official Regulating Plan for the Traditional Punta Gorda Zoning District. The Historic Districts Overlay may be applied in combination with any underlying base regulating district, and none shall be established or implemented unless deemed and found by the Historic Preservation Advisory Board (HPAB) to be of special significance according to the procedures outlined in Section 16.3.
- d. **Sub-districts Established:** The Historic Districts Overlay shall be composed of four (4) Local Register historic sub-districts identified as the Downtown District, the Main Street District, the Grace Street Mid-Century Modern District, and the Neighborhood Conservation District, which are hereby established. The boundaries of these sub-districts shall be designated on the official Regulating Plan for the Traditional Punta Gorda Zoning District. Where the term Punta Gorda Historic District (or a similar reference) is used in this section or in any supplementary materials, it shall apply to both sub-districts. However, where there is a specific reference to a sub-district, that specific reference shall apply and supersede any reference to the Historic Districts Overlay.
- e. **Specific Standards:** Development within the Historic Districts Overlay shall comply with all underlying Regulating Districts standards established in Subsection 3.2(c), except as otherwise noted below:
1. Permitted Architectural Styles: Buildings in this district must comply with the Architectural Style Standards in Article 7, Section 7.2(e) for the following styles:
 - i. Downtown Historic District:
 - Florida Wood Frame Vernacular
 - Folk Victorian
 - Craftsman
 - Queen Anne Revival
 - Colonial/Georgian Revival
 - Neo-Classical Revival
 - Mission
 - Main Street Vernacular
 - ii. Main Street Historic District:

- Florida Wood Frame Vernacular
 - Folk Victorian
 - Craftsman
 - Queen Anne Revival
 - Colonial/Georgian Revival
 - Main Street Vernacular
 - Masonry Modern
- iii. Grace Street Mid-Century Modern Historic District:
- Mid-Century Modern
- iv. Neighborhood Conservation Sub-district
- Florida Wood Frame Vernacular
 - Folk Victorian
 - Craftsman
 - Queen Anne Revival
 - Colonial/Georgian Revival
 - Neo-Classical Revival
 - Mission
 - Main Street Vernacular
- f. Exterior Building Materials: The application of artificial siding, including aluminum and vinyl siding, shall not be permitted on structures listed on the Local Register due to its potential to damage wood frame buildings. However, vinyl siding may be replaced on historic structures which, as of January 1, 2005, already had it. Vinyl siding may also be used in new buildings within the Historic Overlay, provided it is of high quality and is designed to match the plank sizes and patterns found in historic wood siding for the chosen architectural style.
- g. Building Height
1. Main Street Historic District: Buildings in this district shall not exceed 35' max. (2 stories) and shall not be eligible for any additional height allowance through the Community Mitigation Program outlined in Subsection 3.2(j).

(11). Medical Overlay District

- a. **Intent:** The Medical Overlay District provides additional development intensity for development in and around the hospital. As communities grow and change, hospitals must expand and evolve to meet the needs of the region. This overlay is intended to support the needs of hospitals today and in the future while also encouraging a vibrant medical-focused mixed-use district that brings new jobs, medical and other essential workers as

residents to this area.

- b. **Applicability:** Properties within the Medical Overlay District are subject to specific standards found in this section.
- c. **Specific Standards:** Development within the Medical Overlay District shall comply with all underlying Regulating Districts standards established in Subsection 3.2(c), except as otherwise noted below:
 - i. **Building Height:** Buildings in this district may exceed those of the underlying regulating district up to a base height of 50 feet (4 stories) and a maximum height with development mitigation requirements of 100 feet (7 stories).
- d. **Development Mitigation** allowances/requirements are available in the Medical Overlay District and are shown below in Table 3.2-11
 - i. Building types available for Development Mitigation are limited to Medium Footprint Mixed Use (MFMU) and Liner (as accessory to MFMU) Building Types.
 - ii. A minimum of 25 percent of the development total floor to area ratio must be non-residential (FAR should be clearly defined as total building area (cubical content /impact fees charged excludes parking, outdoor plaza/dining/pavilion, or any other unenclosed space) by total land area.

Table 3.2-11: Allowances/requirements for Development Mitigation in the Medical Overlay District.

Maximums		Additional Requirements for all properties within the Medical Overlay District		
Building Height	Residential Density	minimum non-residential floor to area ratio (FAR)	minimum street setback	Public open space
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site
100 feet ¹ (7 stories)	45 du/a	0.25	15 feet	7.5 percent of site

¹ To achieve additional height above 65 feet, a minimum of 80% of the total gross floor area of all buildings on the development site must be dedicated to medical uses.

(12). **Waterfront Overlay District**

- a. **Intent:** The Waterfront Overlay District provides additional development intensity for development on waterfront parcels to encourage continued water dependent economic activities and greater public access to the waterfront.
- b. **Applicability:** Properties within the Waterfront Overlay District are subject to the specific standards found in this section.
- c. **Specific Standards:** Development within the Waterfront Overlay District shall comply with all underlying Regulating Districts standards established in Subsection 3.2(c).
- d. **Permitted Uses:** In addition to the uses permitted by the underlying regulating district the following maritime and non - maritime uses are also permissible:
 - i. Marinas, including industrial marinas and sports marinas.
 - ii. Boat ramps including unimproved launch facilities for non - motorized vessels.
 - iii. Ferry or water taxi terminals.
 - iv. Excursion and charter boat facilities.
 - v. Offshore mooring facilities.
 - vi. Rental facilities for water-oriented sports equipment.
 - vii. Parks.
 - viii. Public esplanades, bike paths and boardwalks.
 - ix. Environmental educational facilities.
 - x. Recreational fishing piers.
 - xi. Transit and pedestrian/bicycle facilities.
 - xii. Mixed use facilities when greater than 50% non - residential.
 - xiii. Event/civic centers (public).
 - xiv. Marine dry storage facility.
- e. **Permitted Accessory Uses and Structures:**
 - i. Uses and structures which are customarily incidental and subordinate to permitted uses.
 - ii. Such other uses as determined by the Zoning Official or his/her designee to be:
 - Appropriate by reasonable implication and intent of the district.
 - Similar to another use either explicitly permitted in the district or allowed by special exception.

f. **Development Mitigation** allowances/requirements are available in the Waterfront Overlay District and are shown below in Table 3.2-12

- i. The Public Day Dock requirement must be fulfilled on-site. Public Day Docks require an agreement between the City and property owner.
- ii. Building types available for Development Mitigation are limited to Medium Footprint mixed use and liner (as accessory to MFMU) Building Types.
- iii. A minimum of 25 percent of the development total floor to area ratio must be non-residential (FAR should be clearly defined as total building area (cubical content /impact fees charged excludes parking, outdoor plaza/dining/pavilion, or any other unenclosed space) by total land area.

Table 3.2-12: Allowances/requirements for Development Mitigation in the Waterfront Overlay District.						
Maximums, all districts		Within Waterfront Overlay only				
Building Height	Residential Density	Minimum non-residential floor to area ratio (FAR)	minimum street setback	Public open space	Public parking requirement ¹	Public Day Docks
50 feet (4 stories)	35 du/a	0.25	5 feet	2.5 percent of site	0.25 spaces per dwelling unit	5 percent of total slips permitted by the regulatory agency
65 feet (5 stories)	45 du/a	0.25	10 feet	5 percent of site	0.5 spaces per dwelling unit	10 percent of total slips permitted by the regulatory agency
80 feet (6 stories)	60 du/a	0.25	15 feet	7.5 percent of site	0.75 spaces per dwelling unit	12.5 percent of total slips permitted by the regulatory agency

¹ The Public Parking requirement may be fulfilled on-site, off-site, or by a fee in-lieu payment. Public Parking requires an agreement to be reviewed by City staff and approved by City Council per the process spelled out in Section 3.2.

(d) Building Types.

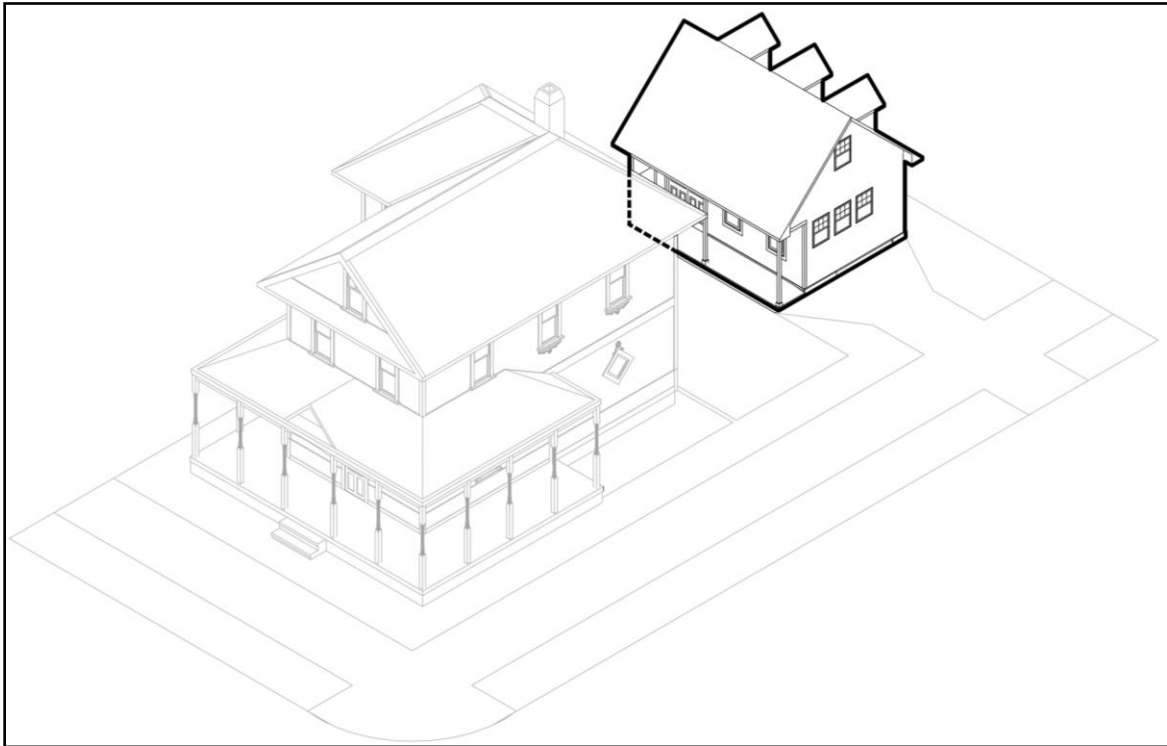
- (1) Introduction to building types.
 - a. Table 2 describes which building types are allowed in each regulating district and overlay district (Table 2 is in Subsection 3.2(c)). An “X” in the column for each district in Table 2 indicates that a particular building type is allowed in that district; other building types are not allowed in that district. If a property is in an overlay district, the allowable building types for the overlay district apply instead of those for the regulating district.
 - b. On the following pages, each building type is described in detail. The first page for each building type (subsection (a)) includes a sample drawing, a summary description, and several photographs illustrating that type; this is general information about the building type and is not regulatory. The specific development standards for each type are shown on the second and third pages (subsections (b) through (e)). Where numerical development standards for an allowable building type are different than the general regulations for the regulating or overlay district, the standards for the building type prevail.

The building types included are as follows:

1. Accessory Cottage	Residential Building Types
2. House	
3. Cottage Court	
4. Duplex	
5. Rowhouse	
6. Triplex/Fourplex	
7. Multiplex	
8. Courtyard Apartment	
9. Live/Work	Mixed-Use Building Types
10. Small Footprint Mixed-Use	
11. Medium Footprint Mixed-Use	Commercial Building Types
12. Main Street Shopfront	
13. Neighborhood Shopfront	Special Building Types
14. Liner	
15. Loft	
16. Warehouse	
17. Civic/Institutional	

- c. At the end of Subsection 3.2(d), Table 3 provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

(2) Accessory Cottage



a. Summary

Description

An Accessory Cottage is an accessory structure detached from a primary building. It is typically a stand-alone building, though it may be attached to similar accessory structures to form a mews at the rear of rowhouses. It may house a garage, small studio apartment, home-office, or some combination thereof. This unit type can only be constructed in conjunction with the House Building Type found in Section 3.2(d)(3).

Key Characteristics

Detached or Attached Unit

Multi-Use

1 to 2 stories

Oriented to Driveway or Alleyway

Examples & Variations



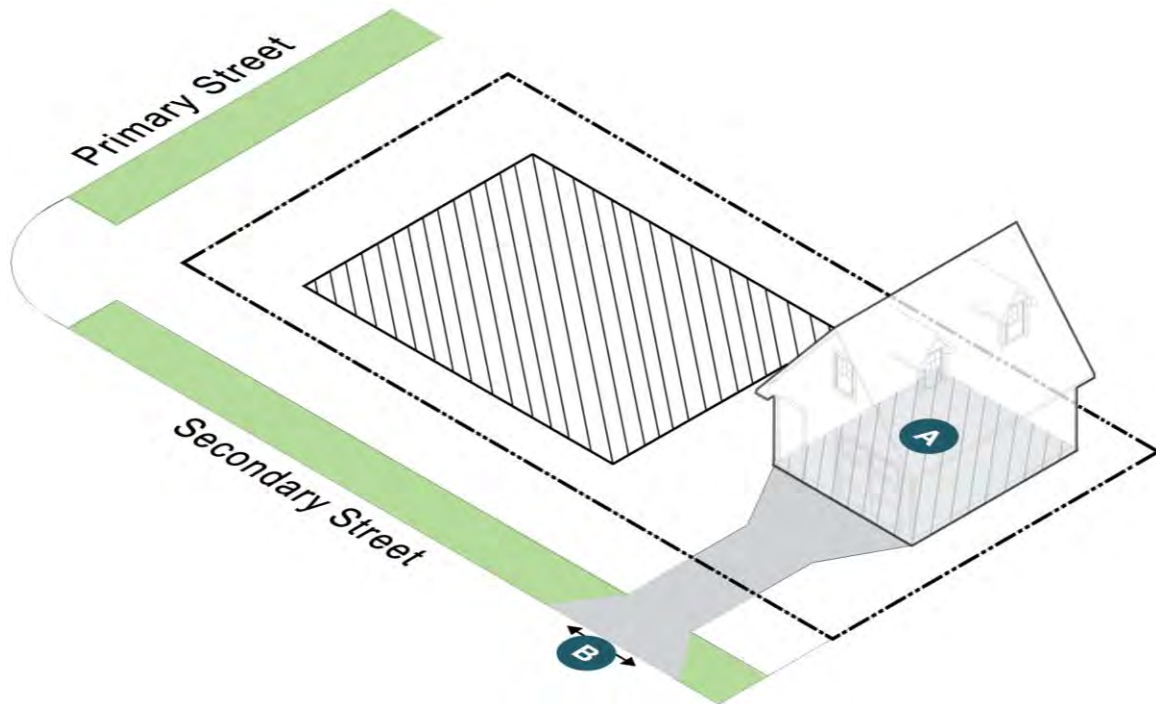
Accessory Dwelling Unit



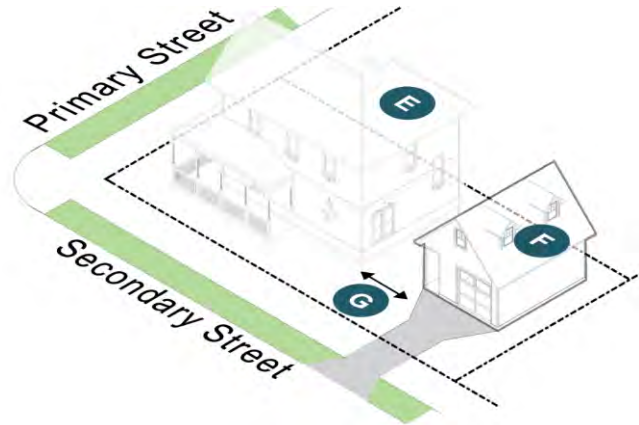
Cottage in City of San Gabriel CA



Carriage House



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Parking Access	
As required for the primary structure.		Number of Driveways/Curb Cuts	
Building Footprint & Placement		Primary Street	n/a
Lot Coverage	n/a	Secondary Street	1
Building Area A	300-1,000 SF max., or 50% of primary building SF, whichever is less.	Driveway Width	8' min., 12' max. B
Frontage Buildout	n/a	Pedestrian Access	
Setbacks	Must comply with the setbacks defined in the Regulating District, Subsection 3.2(c)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	1 per primary building ¹		
Density ²	1 du per individual lot		
Building Height	25' max. (2 stories)		
¹ Individual rowhouses units count as a single primary building, even though they may be part of a larger grouping of rowhouses ² Dwelling units are only permitted where the Primary building type is a House as defined in Section 3.2(d)(3)			



d. Building Composition

Front Façade Fenestration

Ground Floor ¹	10% min., 50% max.	C
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	D

Roof Type²

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Permitted Frontage Types²

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹If a ground floor contains a vehicular entry, the area of the vehicular entry is subtracted from the calculated area of the ground floor façade.

²Additional standards or limitations may apply for specific Architectural Styles, Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	E
Accessory	1	F

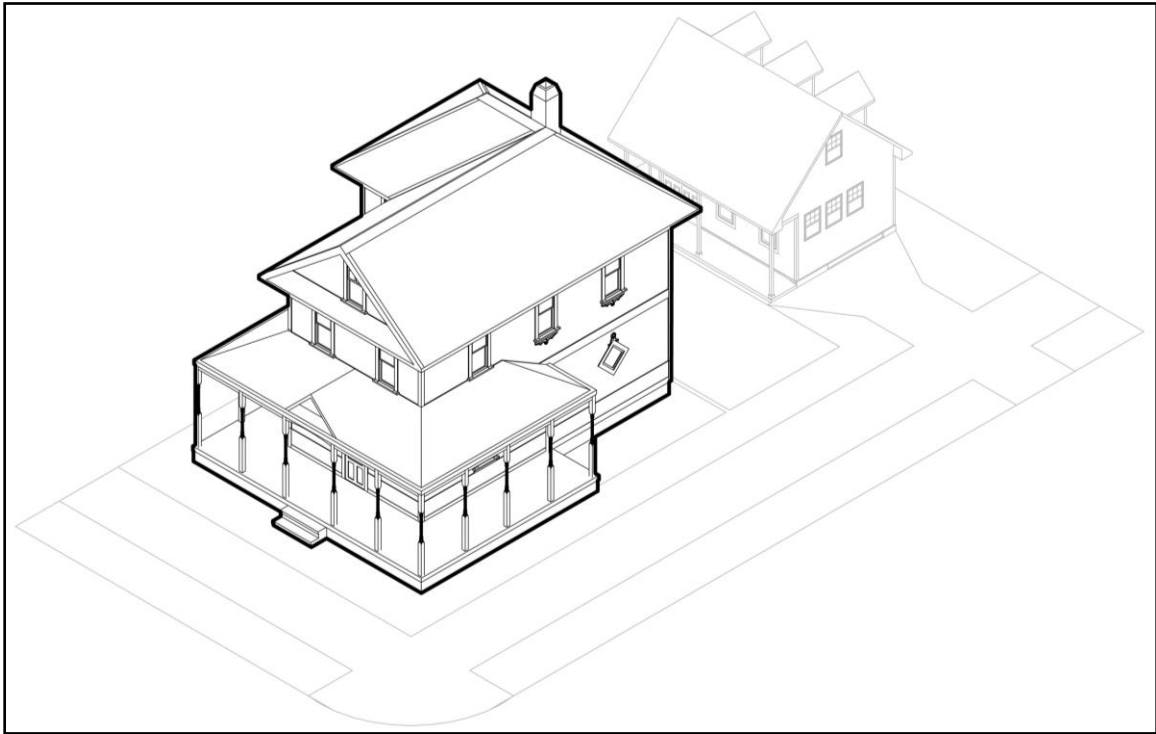
Private Open Space

Private open space requirements shall be determined by the main building on the lot. No additional open space is required for the accessory cottage.

Additional

Distance Between Primary and Secondary Building	10' min.	G
-------------------------------------------------	----------	---

(3) House



a. Summary

Description

A House is a detached single-family residence which occupies a single lot.

Key Characteristics

Detached Unit

Residential

1 to 2.5 stories

Street-Oriented

Examples & Variations



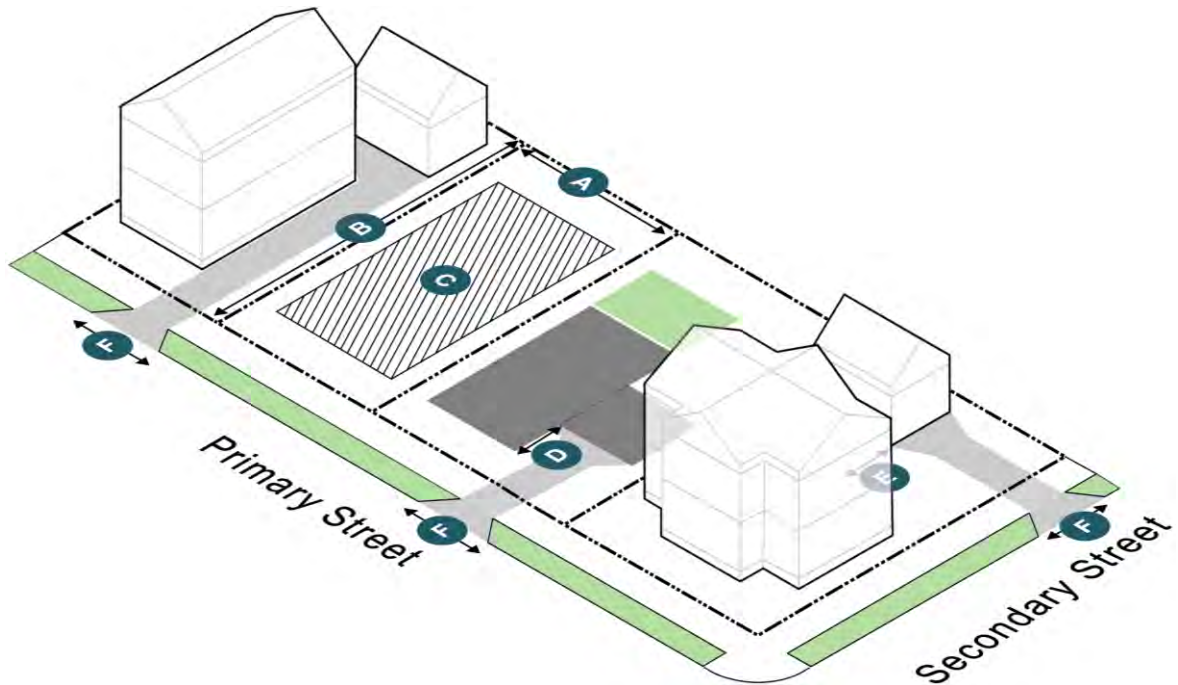
One-and-a-Half Story House



Two-Story House



Two-and-a-Half Story House



b. Lot & Building Standards

Lot Dimensions

Width	40' min., 150' max.	A
Depth	86' min.	B
Lot Size ¹	3,500 SF min., 20,000 SF max.	

Building Footprint & Placement

Lot Coverage	70% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		

Intensity

No. of Units	1 max.	
Density (Individual Lot)	Base	W/ Accessory Cottage
	13 du/a	25 du/a max.

Building Height	35' max. (2.5 stories)
-----------------	------------------------

¹ The House Building Type shall also be permitted on any lot platted prior to March 2005

c. Parking & Access

Location

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

Garage Door/Carport Setback

Attached	10' min. (from front façade)	D
Detached ¹	Behind primary building in the rear yard only	E

Parking Access

Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	F

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	I

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	J
Accessory	1	K

Private Open Space¹

Depth	15' min.	L
Area	300 SF min.	M

Additional

Distance Between Primary and Secondary Building	10' min.	N
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¹ Required street setbacks and driveways shall not be included in the private open space calculation

(4) Cottage Court

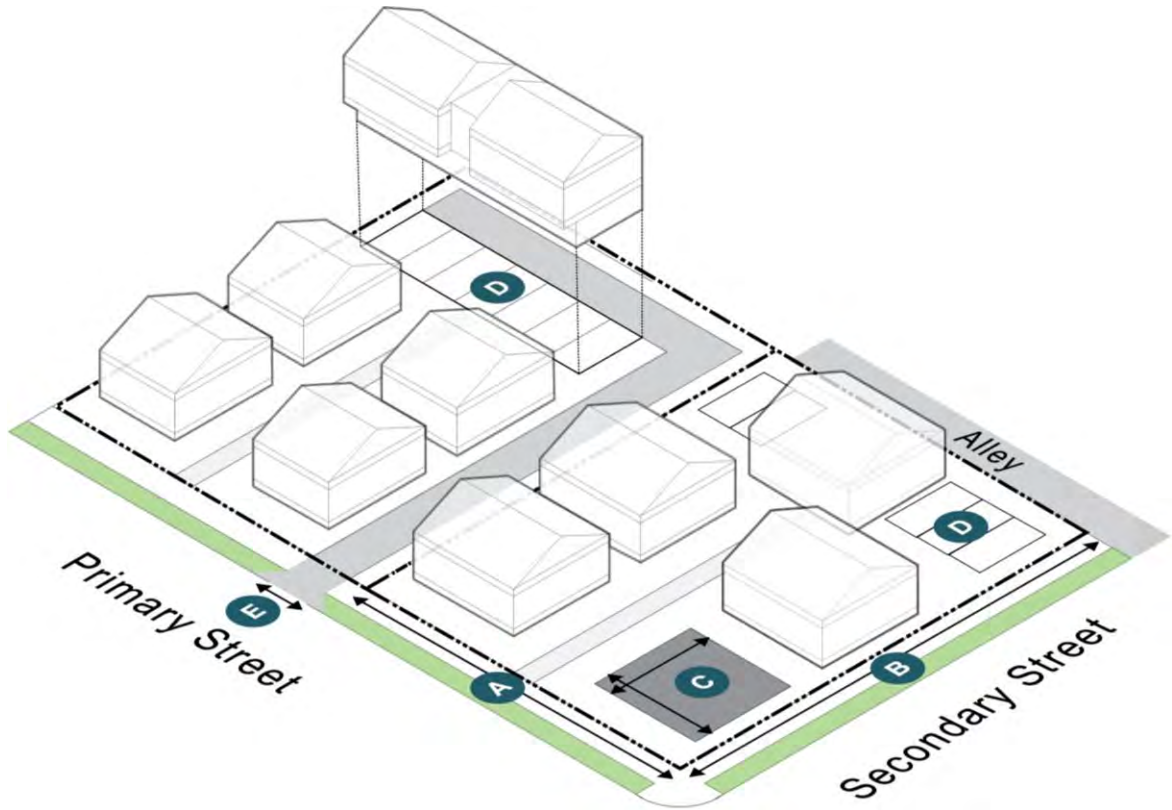


a. Summary

Description	Key Characteristics
<p>A Cottage Court consists of a series of small, detached structures, providing multiple units arranged to define a shared courtyard that is typically perpendicular to the street. The common yard takes the place of a private rear yard and becomes an important community enhancing element.</p>	<p>Detached Units Residential 1 to 2 stories Orients to the Street and Central Open Space</p>

Examples & Variations

<p>Cottage Court</p>	<p>Ericksen Cottages in Bainbridge, WA</p>	<p>Cottage Court</p>



b. Lot & Building Standards	
Lot Dimensions	
Width	100' min., 160' max. (A)
Depth	120' min. (B)
Lot Size	12,000 SF min.
Building Footprint & Placement	
Lot Coverage	70% max.
Cottage Size	500 SF min. (C)
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Intensity	
No. of Units	5 min., 12 max.
Density (Individual Lot)	25 du/a max.
Building Height	30' max. (2 stories)

c. Parking & Access	
Location	
Parking shall be located in the rear yard of the site, shielded from view from the primary street, and accessed from alleys or side streets wherever possible. (D)	
Garage Door/Carport Setback	
Attached ¹	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached	Not permitted
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max. (E)
Pedestrian Access	

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Park under units shall comply with all primary building setbacks as defined in Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	F
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	G

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

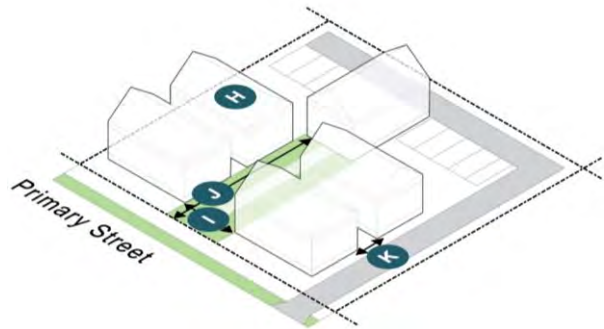
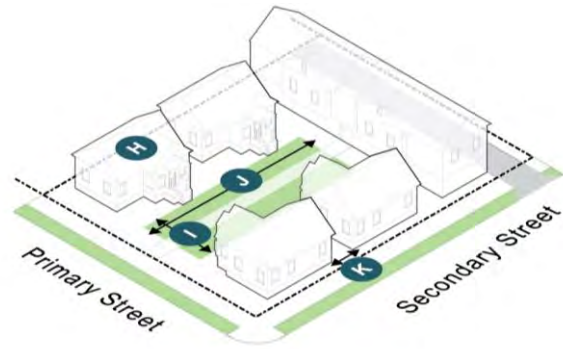
At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

Number of Buildings

Primary	5-10	H
Accessory	n/a	

Common Open Space¹

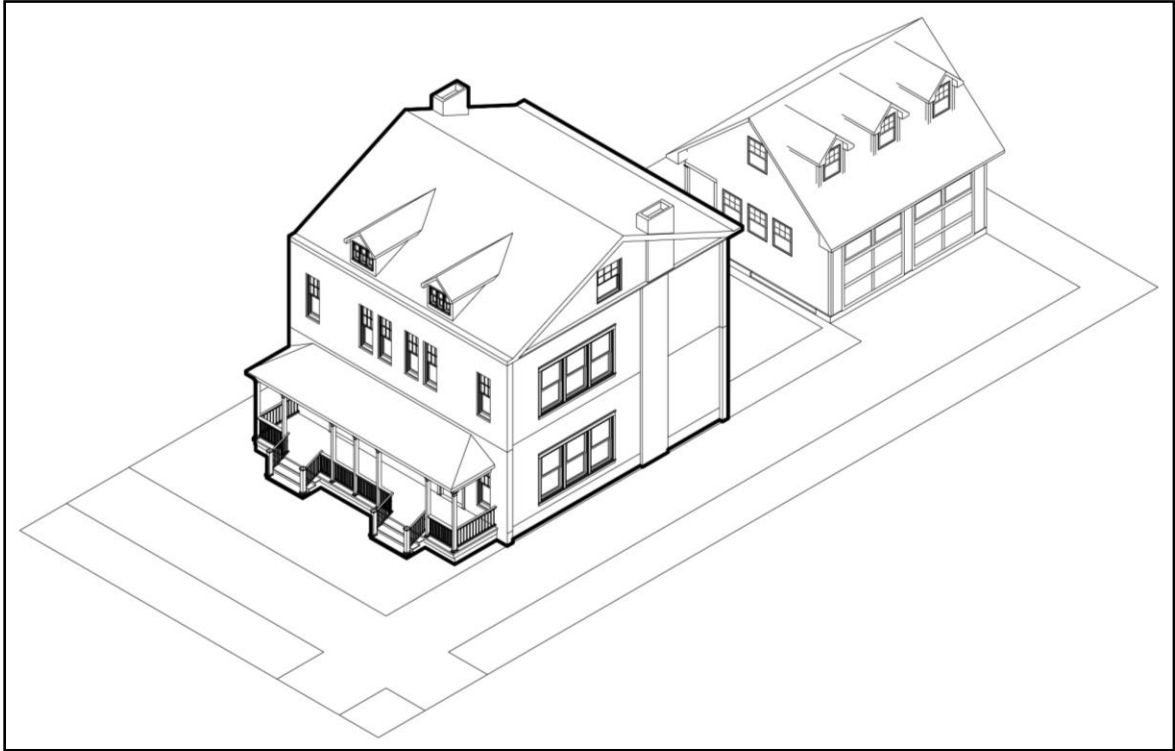
Width	15' min.	I
Depth	40' min.	J
Area	200 SF per unit min.	

Additional

Distance Between Buildings	10' min.	K
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¹ Required street setbacks and driveways shall not be included in the open space calculation

(5) Duplex



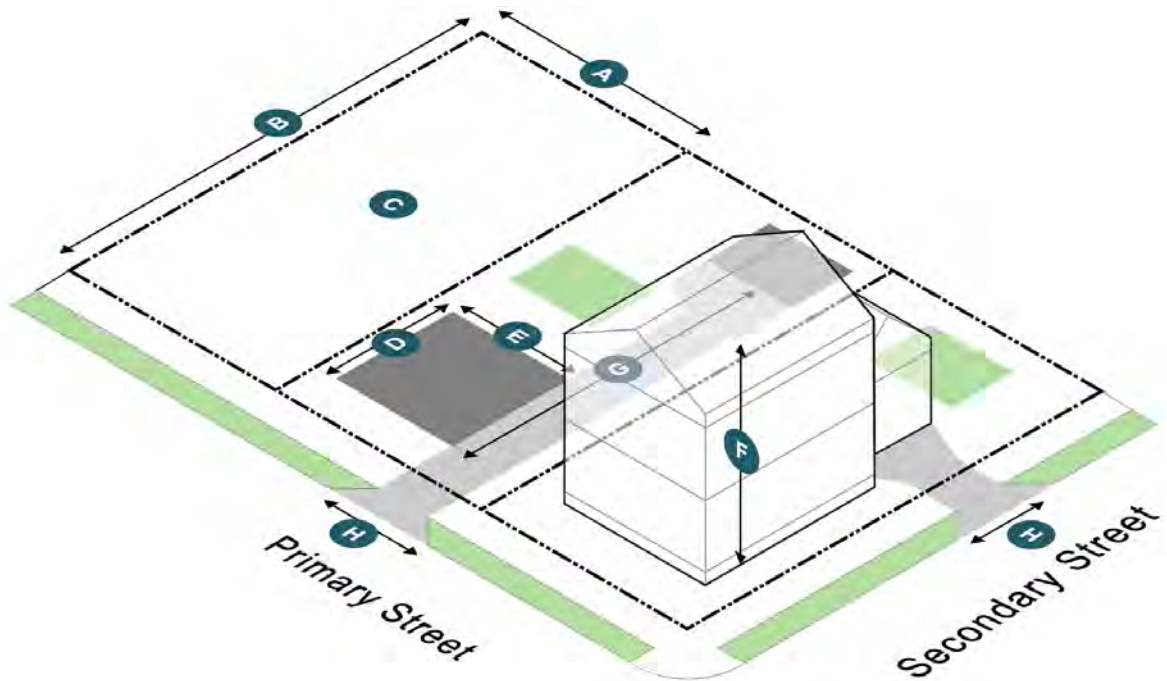
a. Summary

Description	Key Characteristics
<p>The Duplex is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing.</p>	<p>Attached Units (stacked or side-by-side)</p> <hr/> <p>Residential</p> <hr/> <p>1 to 2.5 stories</p> <hr/> <p>Small-to-Medium Street Setback</p>

Examples & Variations



Side by Side Duplex Side by Side Duplex Stacked Duplex



b. Lot & Building Standards

Lot Dimensions

Width	40' min., 100' max.	A
Depth	86' min.	B
Lot Size ¹	3,500 SF min.	C

Building Footprint & Placement

Lot Coverage	70% max.	
Frontage Buildout ²	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	28' min.	D
Building Width	28' min.	E

Intensity

No. of Units	2 units
Density (Individual Lot)	25 du/a max.
Building Height	F 35' max. (2.5 stories)

¹ The Duplex Type shall also be permitted on any lot platted prior to March 2005
² Frontage Buildout requirements on secondary streets shall not apply to the Duplex type

c. Parking & Access

Location

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

Garage Door/Carport Setback

Attached	10' min. (from front façade)
Detached ¹	G Behind the primary building in the rear yard only

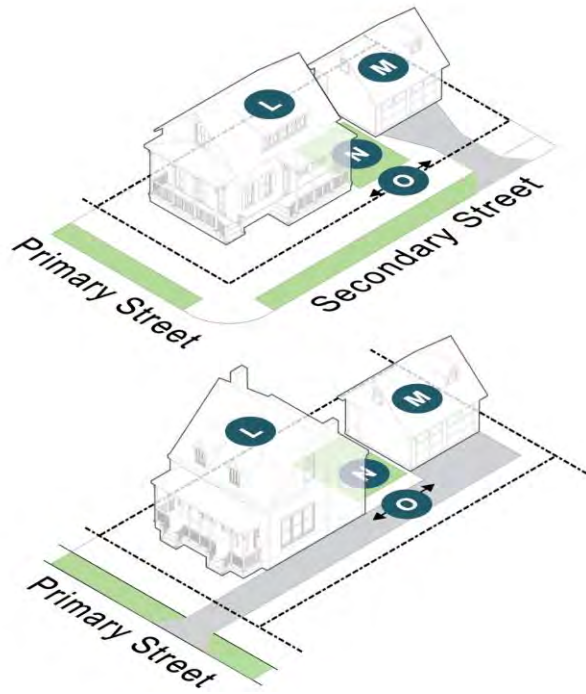
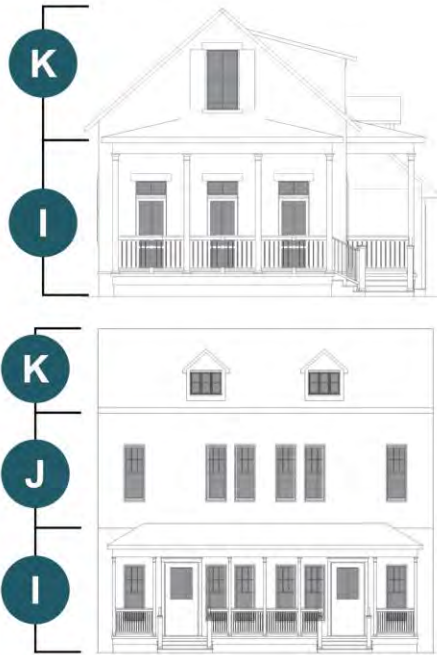
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	H 8' min., 12' max.

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition	
Front Façade Fenestration	
Ground Floor	30% min., 50% max. I
Upper Story	20% min., 50% max. J
Habitable Half Story/Attic	10% min., 30% max. K
Roof Type¹	
Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
Permitted Building Elements¹	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
Required & Permitted Frontage Types¹	
At least one of the following types is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
Number of Buildings	
Primary	1 L
Accessory	1 M
Private Open Space¹	
Area	300 SF per unit min. N
Additional	
Distance Between Primary and Secondary Building	10' min. O
¹ Required street setbacks and driveways shall not be included in the open space calculation	

(6) Rowhouse



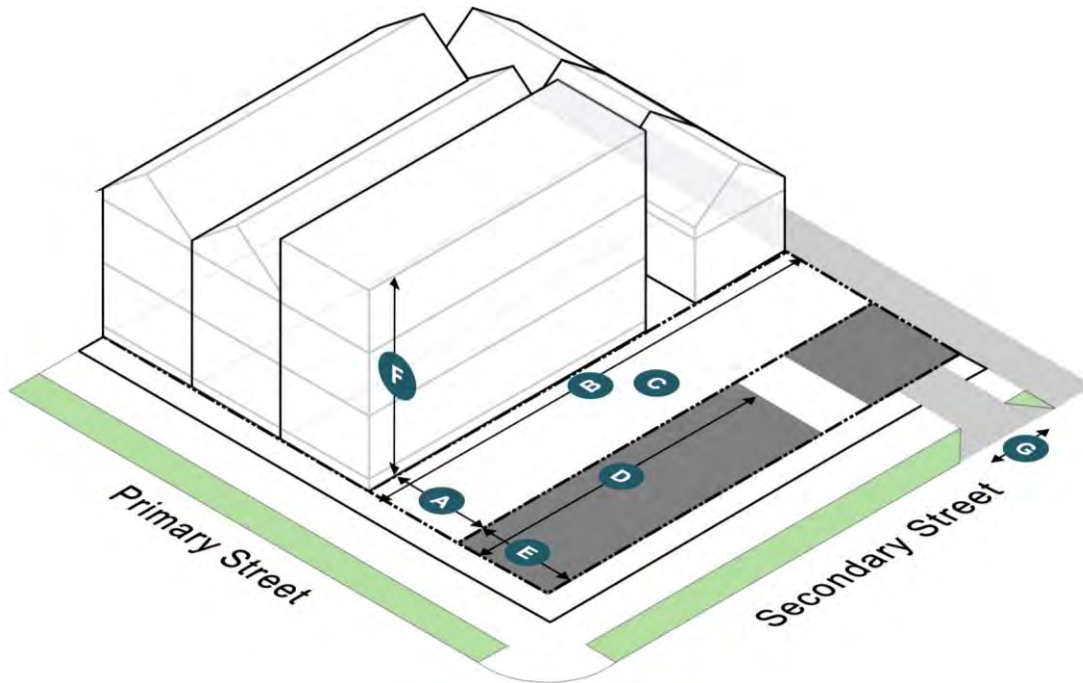
a. Summary

Description	Key Characteristics
<p>A Rowhouse is an attached house on a shallow lot that shares a party wall with an adjacent unit. Rowhouses may be combined under one roof form or divided by a parapet wall.</p>	Attached Units
	Residential
	1 to 3 stories
	Street-Oriented

Examples & Variations



Rainbow Row: Charleston, SC	Cannery Row: Delray Beach, FL	Almeria Row: Coral Gables, FL
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b. Lot & Building Standards

Lot Dimensions

Width	18' min.	(A)
Depth	86' min.	(B)
Lot Size	1,550 SF min.	(C)

Building Footprint & Placement

Lot Coverage	90% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks ¹	
Unit Depth	35' min. (D)
Unit Width ²	18' min., 36' max. (E)

Intensity

No. of Units	1 unit
Density (Individual Lot)	30 du/a max.
Building Height	35' max. (3 stories) (F)

¹The first and last rowhouses in a run must comply with internal side yard setbacks

²A grouping of attached houses may not exceed 220' in aggregate width.

c. Parking & Access

Location

Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley.

Garage Door/Carport Setback

Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached ¹	Accessed from side street or rear lane/alley

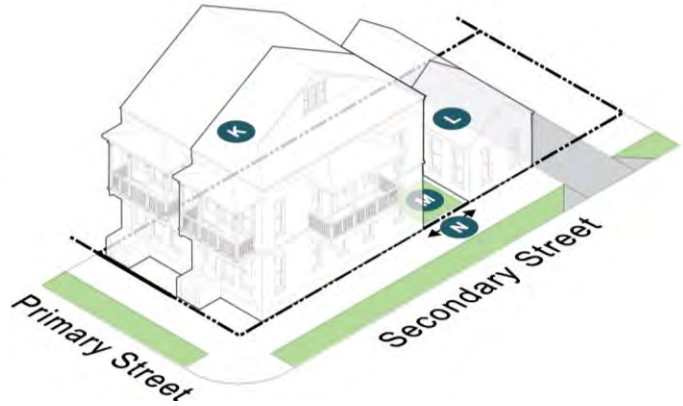
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1 per grouping of at least 4 rowhouses, if no alley is present
Secondary Street	1
Driveway Width	10' min., 18' max. (G)

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

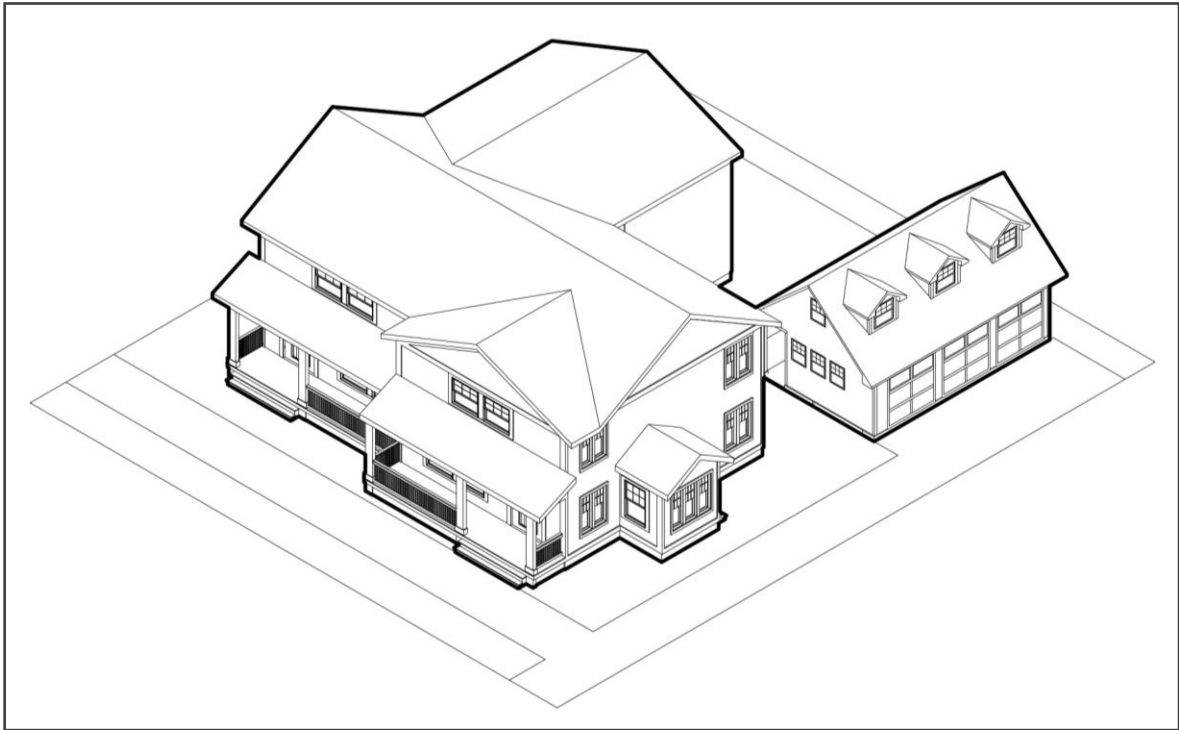
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition	
Front Façade Fenestration	
Ground Floor	30% min., 50% max. H
Upper Story	20% min., 50% max. I
Habitable Half Story/Attic	10% min., 30% max. J
Roof Type¹	
Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
Permitted Building Elements¹	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
Required & Permitted Frontage Types¹	
At least one of the following is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
Number of Buildings	
Primary	1 K
Accessory	1 L
Rowhouses per Run ¹	4 min., 10 max. or 220' in length, whichever is less
Private Open Space²	
Area	100 SF per unit min. M
Additional	
Distance Between Runs ¹	10' min.
Distance Between Primary and Secondary Building	10' min. N
¹ A Run is a grouping of attached rowhouses, which can be built individually over time or all at once as a single building with internal divisions	
² Required street setbacks and driveways shall not be included in the open space calculation	

(7) Triplex/Fourplex



a. Summary

Description

A small-to-medium sized detached structure that consists of 3 to 4 units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, typically with one entry for the ground floor unit and a shared entry from the units above. This type has the appearance of a medium sized single-unit house and may include a rear yard.

Key Characteristics

Attached Units (Stacked or Side-by-Side)

Residential

1 to 3 stories

Small-to-Medium Street Setback

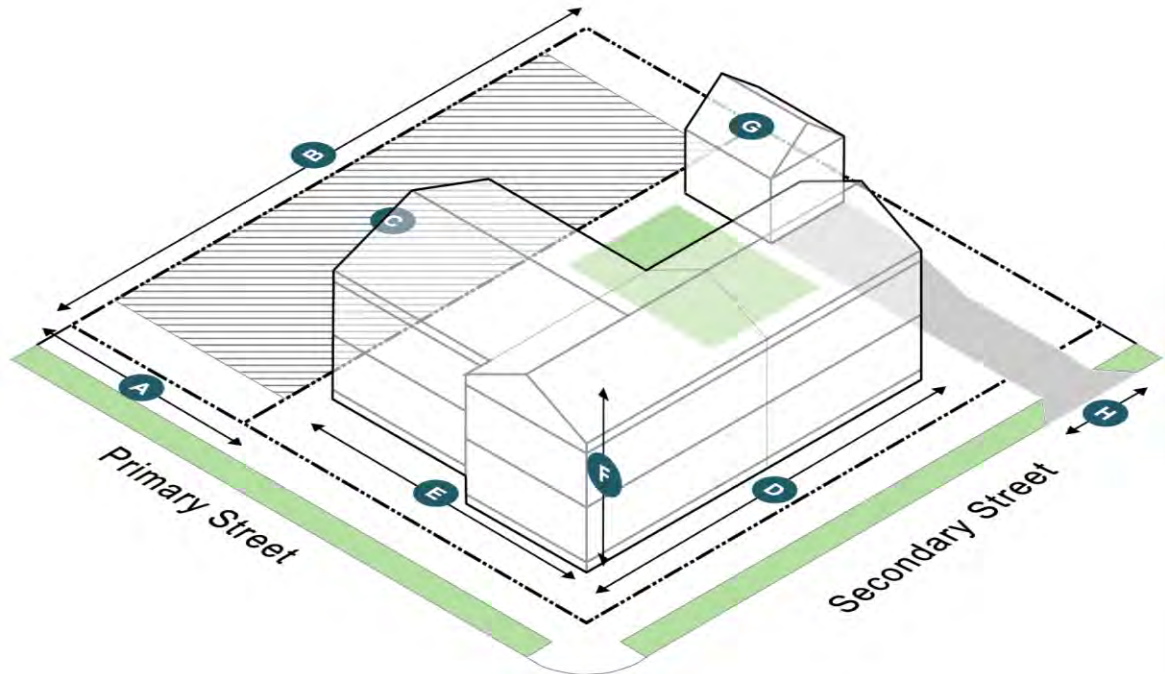
Examples & Variations



Historic Fourplex in Miami Beach, FL

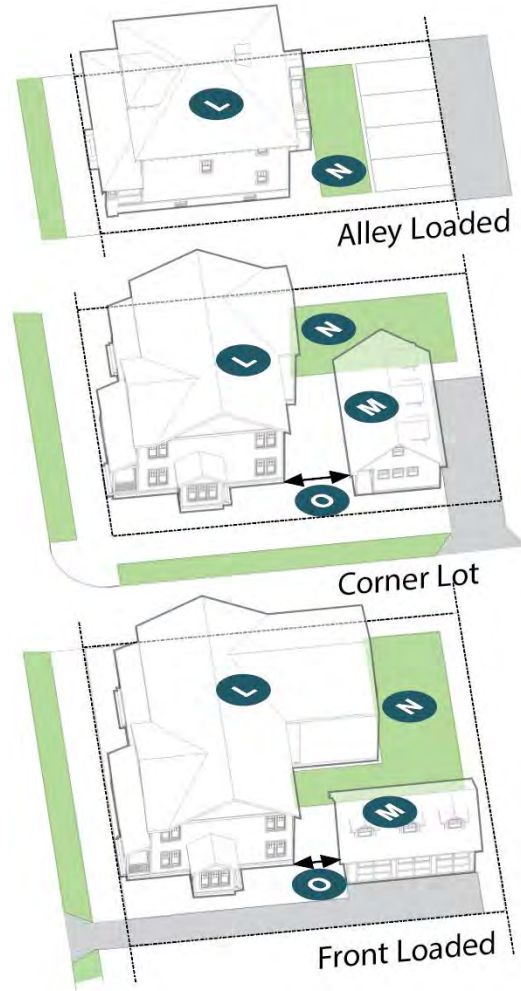


Triplex at 461 W Marion Ave, Punta Gorda, FL



b. Lot & Building Standards	
Lot Dimensions	
Width	50' min., 84' max. (A)
Depth	86' min. (B)
Lot Size	Triplex
	4,400 SF min. 5,800 SF min.
Building Footprint & Placement	
Lot Coverage	70% max. (C)
Frontage Buildout ¹	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	40' min. (D)
Building Width	30' min. (E)
Intensity	
No. of Units	3-4 units
Density (Individual Lot)	30 du/a max.
Building Height	35' max. (3 stories) (F)
¹ Frontage Buildout requirements on secondary streets shall not apply to the Triplex/Fourplex	

c. Parking & Access	
Location	
Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.	
Garage Door/Carport Setback	
Attached	10' min. (from front façade)
Detached ¹	Behind the primary building or in the rear yard only (G)
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	8' min., 12' max. (H)
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Common entries should be similar in appearance and compliment entrances of neighboring houses.	
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	L
Accessory	1	M

Private Open Space¹

Area	300 SF min.	N
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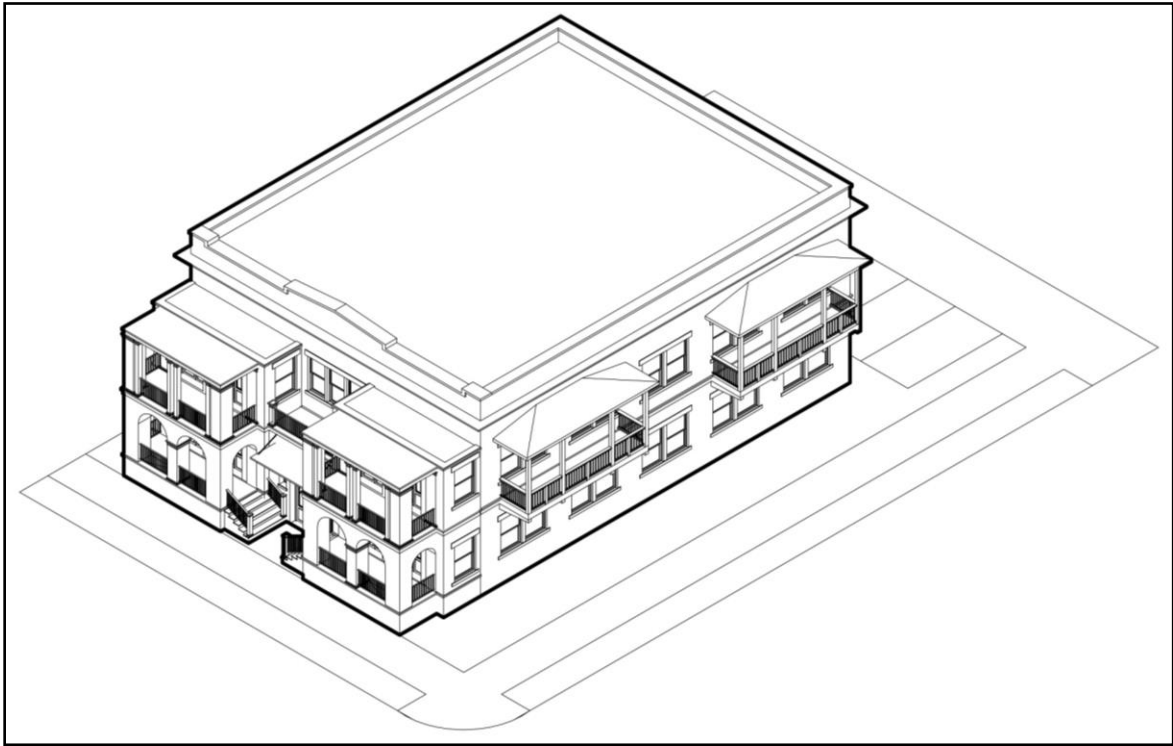
Additional

Distance Between Primary and Secondary Building	10' min.	O
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¹ Required Street setbacks and driveways shall not be included in the open space calculation

² The minimum lot dimensions only apply to the Alley Loaded configuration. The Corner Lot and Front-Loaded configurations require lots larger than the minimum 50' width and 86' depth.

(8) Multiplex



a. Summary

Description

A medium sized structure that consists of 5 or more units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, and typically with a shared entry from the street. This type may not include a rear yard.

Key Characteristics

Attached Units (Stacked or Side-by-Side)

Residential

2 to 3 stories

Street-Oriented

Examples & Variations



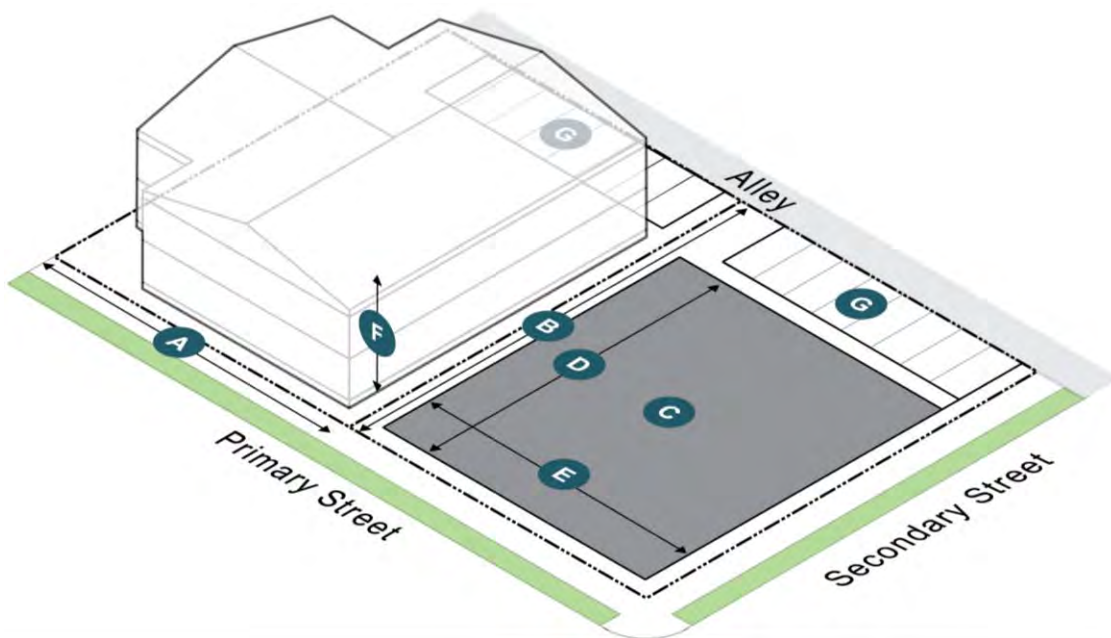
Historic Dayton Apartment:
Portland, WA



212 Goldstein St in Punta
Gorda, FL



Casa Laguna Apartments: Los
Angeles, CA



b. Lot & Building Standards

Lot Dimensions

Width	80' min., 130' max.	A
Depth	86' min.	B
Lot Size	6,880 SF min.	

Building Footprint & Placement

Lot Coverage	80% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	60' min.	D
Building Width	50' min.	E

Intensity

No. of Units	5-12 units	
Density (Individual Lot)	Base 30 du/a	
Building Height	Base Defer to Regulating District	F

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.¹

Garage Door/Carport Setback

Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Detached	Behind the primary building in the rear yard only

Parking Access

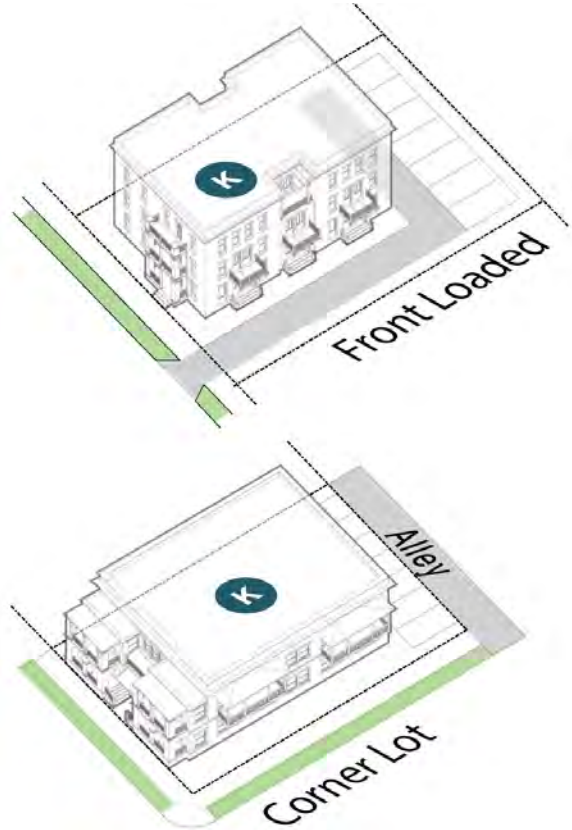
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max.

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

Common entries should be similar in appearance and compliment entrances of neighboring houses.

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	0	

Private Open Space

No private open space requirement

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(9) Courtyard Apartment



a. Summary

Description	Key Characteristics
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A Courtyard Building is a medium-to-large sized structure that consists of multiple dwelling units accessed from a central common courtyard or series of courtyards that open to the street.

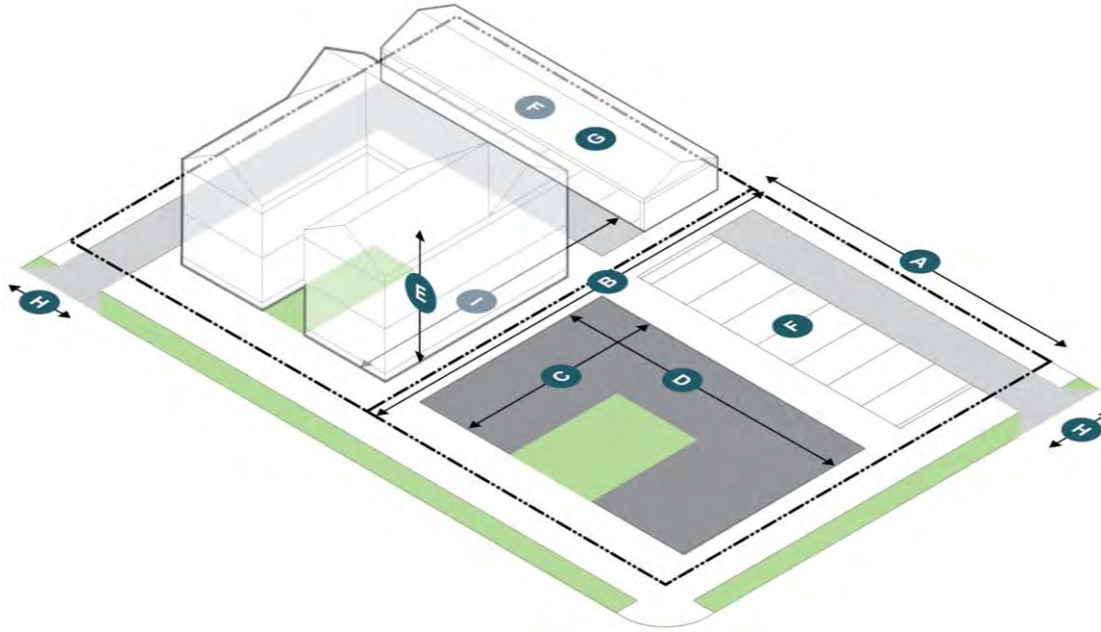
Attached
 Residential
 2 to 4 stories
 Orients to Street and Central Open Space

Examples & Variations



Everglade Apartments: Miami Beach, FL

Sorrento Court: Portland, OR

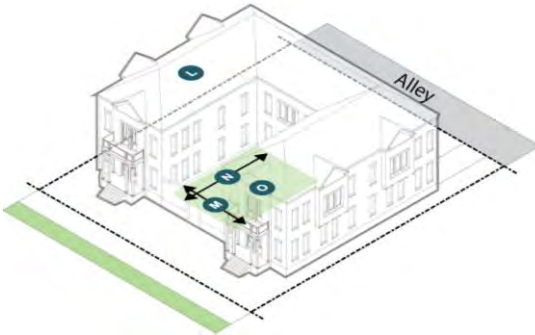
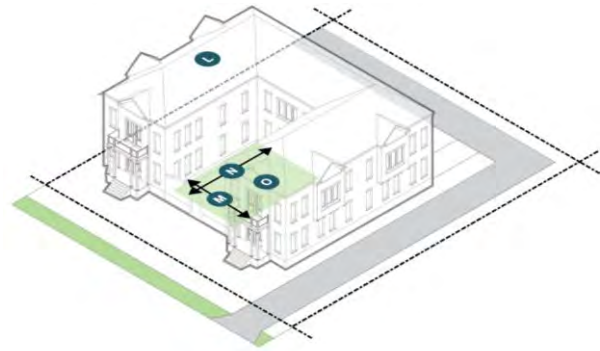
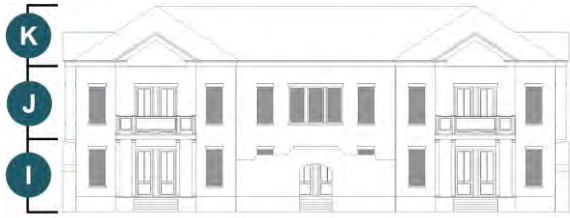


b. Lot & Building Standards	
Lot Dimensions	
Width	84' min., 150' max. (A)
Depth	100' min. (B)
Lot Size	8,400 SF min.
Building Footprint & Placement	
Lot Coverage	90% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	40' min. (C)
Building Width	50' min. (D)
Intensity	
No. of Units	12 min.
Density (Individual Lot)	Base 30 du/a
Building Height (E)	Base See Regulating District (2 stories min.)

c. Parking & Access	
Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹	
Garage Door/Carport Setback	
Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Detached ²	Behind the primary building in the rear yard only (G)
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max. (H)
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking

² Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

The following type is required:

Forecourt	7.2(d)(9)
-----------	-----------

At least one of the following types is required:

Lobby Entrance	7.2(d)(5)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Integral	7.2(d)(15)
Awning ²	7.2(d)(6)
Entry Canopy: Large ²	7.2(d)(7)
Overhead Balcony: Large ²	7.2(d)(8)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

² At least one of these frontage types must be included with the lobby entrance, except if the lobby is recessed a minimum of 3'

e. Site Configuration

Number of Buildings

Primary	1	L
Accessory	1	

Common Open Space¹

Courtyard Width	20' min.	M
Courtyard Depth	30' min.	O
Courtyard Area	600 SF min.	O

Additional

Distance Between Primary and Secondary Building	10'
-------------------------------------------------	-----

¹ Required street setbacks and driveways shall not be included in the open space calculation

(10) Live/Work



a. Summary

Description

The Live/Work Building Type is a small attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for office, service, or retail uses. Both the ground floor flex space and the residential unit are owned by one entity.

Key Characteristics

Integrated, Attached or Detached Units

Mixed Use

1 to 2.5 stories

Orients to Street

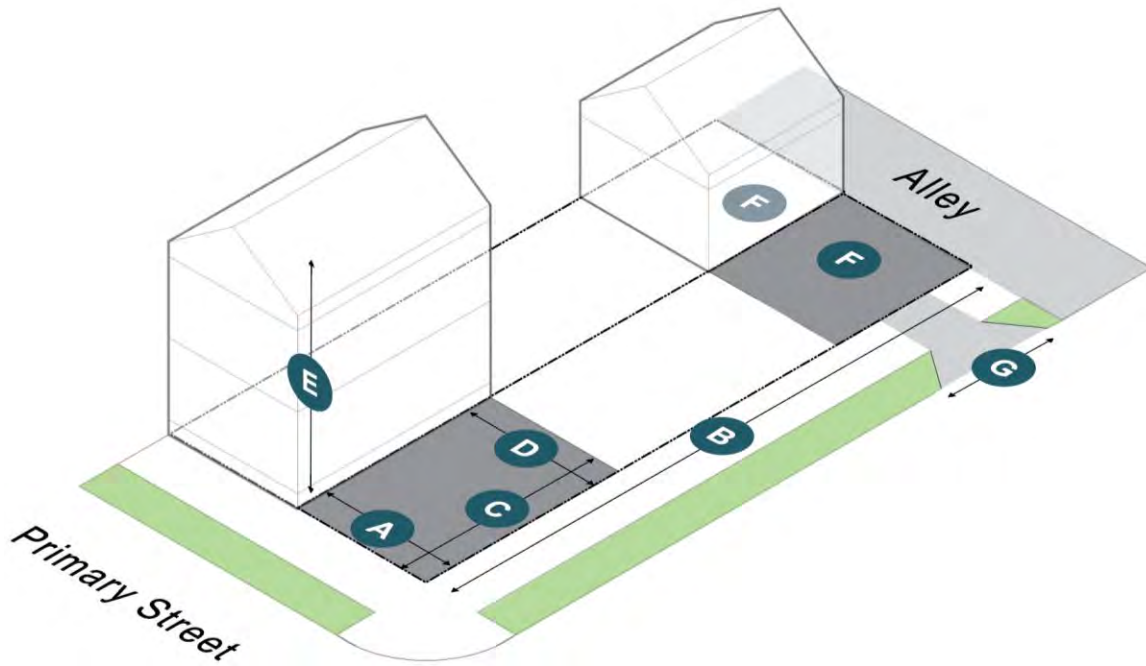
Examples & Variations



Attached Live/Work Unit in Beaufort, SC

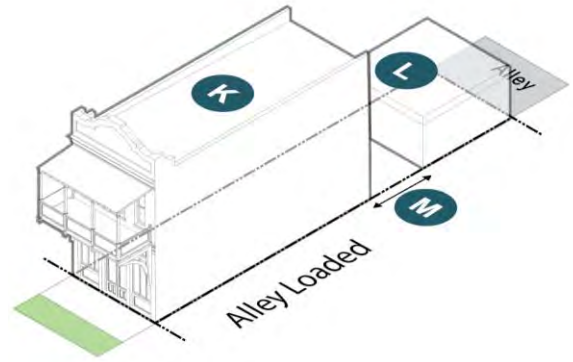


Detached Live/Work Unit



b. Lot & Building Standards		
Lot Dimensions		
Width	18' min., 53' max	A
Depth	86' min.	B
Lot Size	1,550 SF min.	
Building Footprint & Placement		
Lot Coverage	90% max	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2©	
Setbacks		
Building Depth	30' min	C
Building Width	18' min	D
Intensity		
No. of units	1 unit	
Density (Individual Lot)	Base 30 du/a	
Building Height E	Base 35' max. (2.5 stories)	

c. Parking & Access	
Location	
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley. F	
Garage Door/Carport Setback	
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached ¹	Accessed from side street or rear lane/alley
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	8' min., 12' max. G
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min., 80% max.	H
Upper Story	30% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type²

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Permitted Frontage Types²

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

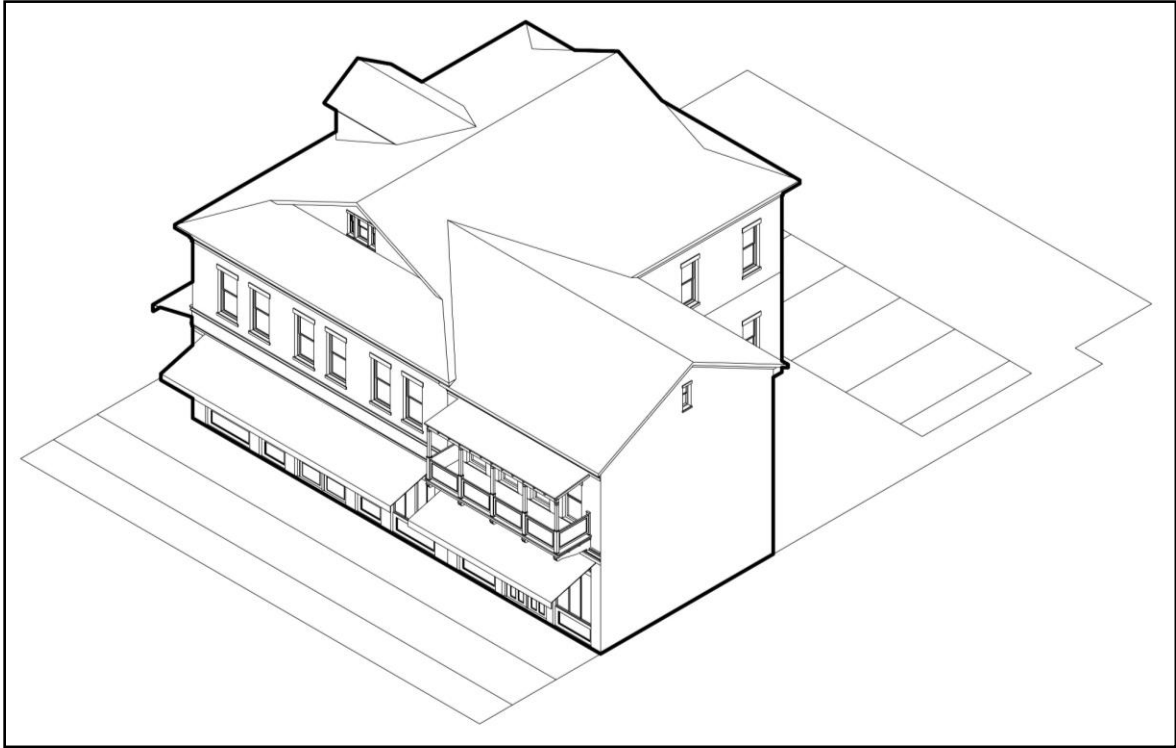
Number of Buildings

Primary	1	K
Accessory	1	L

Additional

Distance Between Primary and Secondary Building	10' min.	M
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(11) Small Footprint Mixed-Use



a. Summary

Description

A Small Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended to complement walkable neighborhoods by facilitating a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, or office uses.

Key Characteristics

Attached or Detached Units

Mixed Use

2 to 4 stories (typically)

Orients to Street

Examples & Variations



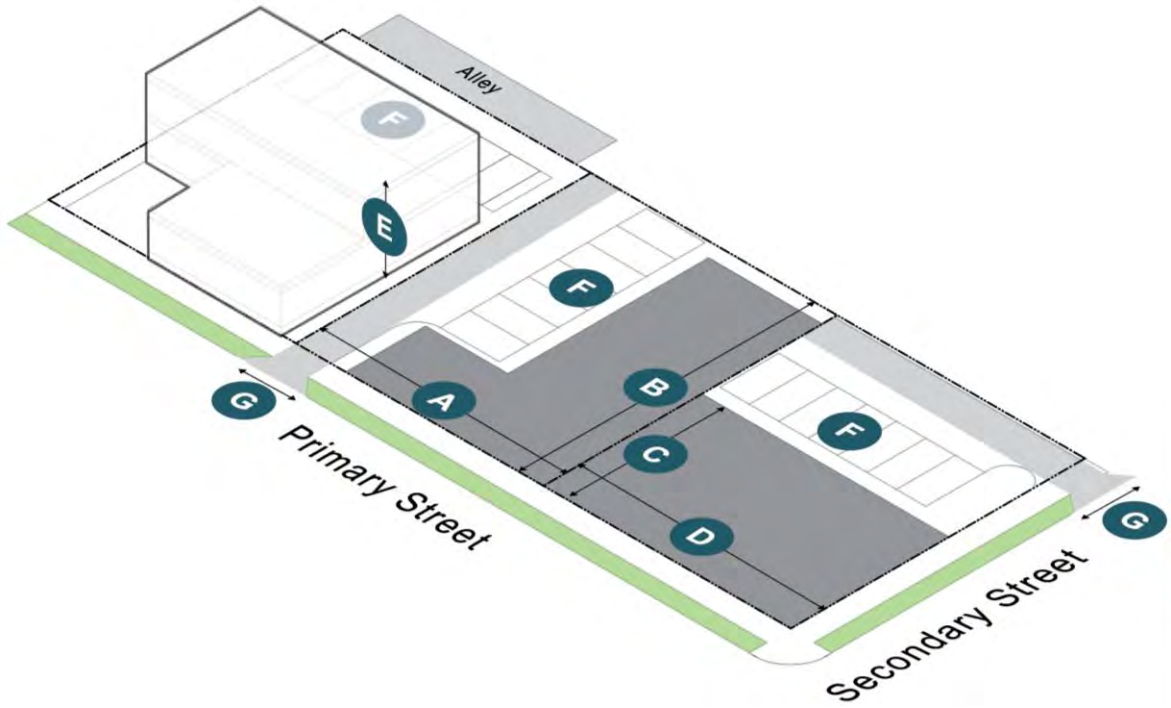
G Square, San Rafael, CA



Historic Mixed-Use in Charleston, SC



Mixed-Use Building in Neptune Beach, FL



b. Lot & Building Standards

Lot Dimensions

Width	40' min.	A
Depth	86' min.	B
Lot Size	3,500 SF min., 22,000 SF max.	

Building Footprint & Placement

Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	C
Building Width	30' min.	D

Intensity

No. of Units	2 min. for upper story residential	
Density (Individual Lot)	Base 30 du/a	
Building Height	Base See Regulating District (2 stories min.)	E

¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.¹ F

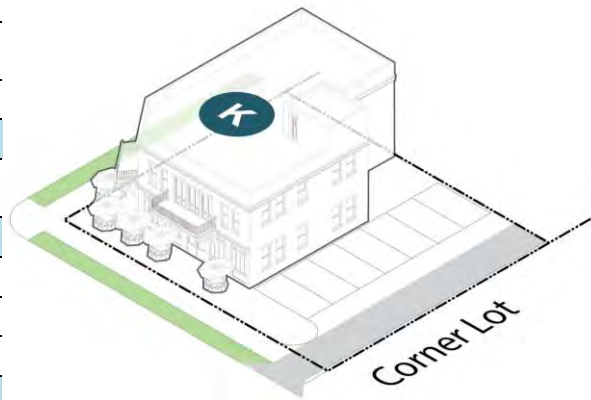
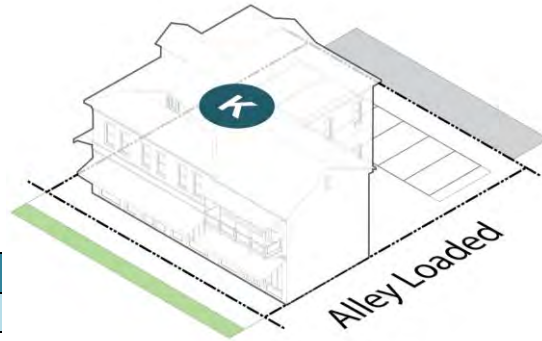
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(12) Medium Footprint Mixed-Use



a. Summary

Description

A Medium Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended for higher intensity areas such as village centers or downtown. This type facilitates a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, commercial, or office uses.

Key Characteristics

- Attached or Detached Units
- Mixed Use
- 2 to 7 stories
- Orients to Street

Examples & Variations



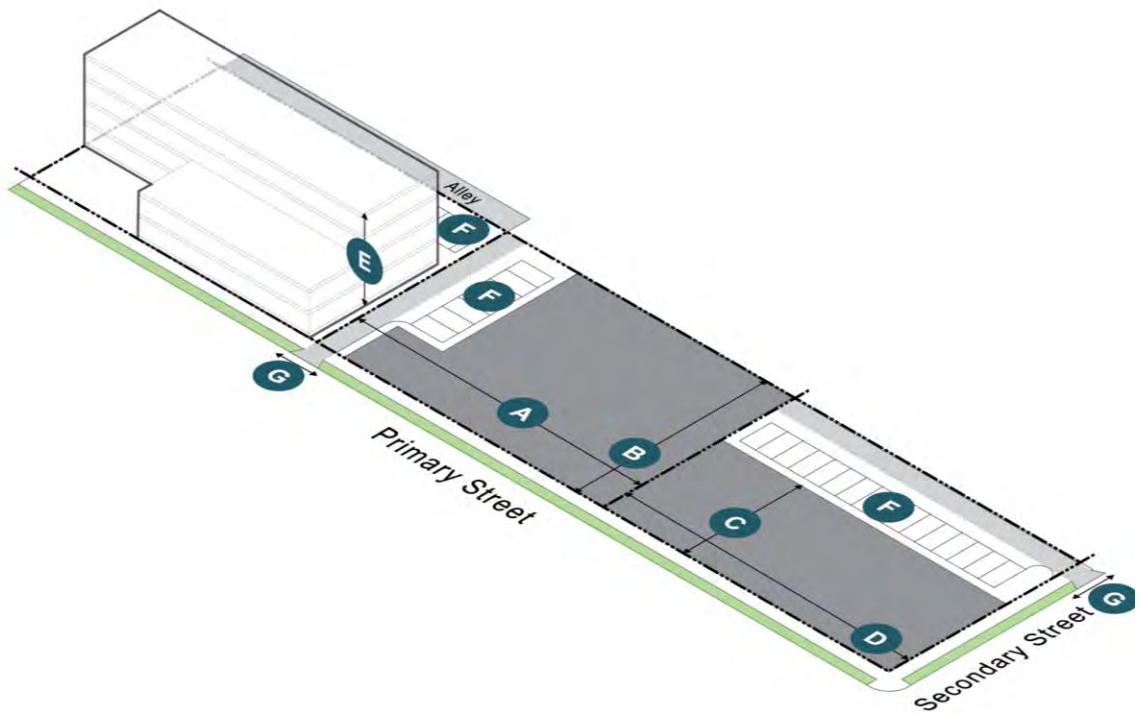
SunLoft Building in Punta Gorda, FL



Paseo Chapala in Santa Barbara, CA



Mixed-Use Building in Savannah, GA



b. Lot & Building Standards

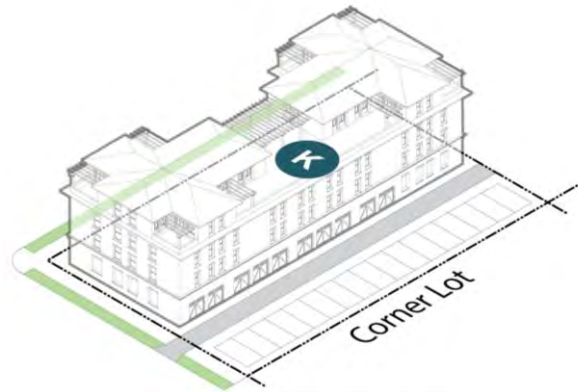
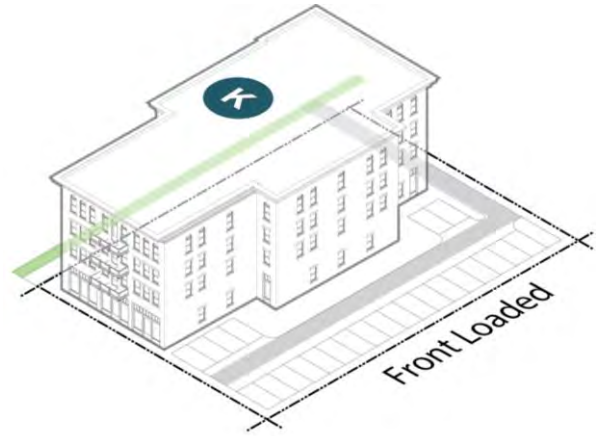
Lot Dimensions	
Width	180' min. (A)
Depth	120' min. (B)
Lot Size	21,600 SF min.
Building Footprint & Placement	
Lot Coverage	100% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	60' min. (C)
Building Width	100' min. (D)
Intensity	
No. of Units	n/a
Density (Individual Lot)	Base With Development Mitigation ¹
	See Regulating District (E)
Building Height	Base With Development Mitigation ¹
	See Regulating District (2 stories min.)

¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits

c. Parking & Access

Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. (F)	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. (G)
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

¹ Except in the Flex Commercial Corridor, which permits side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

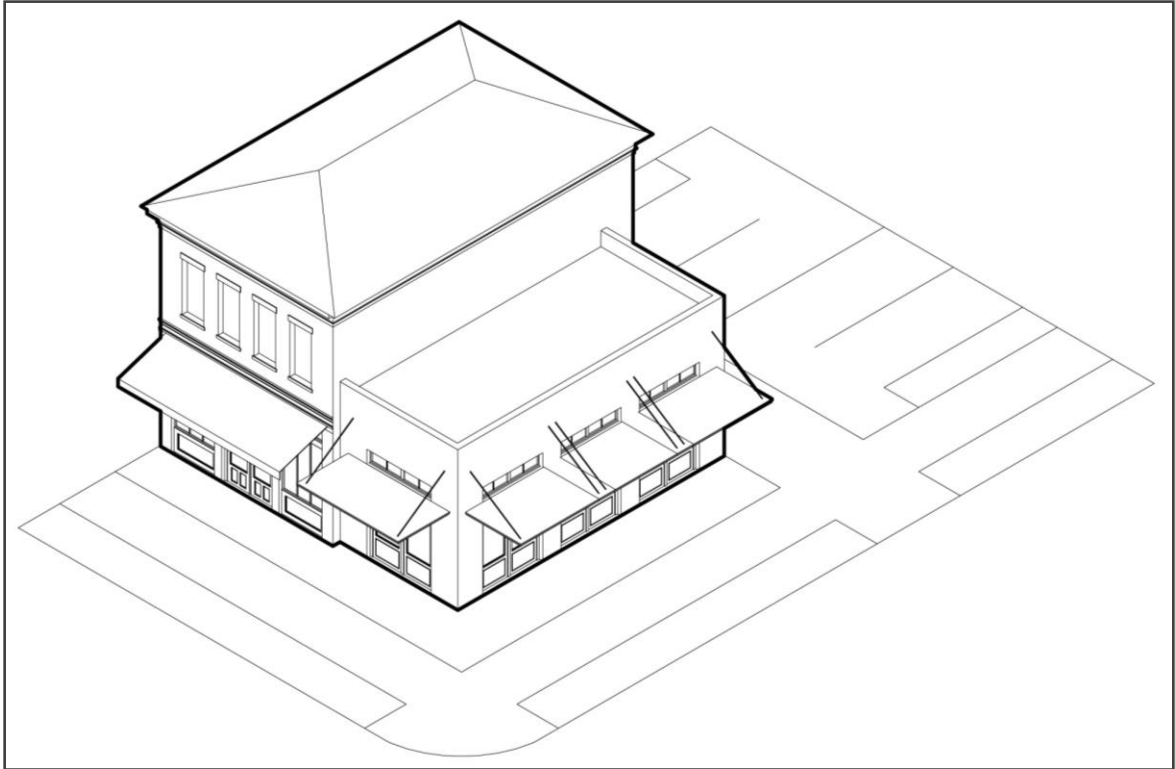
Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(13) Main Street Shopfront



a. Summary

Description

The Main Street Shopfront is a small-to-medium sized structure, typically attached, intended to provide a mix of uses with ground floor retail or service uses and upper-floor service or residential uses. This Type promotes walkability and makes up the primary component of a neighborhood or downtown Main Street.

Key Characteristics

Attached or Detached Units

Mixed Use

1 to 2 stories

Orients to Street

Examples & Variations



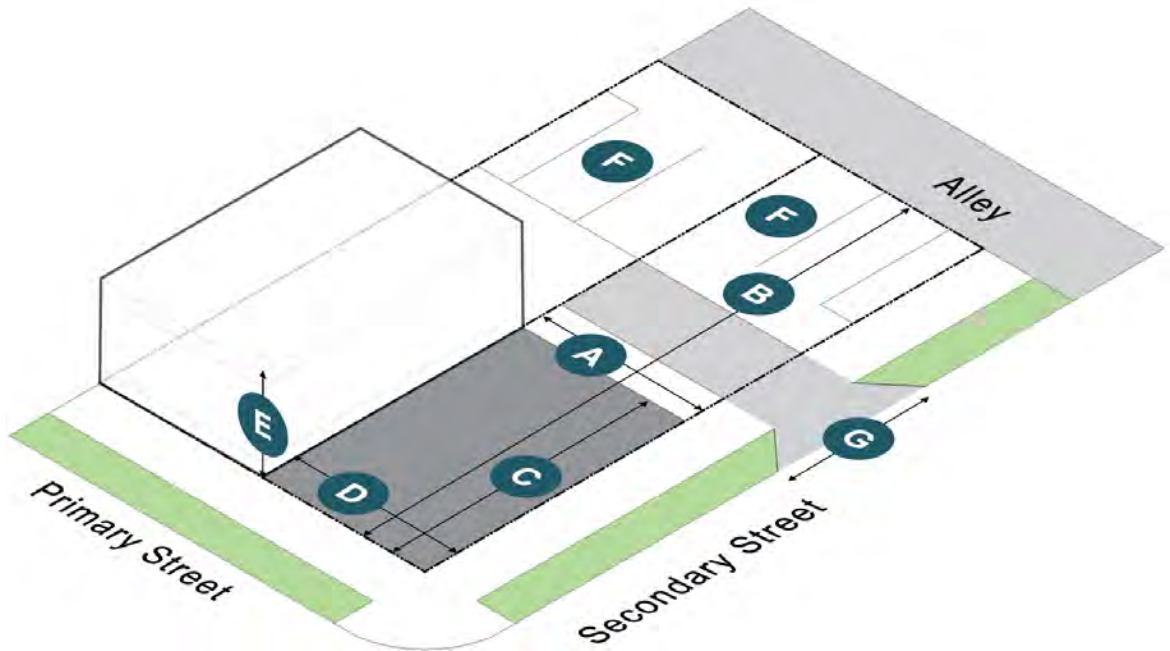
Park Ave. in Winter Park, FL



Marion Ave. in Punta Gorda, FL

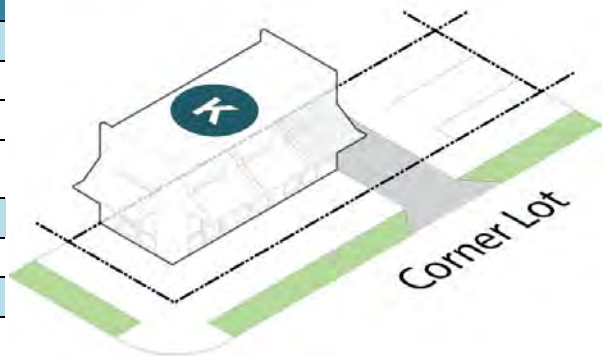
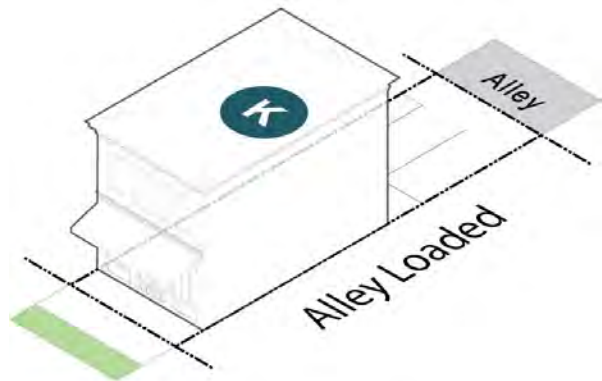


Colorado Blvd. in Oldtown, Pasadena, CA



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	25' min., 150' max. A	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹ F	
Depth ¹	86' min. B		
Lot Size ¹	2,150 SF min.		
Building Footprint & Placement		Parking Access	
Lot Coverage	90% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	40' min. C	Driveway Width	10' min., 20' max. G
Building Width	25' min. D	Pedestrian Access	
Intensity		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
No. of Units	n/a	¹ Except in the Maker Village or Flex Commercial Corridor, which permit side yard parking	
	Base		
Density (Individual Lot)	See Regulating District		
	Base		
Building Height E	35' max. (2 stories)		

¹ The Main Street Shopfront Type shall also be permitted on any lot platted prior to March 2005



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

The following frontage type is required:

Storefront	7.2(d)(4)
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Additionally, one of the following types is required in combination with the above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

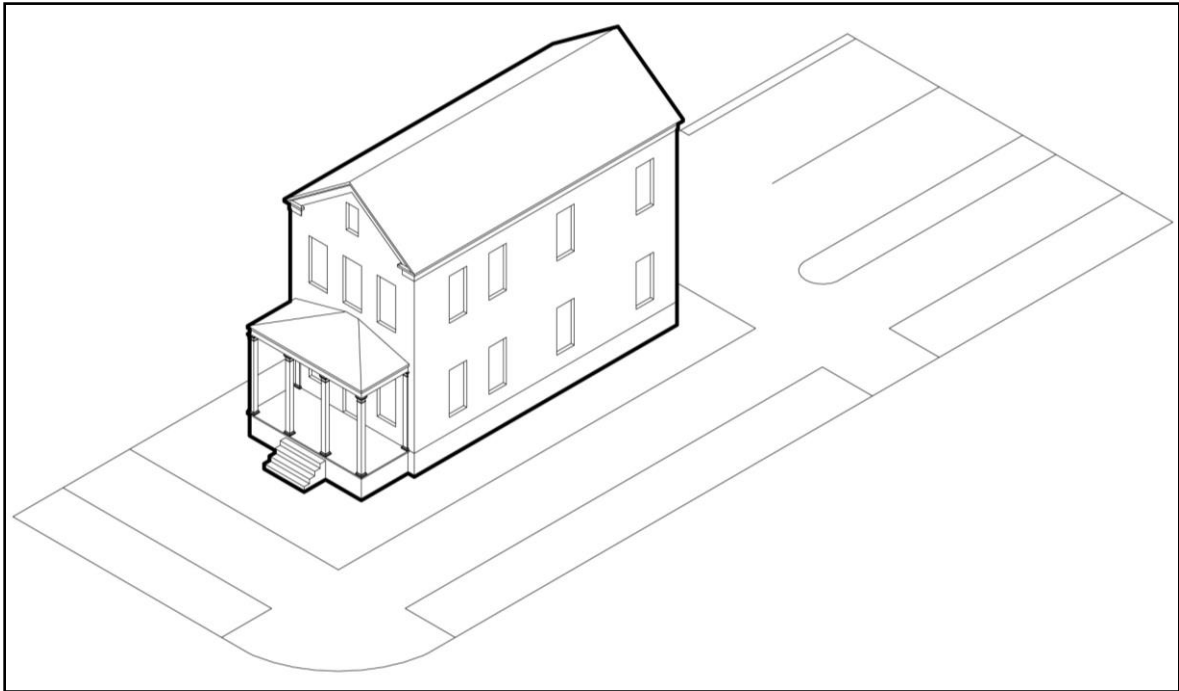
Number of Buildings

Primary	1	K
Accessory	1	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(14) Neighborhood Shopfront



a. Summary

Description

A Neighborhood Shopfront is a detached commercial building that either was or resembles a single-family home. A Neighborhood Shopfront is usually the result of, and key facilitator for, a gentle evolution of a neighborhood from a solely residential environment to a mixed-use environment.

Key Characteristics

Attached or Detached Units

Commercial

1 to 2.5 stories

Orients to Street

Examples & Variations



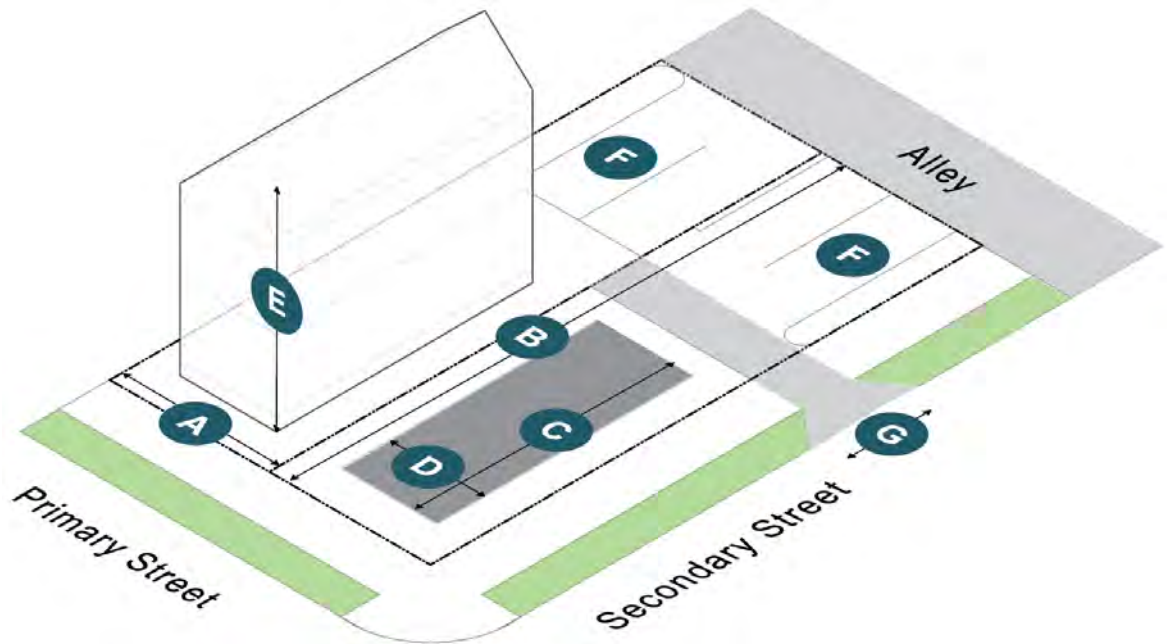
House to Restaurant Conversion in Punta Gorda, FL



Boutique in Neptune Beach, FL



House to Café Conversion in Seattle, WA



b. Lot & Building Standards

Lot Dimensions

Width	25' min., 84' max.	A
Depth ¹	86' min.	B
Lot Size ¹	2,150 SF min.	

Building Footprint & Placement

Lot Coverage	80% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	C
Building Width	15' min.	D

Intensity

No. of Units	n/a.	
	Base	
Density (Individual Lot)	See Regulating District	
	Base	E
Building Height	35' max. (2.5 stories)	

¹ The Neighborhood Shopfront Type shall also be permitted on any lot platted prior to March 2005

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. F

Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min.	H
Upper Story	30% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type²

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types²

At least one of the following types is required:

Storefront	7.2(d)(4)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

Additionally, one of the following types is required in combination with the storefront:

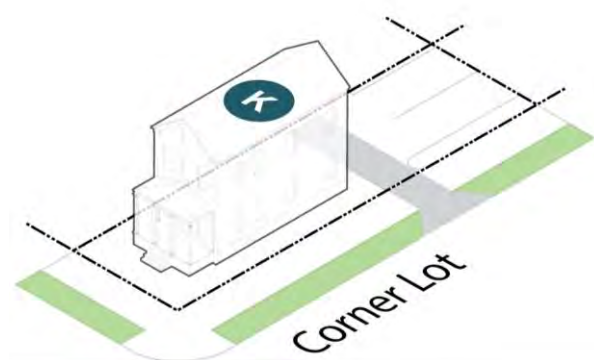
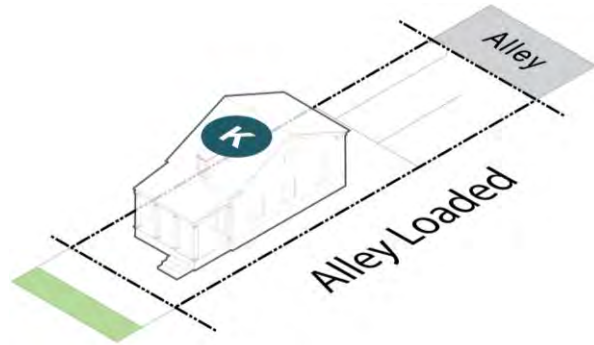
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

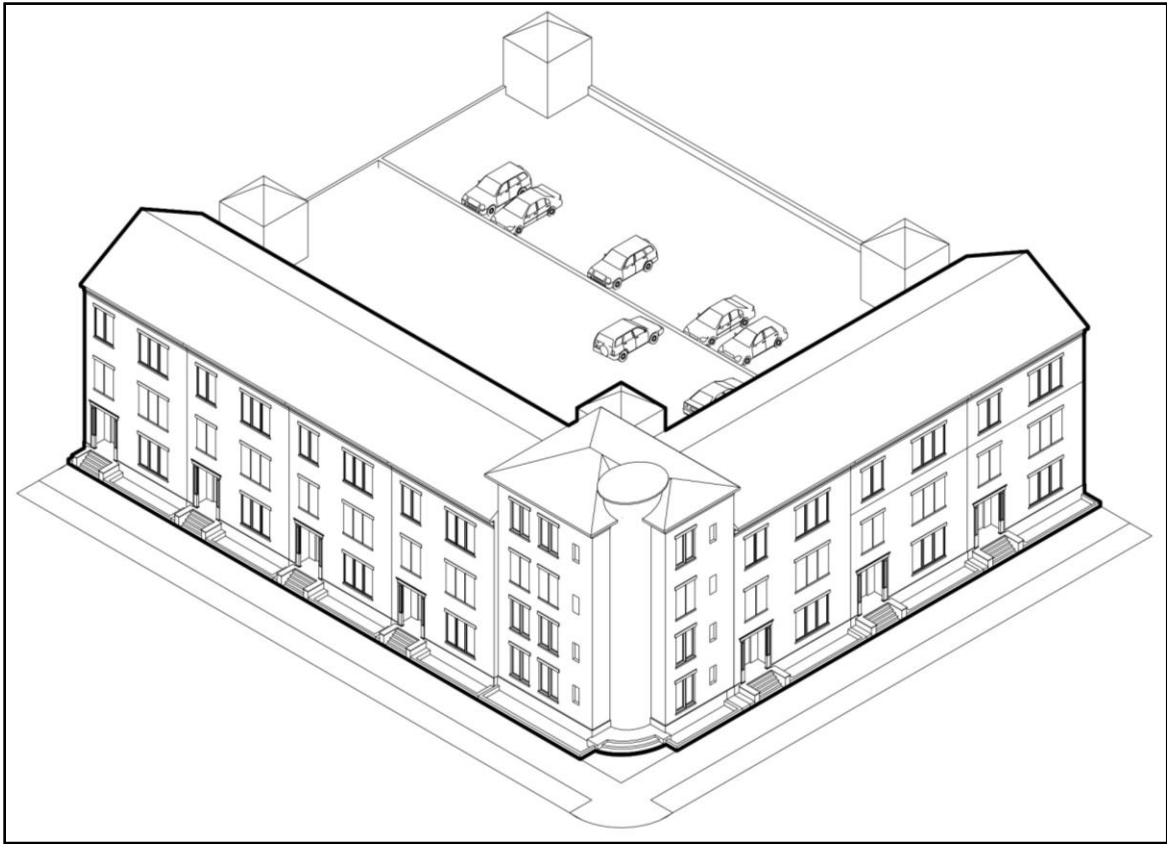
Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(15) Liner

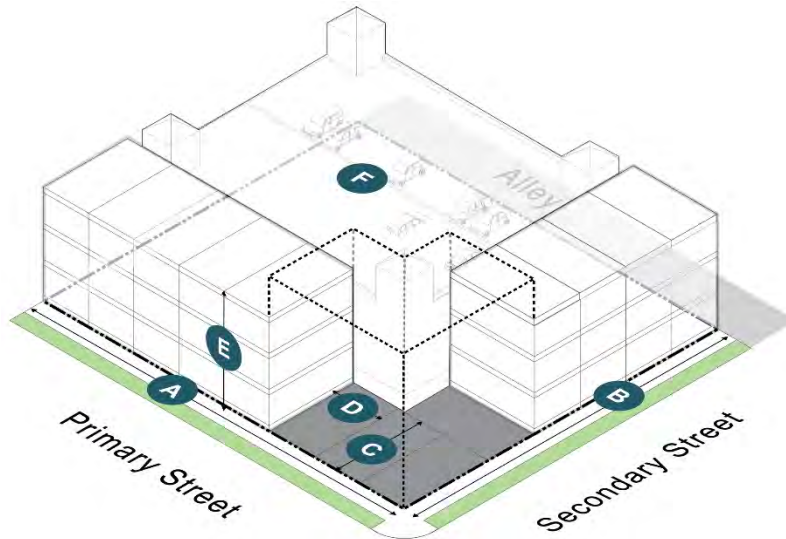


a. Summary

Description	Key Characteristics
A Liner Building is a shallow structure that wraps the perimeter of a block to create a street frontage and conceal surface or structured parking, or a large-scale commercial building. These buildings may contain a variety of uses, including ground floor retail, and/or upper-level offices or residential.	Attached or Detached Units Mixed Use 2-7 stories Orients to Street

Examples & Variations

<p>Townhouse Liner concealing structured parking in Alexandria, VA</p>	<p>Mizner Park Rowhouse Liner attached to parking structure in Boca Raton, FL</p>	<p>Office Liner Building attached to a Publix in Baldwin Park, FL</p>



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	n/a A	Parking shall be located behind the building and accessed from alleys or side streets wherever possible. F	
Depth	n/a B		
Lot Size	n/a		
Building Footprint & Placement		Parking Access	
Lot Coverage	100% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	20' min. C	Driveway Width	10' min., 20' max.
Building Width	25' min. D	Pedestrian Access	
A liner building may cap a surface parking lot or structure. Not all liner buildings have to be in the L-shape shown above. Their purpose to offer a better frontage to street or public open space.		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	No minimum		
Density ¹	Base	With Development Mitigation ²	
	See Regulating District		
Building Height	Base	With Development Mitigation ²	
	E See Regulating District	See Regulating District	

¹ See Subsection 3.2(j) regarding maximum height and density based on Development Mitigation. For the purposes of Development Mitigation, Liner Buildings are only permitted as accessory structures to Medium Footprint Mixed Use Building Type.



d. Building Composition

Front Façade Fenestration¹

Ground Floor	30% min., 80% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type²

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
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Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types²

One of the following types is required:

Storefront	7.2(d)(4)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)

One of the following types is also required in combination with the storefront above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Lobby Entrance	7.2(d)(5)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

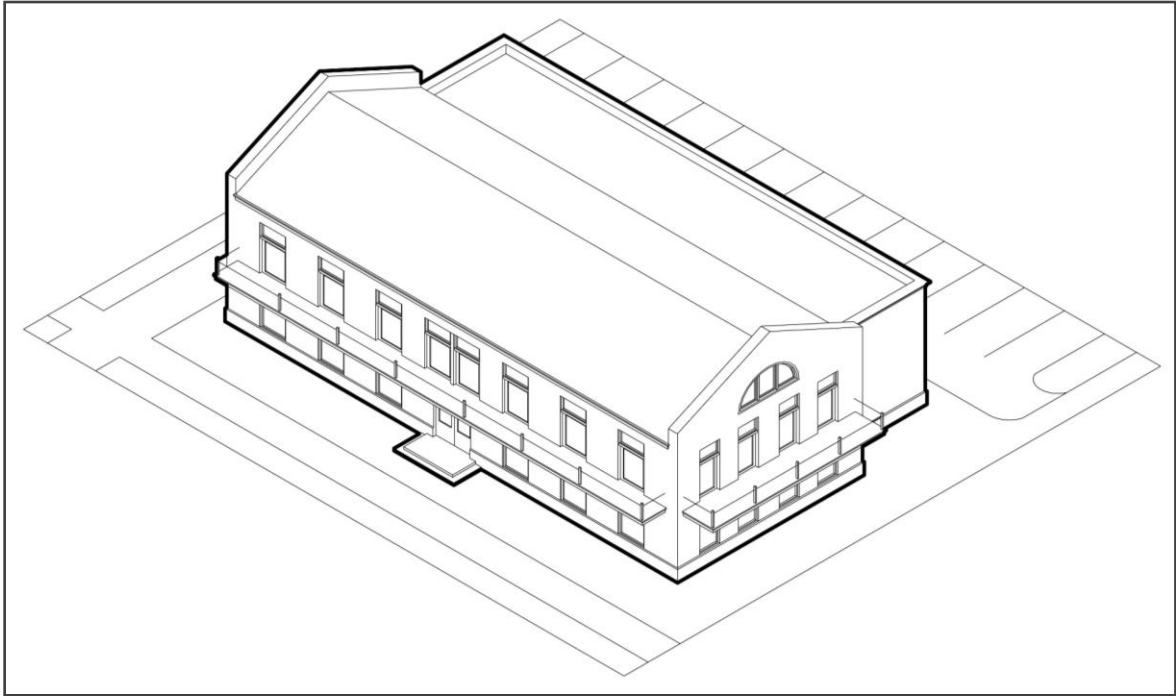
Number of Buildings




Primary	1	J
Accessory	n/a	

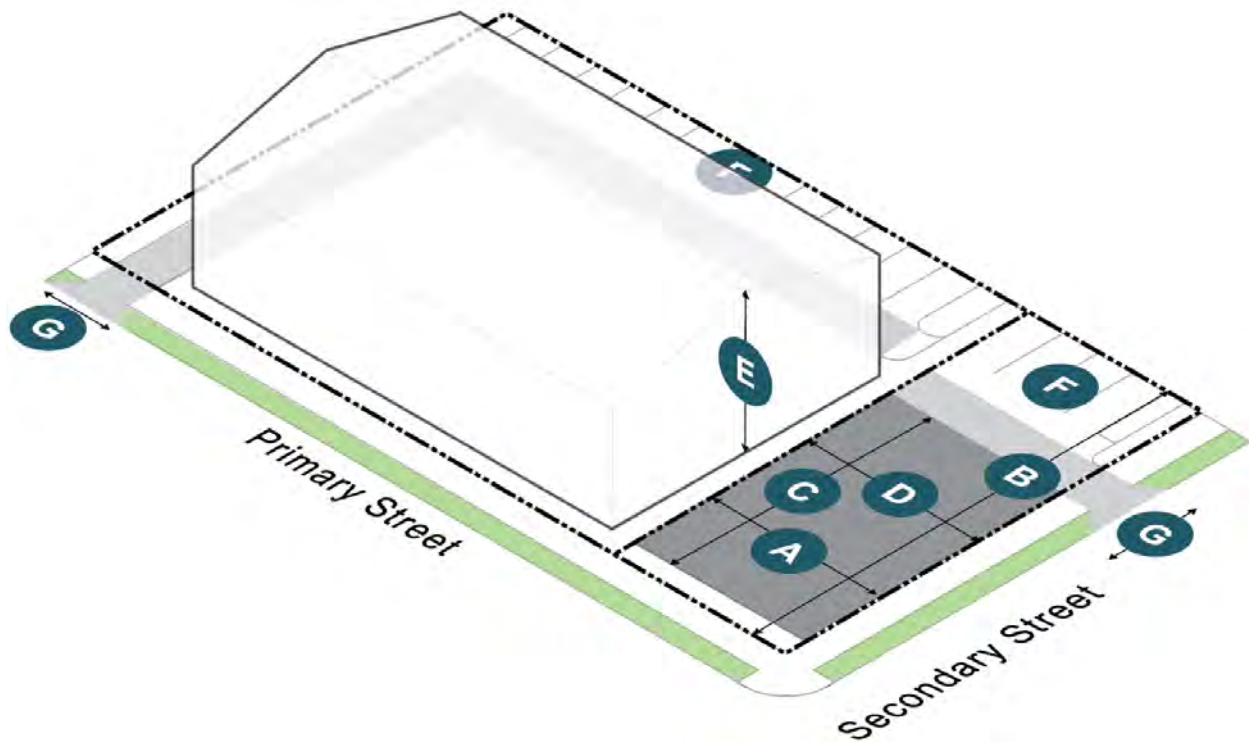
Additional

Distance Between Primary and Secondary Building	n/a
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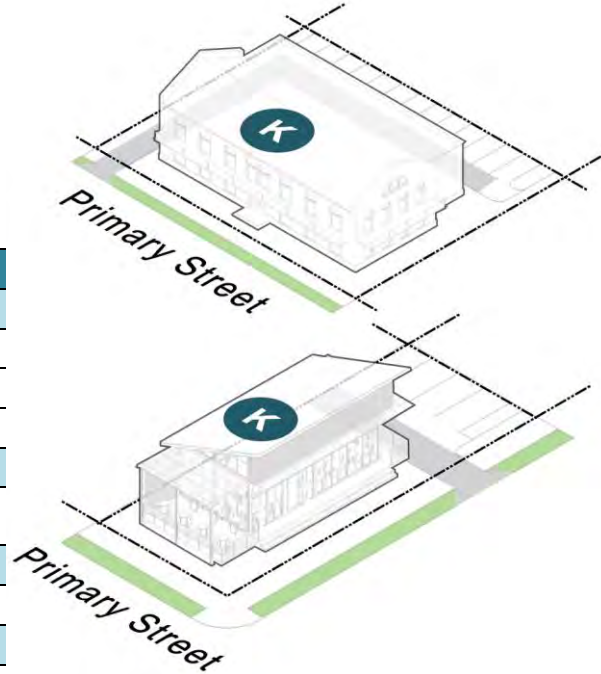
(16) Loft



a. Summary		
Description	Key Characteristics	
<p>The Loft Building Type is a medium- to large-sized structure built on a large lot. This building type is characterized by high ceilings that may accommodate a mix of uses including ground-floor manufacturing, office, or retail uses and upper-floor service or residential uses; or may be a single-use building, typically industrial, manufacturing, office, or residential.</p>	Detached or Attached	
	Mixed Use	
	2 to 3 stories	
	Orients to Street	
Examples & Variations		
		
Loft Apartments in Montgomery, AL	Ice House Building in Punta Gorda, FL	Earnhardt Building in Fort Myers, FL



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	50' min. (A)	Parking shall be located to the rear or side of the building and accessed from alleys or side streets (F) wherever possible.	
Depth	90' min. (120' preferred) (B)		
Lot Size	6,000 SF min.	Parking Access	
Building Footprint & Placement		Number of Driveways/Curb Cuts	
Lot Coverage	90% max.	Primary Street	1
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Secondary Street	1
Setbacks		Driveway Width	10' min., 20' max. (G)
Building Length	60' min. (C)	Pedestrian Access	
Building Width	30' min. (D)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	No minimum		
Density (Individual Lot)	Base 30 du		
Building Height (E)	Base 35' max. (3 stories)		



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min., 80% max.	H
Upper Story	40% min., 60% max.	I
Habitable Half Story/Attic	n/a	J

Roof Type²

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
------------------------------------------	-----------

Permitted Building Elements²

Balconies	7.2(a)(6)-f
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Required & Permitted Frontage Types²

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Stoop	7.2(d)(12)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

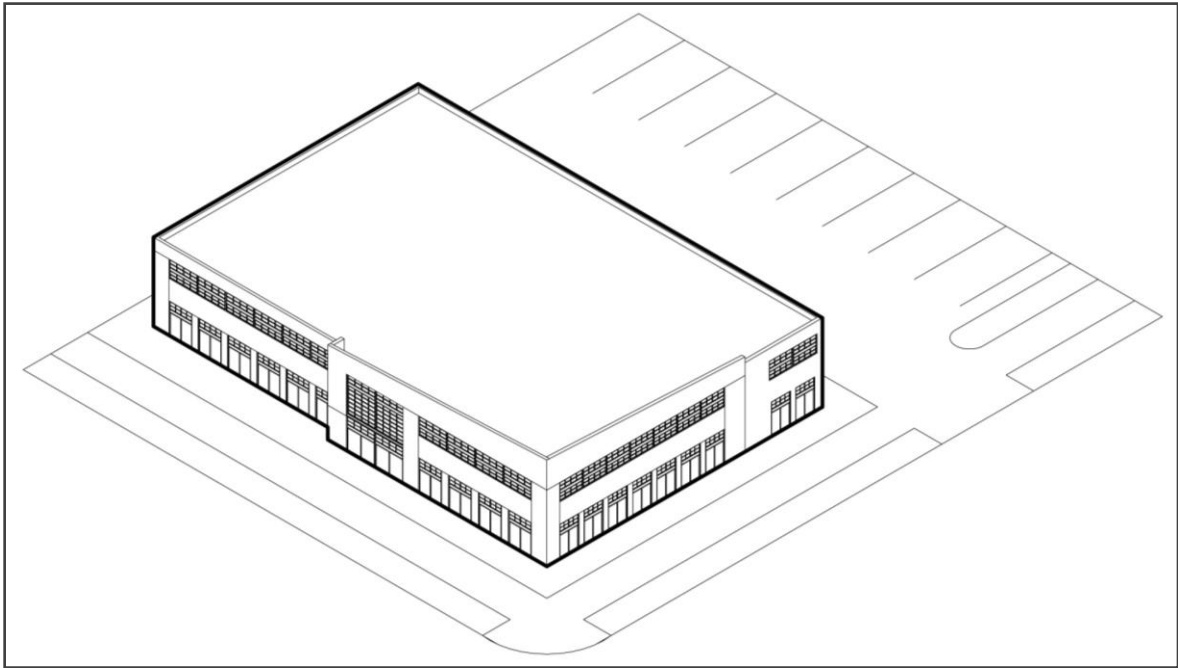
Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(17) Warehouse

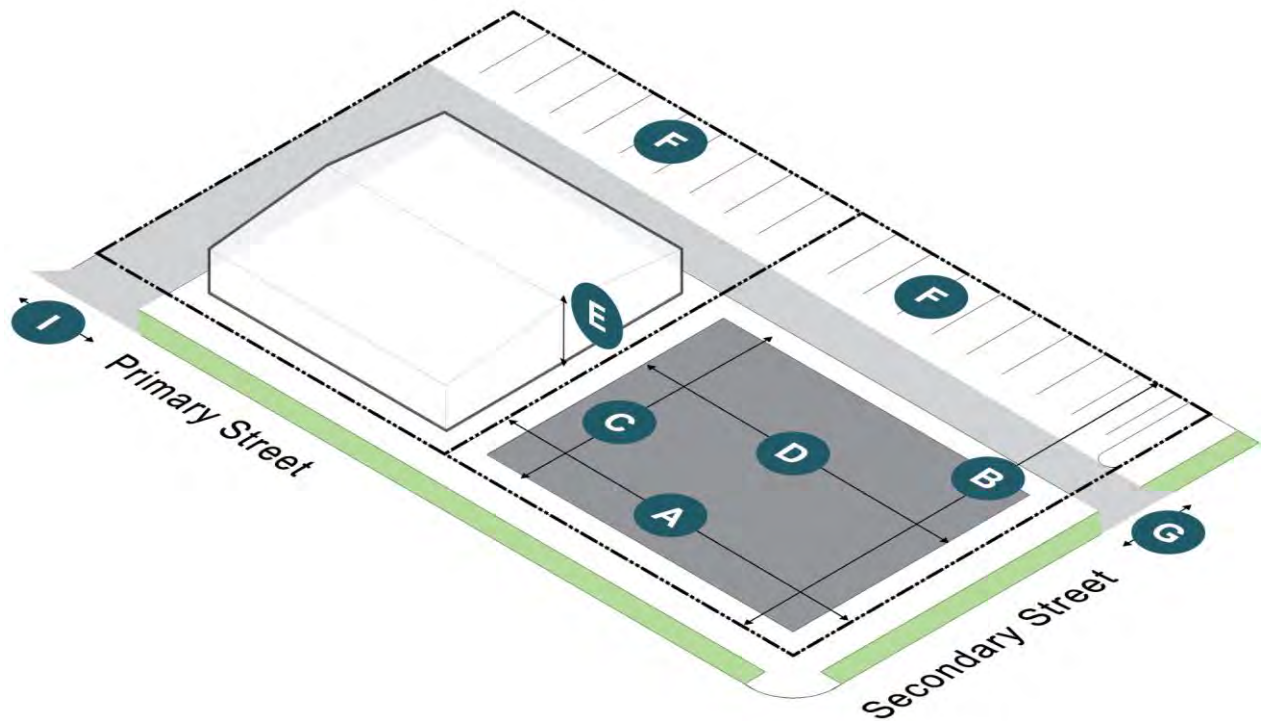


a. Summary

Description	Key Characteristics
<p>A Warehouse is generally a large, one-story, single-use building, often containing modular or pre-manufactured materials, and characterized by high ceilings and multiple bays to accommodate loading and unloading of large trucks. Warehouse buildings often contain specialized uses with needs for storage and distribution of products and inventory, with a small amount of dedicated office space.</p>	<p>Detached</p> <hr/> <p>Light Industrial, Artisan, or Commercial Uses</p> <hr/> <p>1-to-2 stories</p> <hr/> <p>Partially Street-Oriented</p>

Examples & Variations

<p>Aluminum Prefabricated Industrial Building</p>	<p>Barrel Vault Roofed Warehouse</p>	<p>Metal Warehouse</p>



b. Lot & Building Standards

Lot Dimensions

Width	70' min. (100' preferred)	A
Depth	90' min. (120' preferred)	B
Lot Size	9,000 SF min.	

Building Footprint & Placement

Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Section 3.2(c)	
Setbacks		
Building Length	40' min.	C
Building Width	30' min.	D

Intensity

No. of Units	n/a	
Density (Individual Lot)	Base n/a	
Building Height	Base 35' max. (2 stories)	E

c. Parking & Access

Location

Parking shall be located to the rear or side of the building and accessed from alleys or side streets wherever possible. F

Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.



d. Building Composition

Front Façade Fenestration ¹

Ground Floor	40% min., 80% max.	H
Upper Story	20% min., 50% max.	
Blank Wall	25' max.	

Roof Type²

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
------------------------------------------	-----------

Required & Permitted Frontage Types²

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

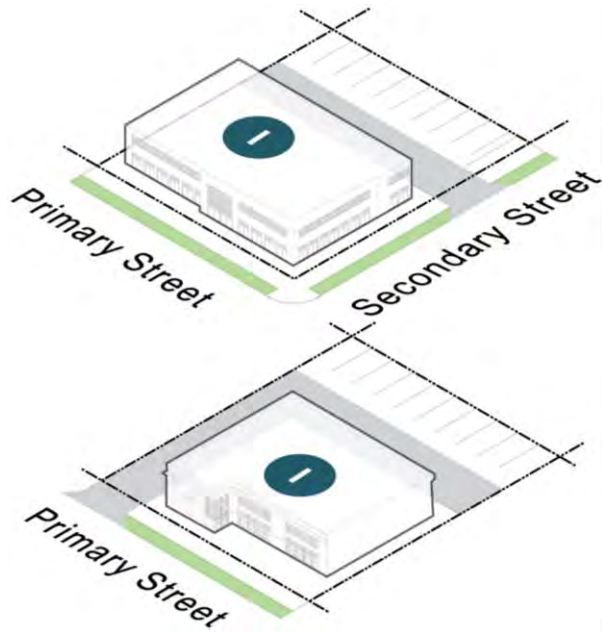
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Porch: Projecting	7.2(d)(13)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

Number of Buildings

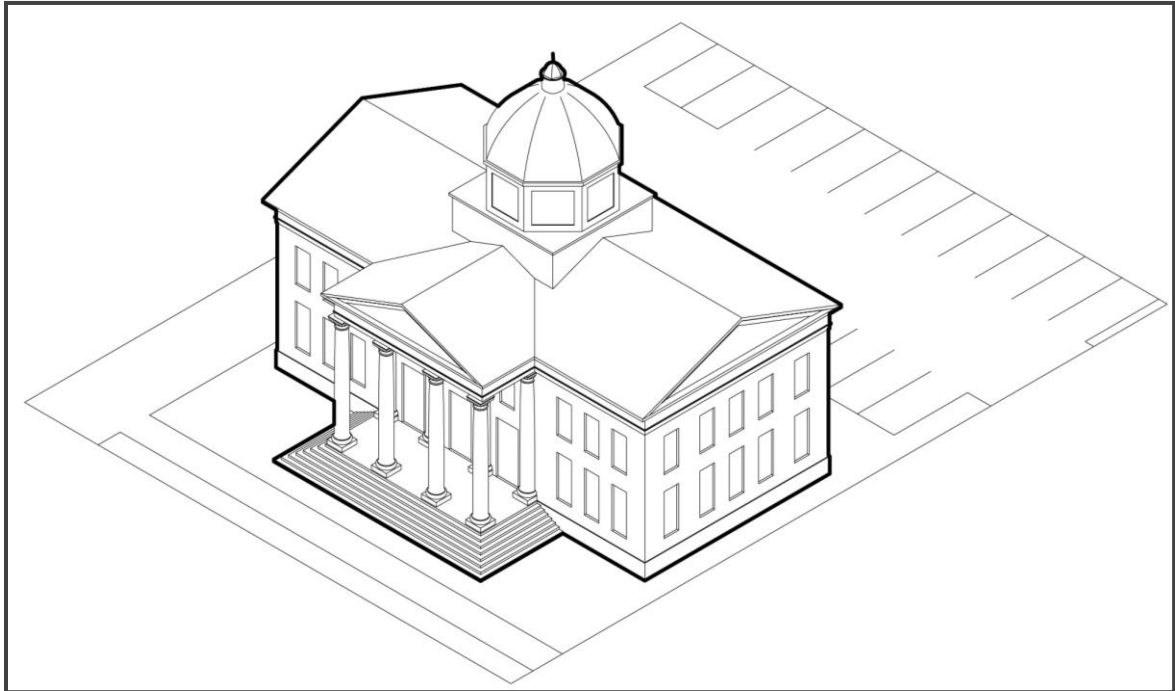
Primary	1	I
Accessory	2	

Additional

Distance Between Primary and Secondary Building 10' min.

¹ Required street setbacks and driveways shall not be included in the open space calculation

(18) Civic/Institutional

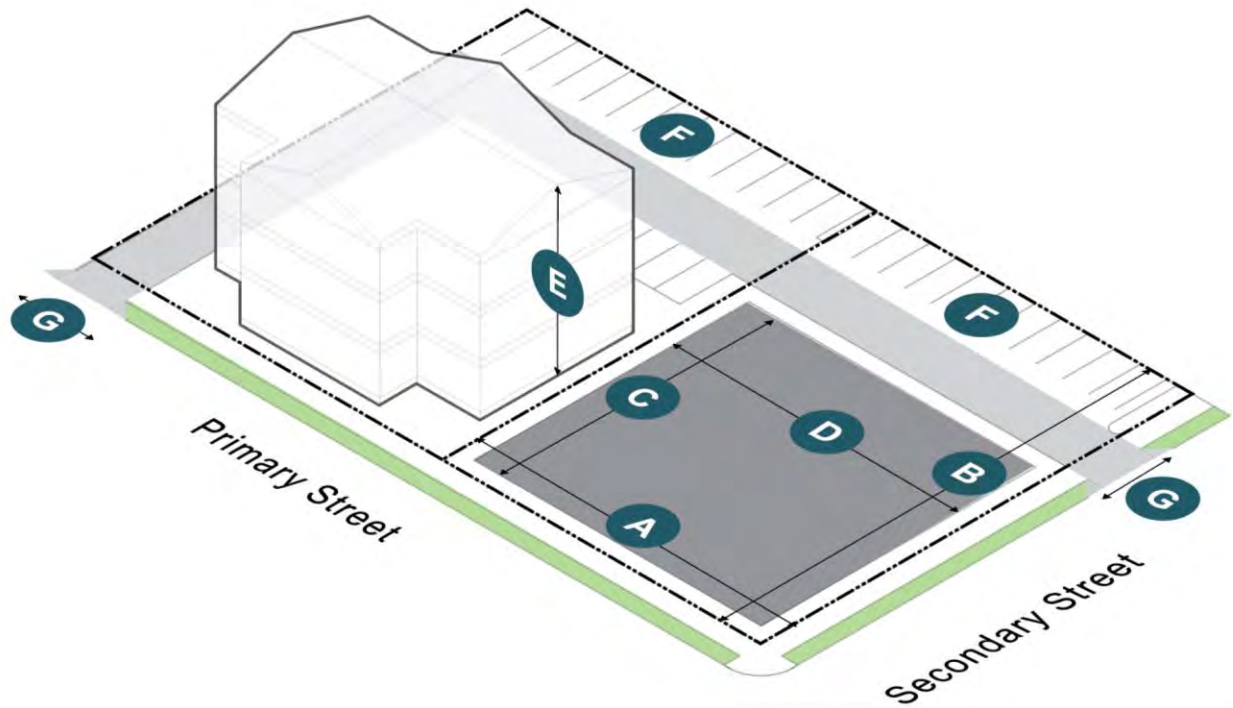


a. Summary

Description	Key Characteristics
<p>A Civic/Institutional Building may be public or private, and contain uses of special public importance, community use, or benefit by governmental, cultural, educational, public welfare, or religious organizations. Civic buildings are monumental in scale and sited prominently within the urban fabric. This building types contains architecturally significant features and exhibits unique design elements or focal points that complement its surroundings.</p>	Detached
	Non-Residential
	2 to 7 stories
	Orients to Street

Examples & Variations

<p>Military Heritage Museum, Punta Gorda, FL</p>	<p>City Hall in Punta Gorda, FL</p>	<p>Charlotte County Justice Center, Punta Gorda, FL</p>



b. Lot & Building Standards

Lot Dimensions

Width	n/a	A
Depth	n/a	B

Building Footprint & Placement

Lot Coverage	Defer to Regulating District	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	n/a	C
Building Width	n/a	D

Intensity

No. of Units	n/a
Density (Individual Lot) ¹	Base n/a
Building Height E	Base 80'

¹ Residential may be permitted along with religious buildings at a maximum density of 10 du/a

¹ See Subsection 3.2(k) regarding maximum height and density based on community benefits

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.¹ F

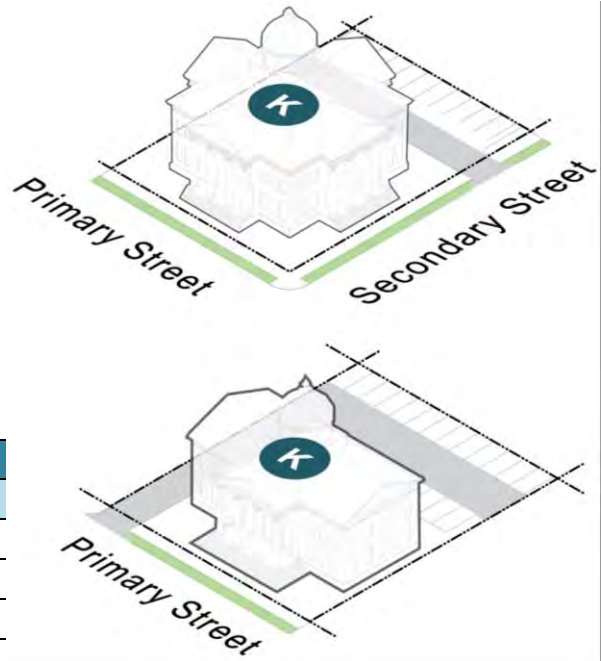
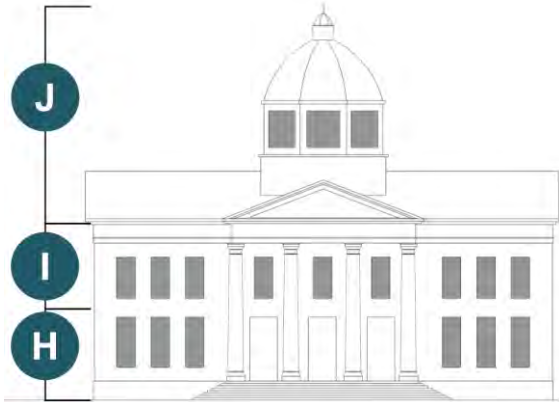
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	40% min., 70% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, Gambrel, and Mansard Permitted 7.2(a)(4)

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

The following frontage type is required:

Lobby Entrance 7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Arcade 7.2(d)(3)

Awning 7.2(d)(6)

Entry Canopy: Large 7.2(d)(7)

The following types are also permitted:

Forecourt 7.2(d)(9)

Terrace 7.2(d)(10)

Storefront 7.2(d)(4)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	2	

Additional

Distance Between Primary and Secondary Building n/a

(19) Table 3 below provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

Table 3 - Building Type Standards Summary Table								
	Lot Standards				Density		Height	
	Width	Depth	Size	Coverage	Base	With Development Mitigation ²	Base	With Development Mitigation ²
Accessory Cottage	n/a	n/a	n/a	n/a	n/a	n/a	25' max. (2 stories)	n/a
House	40' min., 150' max.	86' min.	3,500 SF min., ¹ 20,000 SF max.	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Cottage Court	100' min., 160' max.	120' min.	12,000 SF min.	70% max.	25 du/a	n/a	35' max. (2 stories)	n/a
Duplex	40' min., 100' max.	86' min.	3,500 SF min. ¹	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Rowhouse	18' min.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Triplex/Fourplex	50' min., 84' max.	86' min.	4,400 SF min./ 5,800 SF min.	70% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Multiplex	80' min., 130' max.	86' min.	6,880 SF min.	80% max.	30 du/a	n/a	Defer to Regulating District	n/a
Courtyard Apartment	84' min., 150' max.	100' min.	8,400 SF min.	90% max.	30 du/a	n/a	Defer to Regulating District (2 stories min.)	
Live/Work	18' min., 53' max.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (2.5 stories)	n/a
Small Footprint Mixed-Use	40' min.	86' min.	3,500 SF min., 22,000 SF max.	Defer to Regulating District	30 du/a	n/a	Defer to Regulating District (2 stories min.)	
Medium Footprint Mixed-Use	180' min.	120' min.	21,600 SF min.	100% max.	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District (2 stories min.)	
Main Street Shopfront	25' min., 150' max.	86' min.	2,150 SF min. ¹	90% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Neighborhood Shopfront	25' min., 84' max.	86' min.	2,150 SF min. ¹	80% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Liner	n/a	n/a	n/a	100% max.	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District
Loft	50' min.	90' min. (120' preferred)	6,000 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Warehouse	70' min. (100' preferred)	90' min. (120' preferred)	9,000 SF min.	90% max.	n/a	n/a	35' max. (2 stories)	n/a
Civic/Institutional	n/a	n/a	n/a	n/a	n/a	n/a	Defer to Regulating District	

¹ The House, Duplex, Main Street Shopfront, and Neighborhood Shopfront shall also be permitted on any lot platted prior to 2005

² See Subsection 3.2(j) regarding maximum height and density based on Development Mitigation

(e) Allowable Uses.

- (1) Table 4 indicates allowable uses in each of the regulating districts within the TPG zoning district. Overlay districts have no effect on allowable uses.
- (2) The uses listed in Table 4 are grouped into four use groups: Residential Uses, Lodging Uses, Business Uses, and Civic & Education Uses.
- (3) In each of the regulating district columns, symbols are provided to indicate that:
 - a. **P** Use is permitted by right; or
 - b. **C** Use is permitted only if all conditions specified in Article 4 are met; or
 - c. **SE** Use may be approved as a special exception per standards and procedures in Article 16 and may also require specific conditions in Article 4 to be met; or
 - d. **A** Use is permitted as an accessory to a permitted primary use; or
 - e. **-** This use, like other uses not listed in this table, is not permitted.
- (4) All uses of land must conform with all standards in the TPG zoning district, including allowable building types, maximum building height, maximum density, etc., and with all other relevant standards in this code.
- (5) Numerous terms used in this table are defined under “use groups” in Article 19 of this chapter. Other terms apply to other zoning districts as well, and are defined alphabetically in Article 19.

Table 4 – Allowable Uses in TPG Regulating Districts

	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Parks & Open Space
Residential Uses								
Residences	P	P	P	P	P	P	P	-
Assisted living facilities	P	P	P	-	P	SE	P	-
Transitional community residences	P	P	P	P	SE	-	SE	-
Bed and breakfast inns	C	C	-	-	C	C	C	-
Rooming/boarded house	SE	SE	-	-	-	-	-	-
Residential accessory uses	A	A	A	A	A	A	A	-
Lodging Uses								
Hotels, motels, inns	P	P	P	-	SE	-	-	-
Lodging Accessory Uses	A	A	A	-	A	-	-	-
Business Uses								
Stores & services, general	P	P	P	P	SE	-	-	-
Stores & services, large format	SE	SE	P	-	-	-	-	-
Offices, general and medical	P	P	P	P	P	-	-	-
Pharmacy	P	P	P	-	-	-	-	-
Restaurants	P	P	P	P	SE	-	-	-
Sidewalk cafe	C	C	SE / C	C	SE / C	-	-	-
Bars and nightclubs	C	C	SE / C	C	SE / C	-	-	-
Adult establishments	-	-	SE / C	-	-	-	-	-
Drive-through facilities	-	SE	P	-	-	-	-	-
Convenience stores with fuel	-	-	P	-	SE	-	-	-
Amusement facilities (indoor)	P	P	P	P	SE	-	-	-
Kennels, indoor/outdoor	-	-	-	SE / C	-	-	-	-
Mini-storage facilities	-	-	C	C	-	-	-	-
Parking (as principal use)	C	C	P	P	-	-	-	-
Nursing homes	-	P	P	-	SE	-	-	-
Health care facilities	SE	P	-	-	SE	-	-	-
Marinas and yacht clubs	P	P	-	-	-	-	-	-
Vehicle and boat sales & service	SE	SE	P	P	-	-	-	-
Warehousing or distribution	-	-	SE	P	-	-	-	-
Light industrial use	-	-	SE	P	-	-	-	-
Business accessory uses	P	P	P	P	P	P	P	-
Civic & Education Uses								
Parks	P	P	P	P	P	SE	SE	P
Places of worship	C	C	C	C	C	SE / C	SE / C	-
Schools	P	P	SE	SE	P	SE	SE	-
Day care centers	C	C	C	C	C	SE	SE	-
Conference centers	P	P	-	-	-	-	-	-
Essential services, Classes 1 & 2	C	C	C	C	C	C	C	-
Essential services, Class 3	-	-	-	-	-	-	-	-

(d) Building Types.

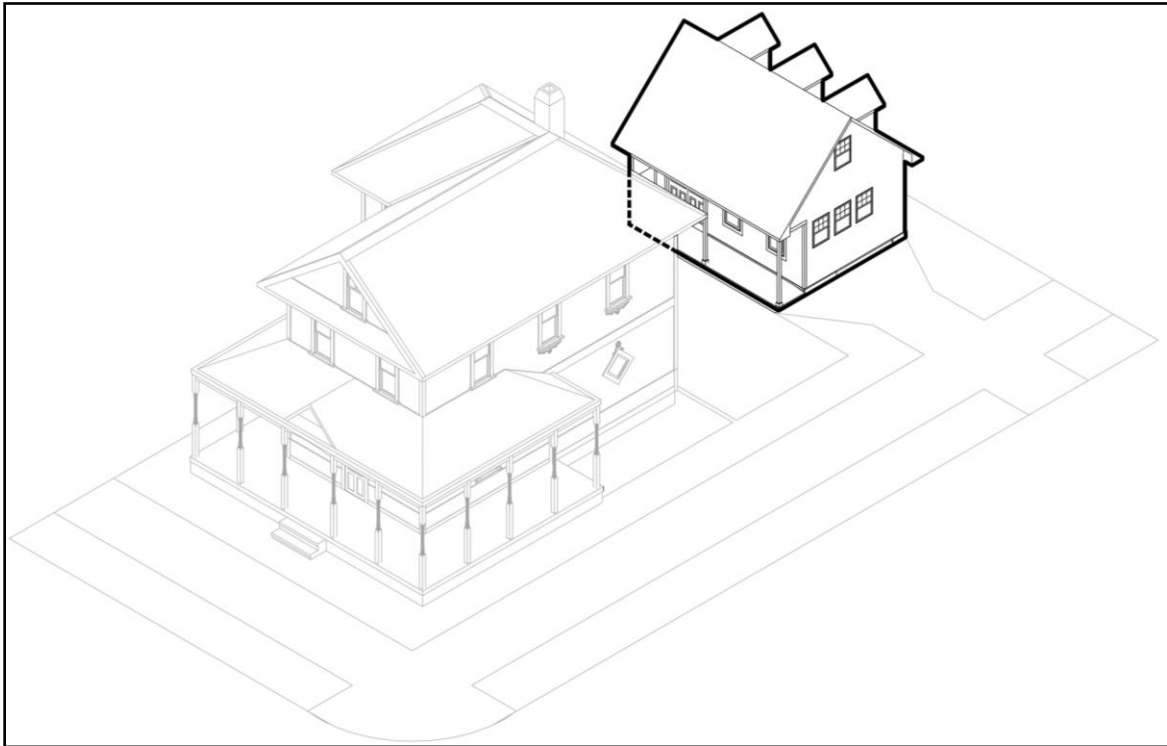
- (1) Introduction to building types.
 - a. Table 2 describes which building types are allowed in each regulating district and overlay district (Table 2 is in Subsection 3.2(c)). An “X” in the column for each district in Table 2 indicates that a particular building type is allowed in that district; other building types are not allowed in that district. If a property is in an overlay district, the allowable building types for the overlay district apply instead of those for the regulating district.
 - b. On the following pages, each building type is described in detail. The first page for each building type (subsection (a)) includes a sample drawing, a summary description, and several photographs illustrating that type; this is general information about the building type and is not regulatory. The specific development standards for each type are shown on the second and third pages (subsections (b) through (e)). Where numerical development standards for an allowable building type are different than the general regulations for the regulating or overlay district, the standards for the building type prevail.

The building types included are as follows:

1. Accessory Cottage	Residential Building Types
2. House	
3. Cottage Court	
4. Duplex	
5. Rowhouse	
6. Triplex/Fourplex	
7. Multiplex	
8. Courtyard Apartment	
9. Live/Work	Mixed-Use Building Types
10. Small Footprint Mixed-Use	
11. Medium Footprint Mixed-Use	Commercial Building Types
12. Main Street Shopfront	
13. Neighborhood Shopfront	Special Building Types
14. Liner	
15. Loft	
16. Warehouse	
17. Civic/Institutional	

- c. At the end of Subsection 3.2(d), Table 3 provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

(2) Accessory Cottage



a. Summary

Description

An Accessory Cottage is an accessory structure detached from a primary building. It is typically a stand-alone building, though it may be attached to similar accessory structures to form a mews at the rear of rowhouses. It may house a garage, small studio apartment, home-office, or some combination thereof. This unit type can only be constructed in conjunction with the House Building Type found in Section 3.2(d)(3).

Key Characteristics

Detached or Attached Unit

Multi-Use

1 to 2 stories

Oriented to Driveway or Alleyway

Examples & Variations



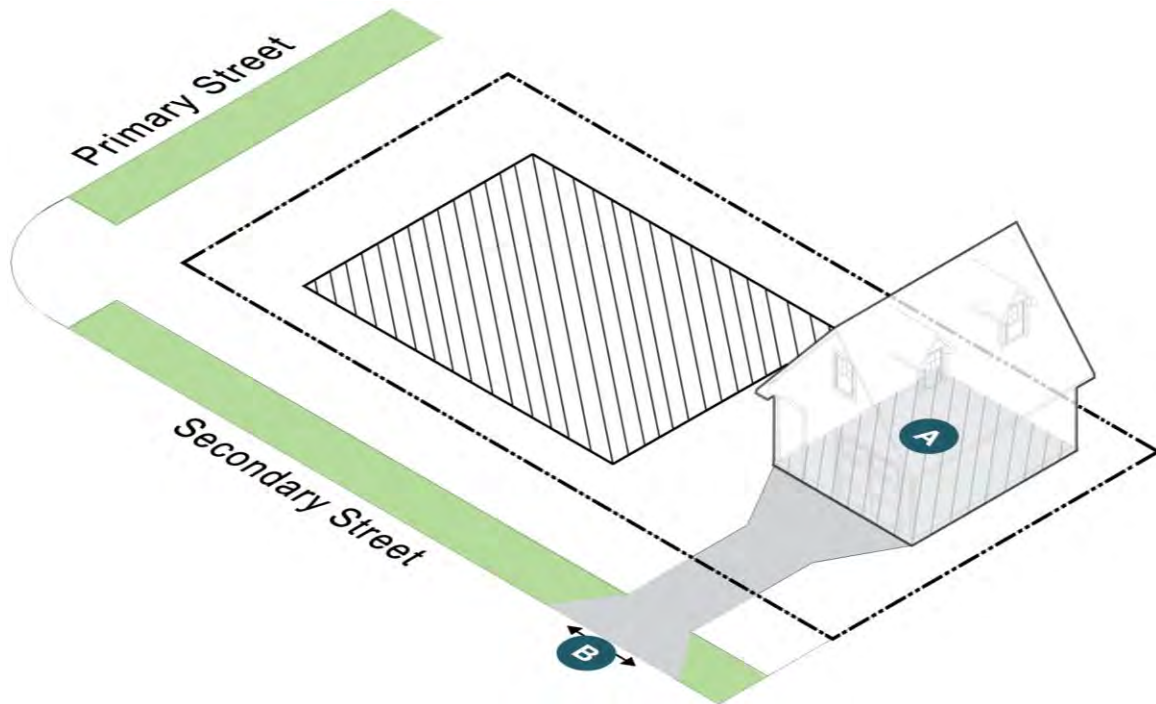
Accessory Dwelling Unit



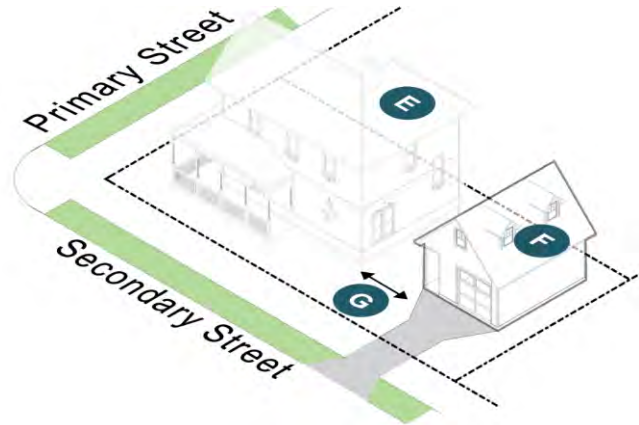
Cottage in City of San Gabriel CA



Carriage House



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Parking Access	
As required for the primary structure.		Number of Driveways/Curb Cuts	
Building Footprint & Placement		Primary Street	n/a
Lot Coverage	n/a	Secondary Street	1
Building Area A	300-1,000 SF max., or 50% of primary building SF, whichever is less.	Driveway Width	8' min., 12' max. B
Frontage Buildout		Pedestrian Access	
Frontage Buildout	n/a	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Setbacks			
Setbacks		Must comply with the setbacks defined in the Regulating District, Subsection 3.2(c)	
Intensity			
No. of Units	1 per primary building ¹		
Density ²	1 du per individual lot		
Building Height			
Building Height		25' max. (2 stories)	
¹ Individual rowhouses units count as a single primary building, even though they may be part of a larger grouping of rowhouses ² Dwelling units are only permitted where the Primary building type is a House as defined in Section 3.2(d)(3)			



d. Building Composition

Front Façade Fenestration

Ground Floor ¹	10% min., 50% max.	C
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	D

Roof Type²

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Permitted Frontage Types²

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹If a ground floor contains a vehicular entry, the area of the vehicular entry is subtracted from the calculated area of the ground floor façade.

²Additional standards or limitations may apply for specific Architectural Styles, Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	E
Accessory	1	F

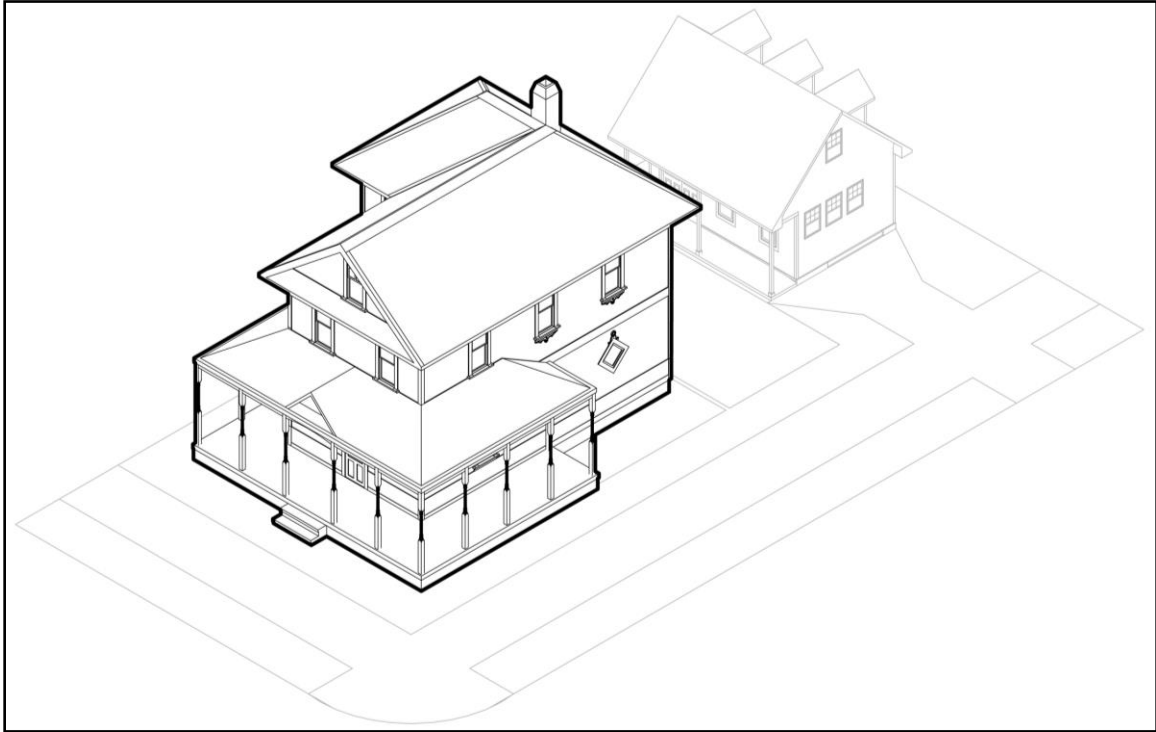
Private Open Space

Private open space requirements shall be determined by the main building on the lot. No additional open space is required for the accessory cottage.

Additional

Distance Between Primary and Secondary Building	10' min.	G
-------------------------------------------------	----------	----------

(3) House



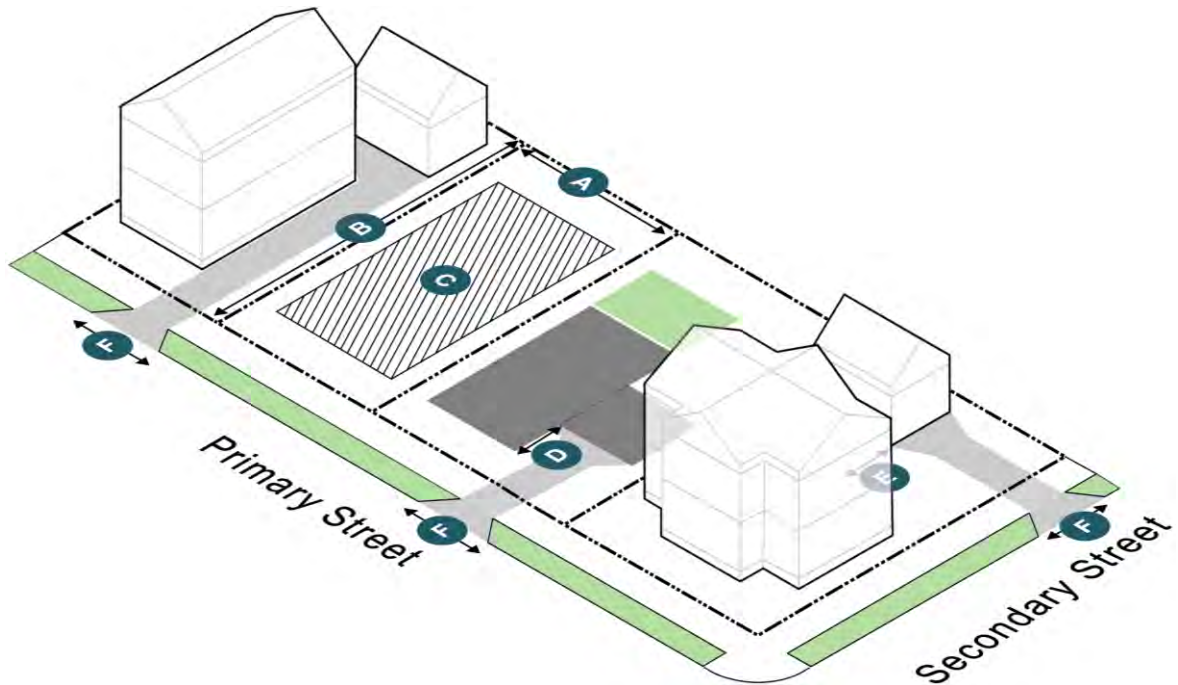
a. Summary

Description	Key Characteristics
<p>A House is a detached single-family residence which occupies a single lot.</p>	Detached Unit
	Residential
	1 to 2.5 stories
	Street-Oriented

Examples & Variations



One-and-a-Half Story House	Two-Story House	Two-and-a-Half Story House
----------------------------	-----------------	----------------------------



b. Lot & Building Standards

Lot Dimensions

Width	40' min., 150' max.	A
Depth	86' min.	B
Lot Size ¹	3,500 SF min., 20,000 SF max.	

Building Footprint & Placement

Lot Coverage	70% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		

Intensity

No. of Units	1 max.	
Density (Individual Lot)	Base	W/ Accessory Cottage
	13 du/a	25 du/a max.
Building Height	35' max. (2.5 stories)	

¹ The House Building Type shall also be permitted on any lot platted prior to March 2005

c. Parking & Access

Location

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

Garage Door/Carport Setback

Attached	10' min. (from front façade)	D
Detached ¹	Behind primary building in the rear yard only	E

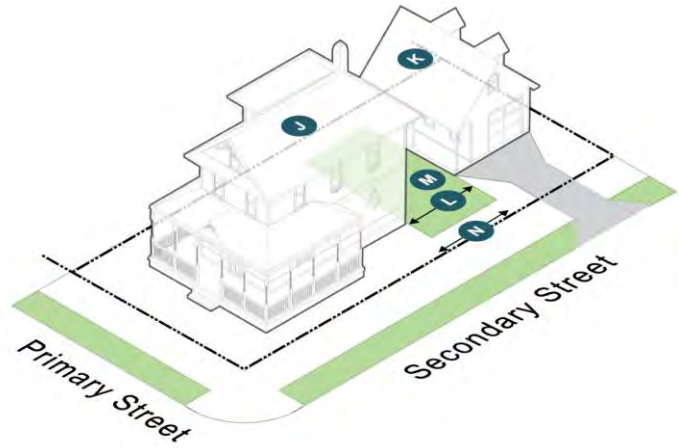
Parking Access

Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	F

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	I

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	J
Accessory	1	K

Private Open Space¹

Depth	15' min.	L
Area	300 SF min.	M

Additional

Distance Between Primary and Secondary Building	10' min.	N
-------------------------------------------------	----------	---

¹ Required street setbacks and driveways shall not be included in the private open space calculation

(4) Cottage Court

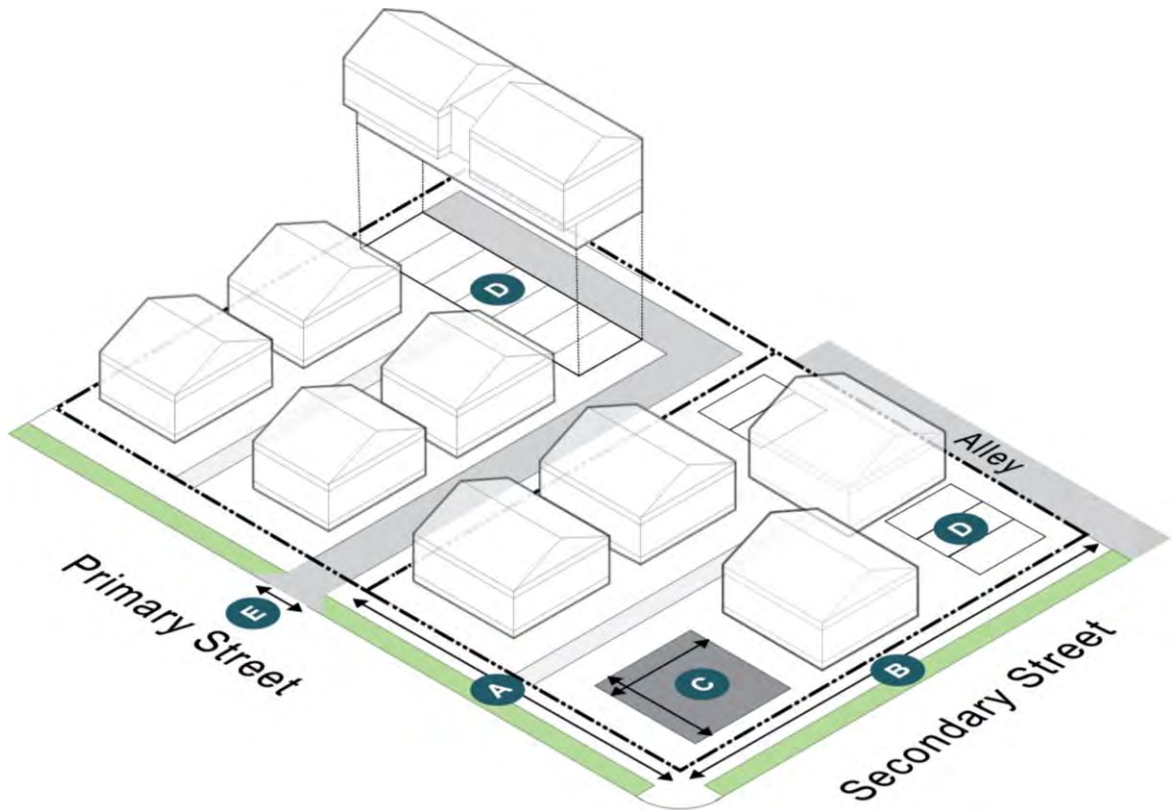


a. Summary

Description	Key Characteristics
<p>A Cottage Court consists of a series of small, detached structures, providing multiple units arranged to define a shared courtyard that is typically perpendicular to the street. The common yard takes the place of a private rear yard and becomes an important community enhancing element.</p>	<p>Detached Units Residential 1 to 2 stories Orients to the Street and Central Open Space</p>

Examples & Variations

<p>Cottage Court</p>	<p>Ericksen Cottages in Bainbridge, WA</p>	<p>Cottage Court</p>



b. Lot & Building Standards

Lot Dimensions

Width	100' min., 160' max.	(A)
Depth	120' min.	(B)
Lot Size ¹	20,000 SF min.	

Building Footprint & Placement

Lot Coverage	70% max.	
Cottage Size	750 SF min.	(C)
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		

Intensity

No. of Units	5 min., 12 max.
Density (Individual Lot)	25 du/a max.
Building Height	30' max. (2 stories)

¹Lots existing under different property ID numbers as of the adoption of this ordinance may not be combined to accommodate the development of this building type.

c. Parking & Access

Location

Parking shall be located in the rear yard of the site, shielded from view from the primary street, and accessed from alleys or side streets wherever possible. (D)

Garage Door/Carport Setback

Attached ¹	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached	Not permitted

Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max. (E)

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Park under units shall comply with all primary building setbacks as defined in Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	F
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	G

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

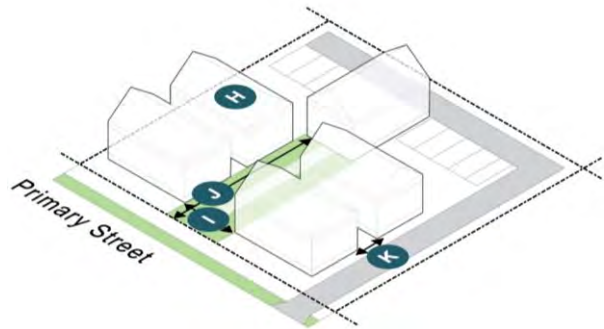
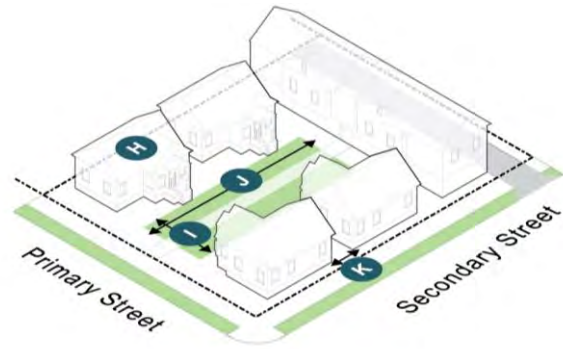
At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

Number of Buildings

Primary	5-10	H
Accessory	n/a	

Common Open Space¹

Width	15' min.	I
Depth	40' min.	J
Area	200 SF per unit min.	

Additional

Distance Between Buildings	10' min.	K
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¹ Required street setbacks and driveways shall not be included in the open space calculation

(5) Duplex



a. Summary

Description	Key Characteristics
<p>The Duplex is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing.</p>	<p>Attached Units (stacked or side-by-side)</p> <hr/> <p>Residential</p> <hr/> <p>1 to 2.5 stories</p> <hr/> <p>Small-to-Medium Street Setback</p>

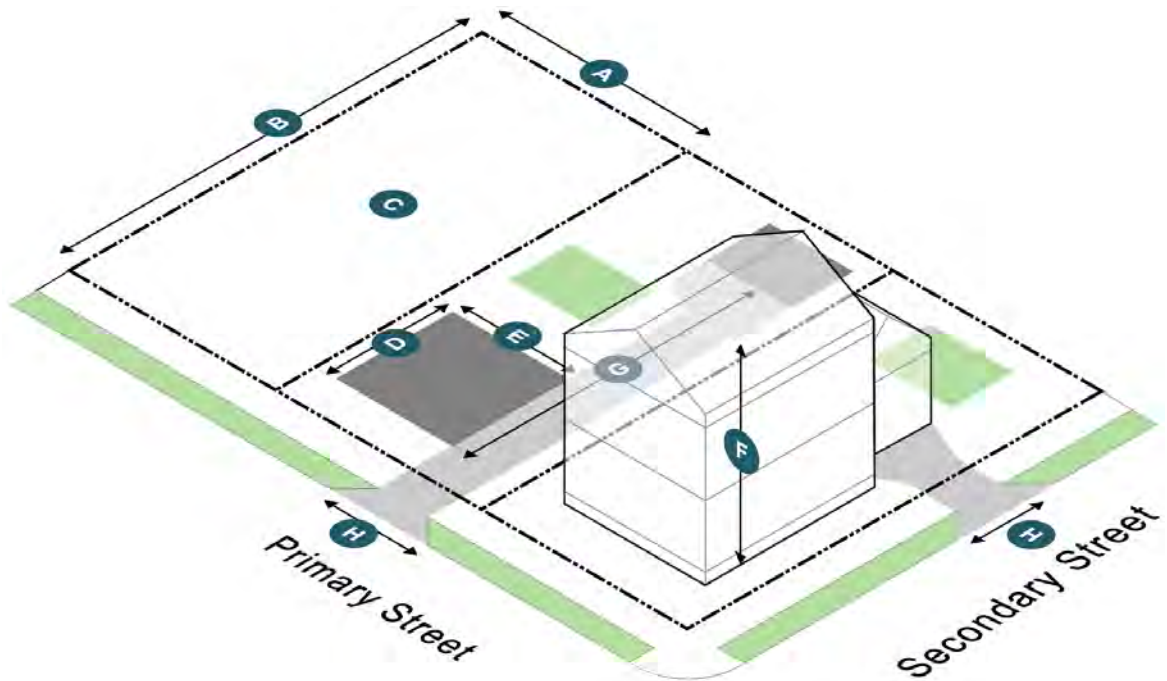
Examples & Variations



Side by Side Duplex

Side by Side Duplex

Stacked Duplex



b. Lot & Building Standards

Lot Dimensions

Width	40' min., 100' max.	A
Depth	86' min.	B
Lot Size ¹	3,500 SF min.	C

Building Footprint & Placement

Lot Coverage	70% max.	
Frontage Buildout ²	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	28' min.	D
Building Width	28' min.	E

Intensity

No. of Units	2 units
Density (Individual Lot)	25 du/a max.
Building Height	F 35' max. (2.5 stories)

¹ The Duplex Type shall also be permitted on any lot platted prior to March 2005
² Frontage Buildout requirements on secondary streets shall not apply to the Duplex type

c. Parking & Access

Location

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

Garage Door/Carport Setback

Attached	10' min. (from front façade)	
Detached ¹	Behind the primary building in the rear yard only	G

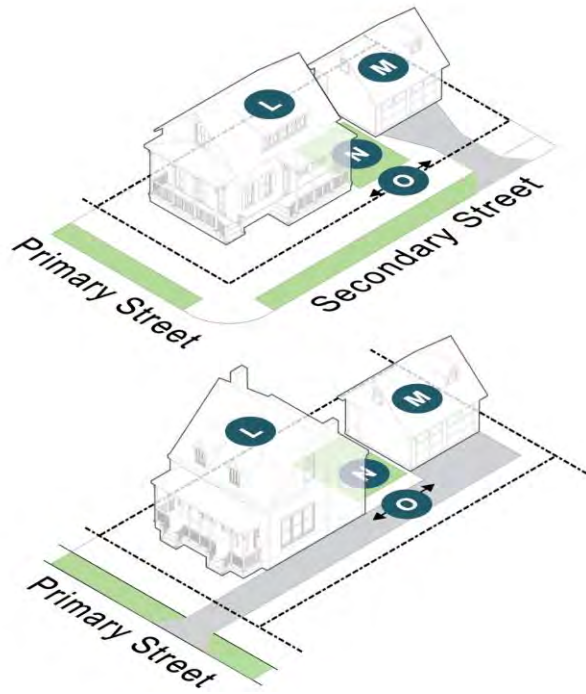
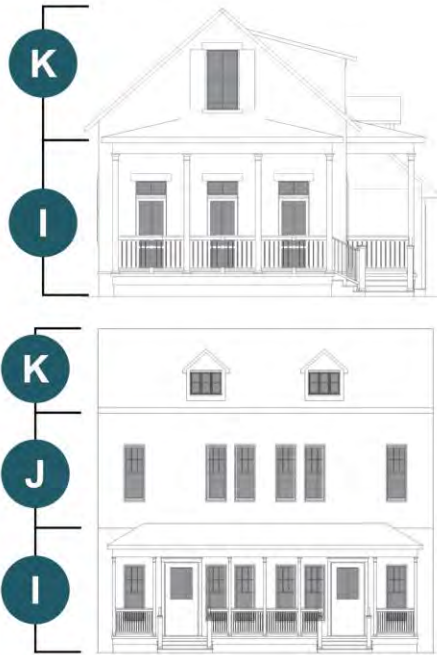
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	H 8' min., 12' max.

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition	
Front Façade Fenestration	
Ground Floor	30% min., 50% max. I
Upper Story	20% min., 50% max. J
Habitable Half Story/Attic	10% min., 30% max. K
Roof Type¹	
Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
Permitted Building Elements¹	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
Required & Permitted Frontage Types¹	
At least one of the following types is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
Number of Buildings	
Primary	1 L
Accessory	1 M
Private Open Space¹	
Area	300 SF per unit min. N
Additional	
Distance Between Primary and Secondary Building	10' min. O
¹ Required street setbacks and driveways shall not be included in the open space calculation	

(6) Rowhouse



a. Summary

Description	Key Characteristics
-------------	---------------------

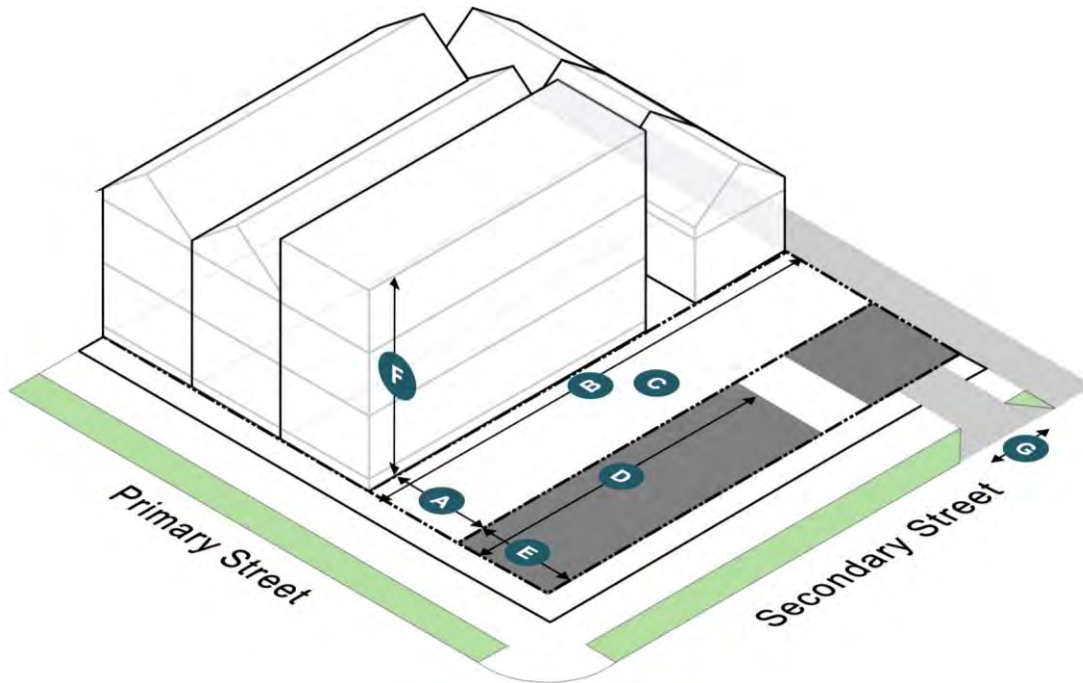
A Rowhouse is an attached house on a shallow lot that shares a party wall with an adjacent unit. Rowhouses may be combined under one roof form or divided by a parapet wall.

- Attached Units
- Residential
- 1 to 3 stories
- Street-Oriented

Examples & Variations



Rainbow Row: Charleston, SC	Cannery Row: Delray Beach, FL	Almeria Row: Coral Gables, FL
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b. Lot & Building Standards

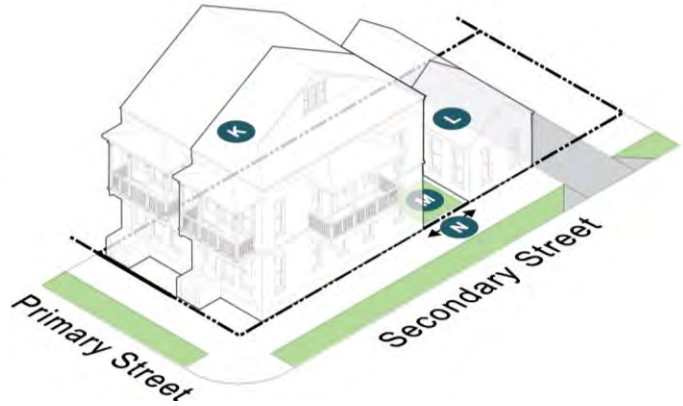
Lot Dimensions		
Width	18' min.	A
Depth	86' min.	B
Lot Size	1,550 SF min.	C
Building Footprint & Placement		
Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks ¹		
Unit Depth	35' min.	D
Unit Width ²	18' min., 36' max.	E
Intensity		
No. of Units	1 unit	
Density (Individual Lot)	30 du/a max.	
Building Height	35' max. (3 stories)	F

¹The first and last rowhouses in a run must comply with internal side yard setbacks

²A grouping of attached houses may not exceed 220' in aggregate width.

c. Parking & Access

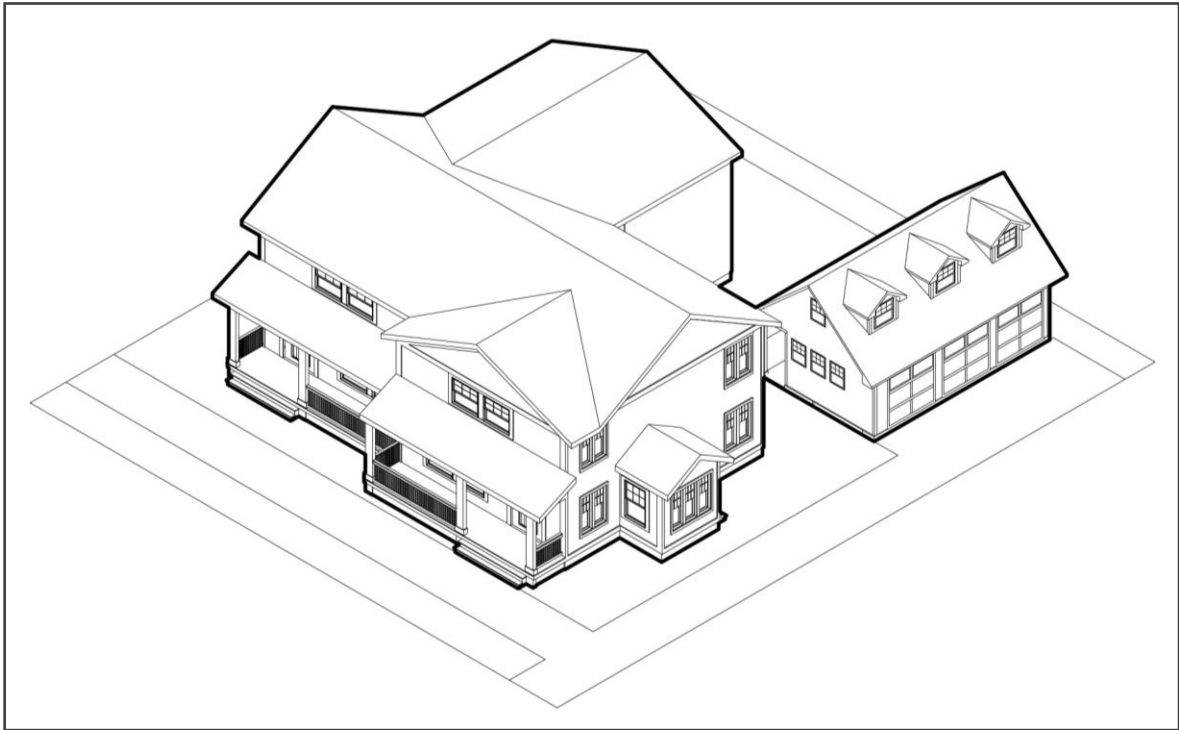
Location	
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley.	
Garage Door/Carport Setback	
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached ¹	Accessed from side street or rear lane/alley
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1 per grouping of at least 4 rowhouses, if no alley is present
Secondary Street	1
Driveway Width	10' min., 18' max. G
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	



d. Building Composition	
Front Façade Fenestration	
Ground Floor	30% min., 50% max. H
Upper Story	20% min., 50% max. I
Habitable Half Story/Attic	10% min., 30% max. J
Roof Type¹	
Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
Permitted Building Elements¹	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
Required & Permitted Frontage Types¹	
At least one of the following is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
Number of Buildings	
Primary	1 K
Accessory	1 L
Rowhouses per Run ¹	4 min., 10 max. or 220' in length, whichever is less
Private Open Space²	
Area	100 SF per unit min. M
Additional	
Distance Between Runs ¹	10' min.
Distance Between Primary and Secondary Building	10' min. N
¹ A Run is a grouping of attached rowhouses, which can be built individually over time or all at once as a single building with internal divisions	
² Required street setbacks and driveways shall not be included in the open space calculation	

(7) Triplex/Fourplex



a. Summary

Description

A small-to-medium sized detached structure that consists of 3 to 4 units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, typically with one entry for the ground floor unit and a shared entry from the units above. This type has the appearance of a medium sized single-unit house and may include a rear yard.

Key Characteristics

Attached Units (Stacked or Side-by-Side)

Residential

1 to 3 stories

Small-to-Medium Street Setback

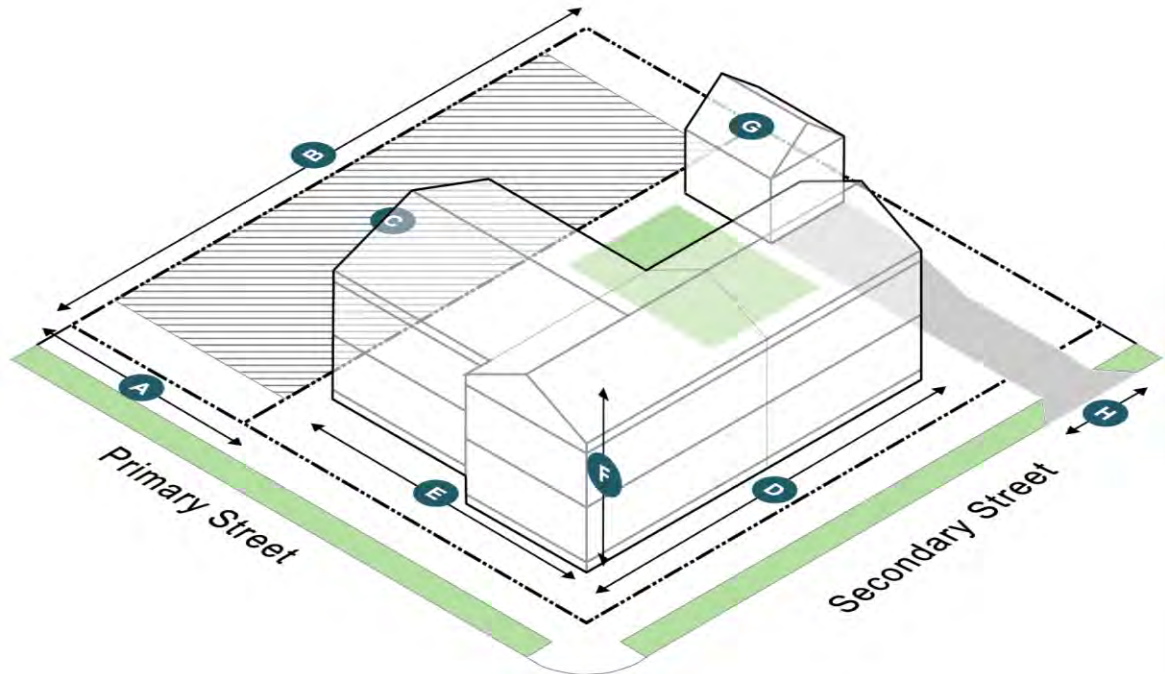
Examples & Variations



Historic Fourplex in Miami Beach, FL



Triplex at 461 W Marion Ave, Punta Gorda, FL



b. Lot & Building Standards

Lot Dimensions

Width	50' min., 84' max.	A
Depth	86' min.	B
Lot Size	Triplex	Fourplex
	4,400 SF min.	5,800 SF min.

Building Footprint & Placement

Lot Coverage	70% max.	C
Frontage Buildout ¹	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	D
Building Width	30' min.	E

Intensity

No. of Units	3-4 units	
Density (Individual Lot)	30 du/a max.	
Building Height	35' max. (3 stories)	F

¹ Frontage Buildout requirements on secondary streets shall not apply to the Triplex/Fourplex

c. Parking & Access

Location

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

Garage Door/Carport Setback

Attached	10' min. (from front façade)	
Detached ¹	Behind the primary building or in the rear yard only	G

Parking Access

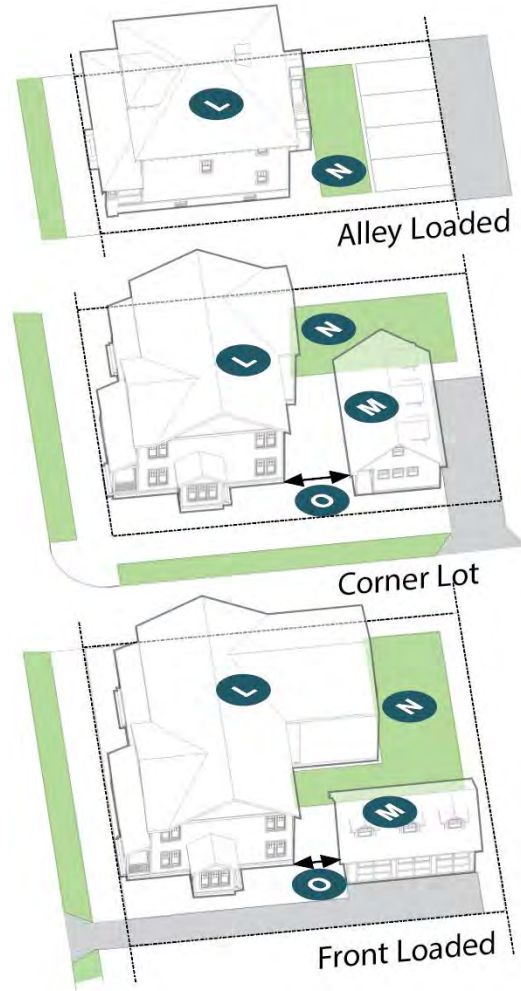
Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	H

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

Common entries should be similar in appearance and compliment entrances of neighboring houses.

¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	L
Accessory	1	M

Private Open Space¹

Area	300 SF min.	N
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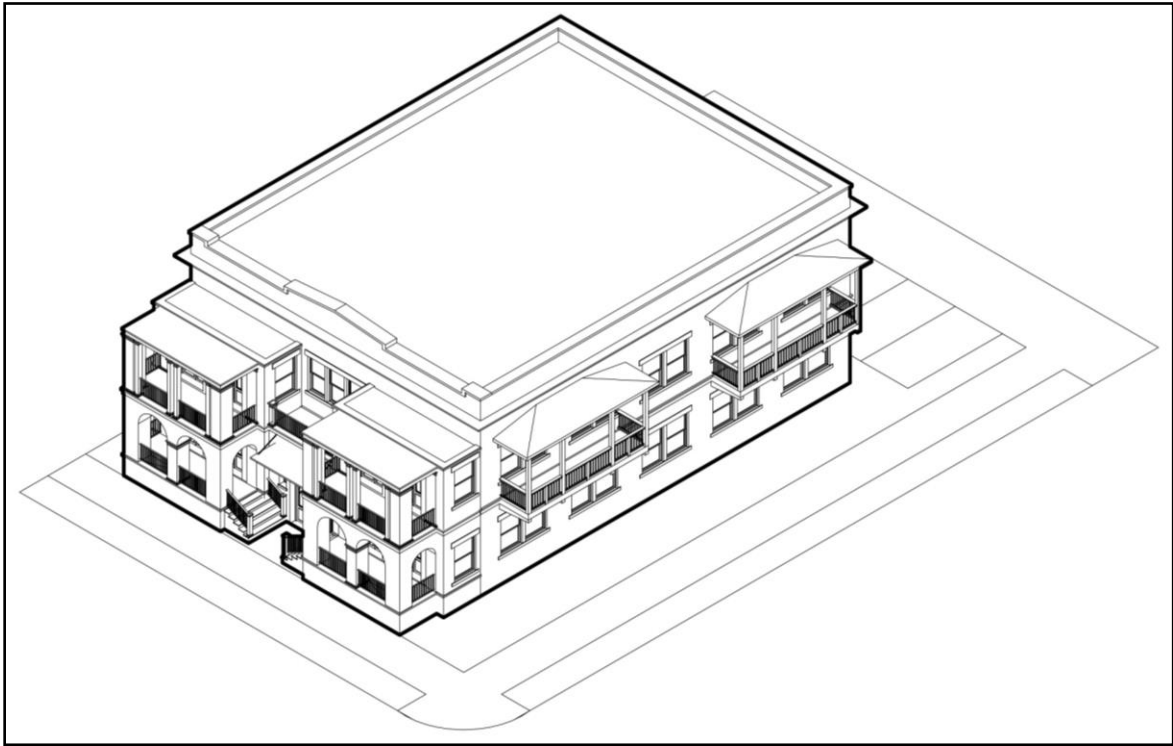
Additional

Distance Between Primary and Secondary Building	10' min.	O
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¹ Required Street setbacks and driveways shall not be included in the open space calculation

² The minimum lot dimensions only apply to the Alley Loaded configuration. The Corner Lot and Front-Loaded configurations require lots larger than the minimum 50' width and 86' depth.

(8) Multiplex



a. Summary

Description

A medium sized structure that consists of 5 or more units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, and typically with a shared entry from the street. This type may not include a rear yard.

Key Characteristics

Attached Units (Stacked or Side-by-Side)

Residential

2 to 3 stories

Street-Oriented

Examples & Variations



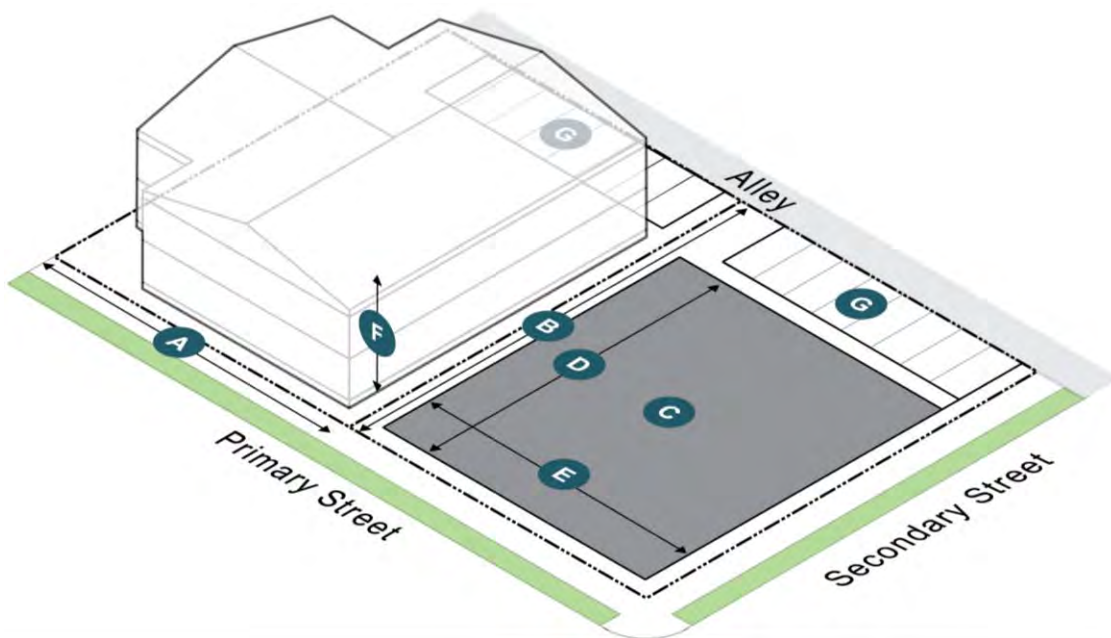
Historic Dayton Apartment:
Portland, WA



212 Goldstein St in Punta
Gorda, FL



Casa Laguna Apartments: Los
Angeles, CA



b. Lot & Building Standards

Lot Dimensions

Width	80' min., 130' max.	A
Depth	86' min.	B
Lot Size	6,880 SF min.	

Building Footprint & Placement

Lot Coverage	80% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	60' min.	D
Building Width	50' min.	E

Intensity

No. of Units	5-12 units	
Density (Individual Lot)	Base 30 du/a	
Building Height	Base Defer to Regulating District	F

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.¹

Garage Door/Carport Setback

Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Detached	Behind the primary building in the rear yard only

Parking Access

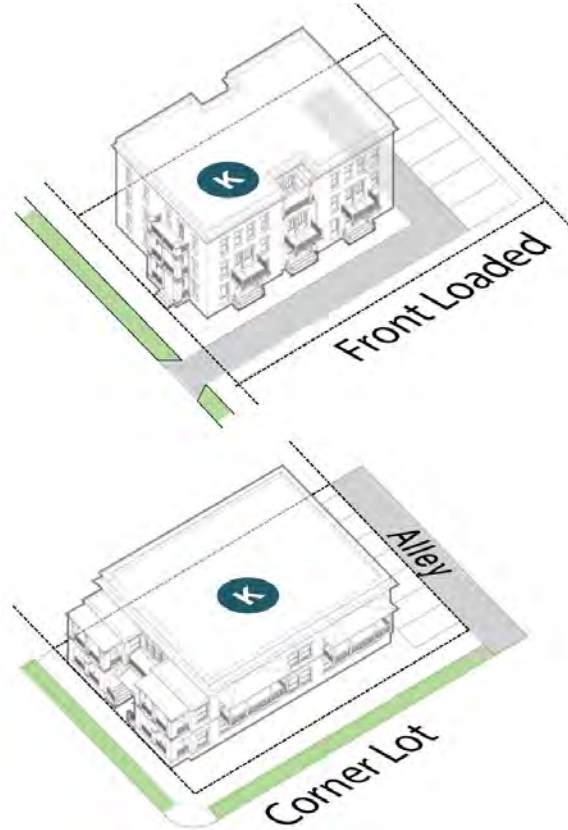
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max.

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

Common entries should be similar in appearance and compliment entrances of neighboring houses.

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	0	

Private Open Space

No private open space requirement

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(9) Courtyard Apartment



a. Summary

Description	Key Characteristics
-------------	---------------------

A Courtyard Building is a medium-to-large sized structure that consists of multiple dwelling units accessed from a central common courtyard or series of courtyards that open to the street.

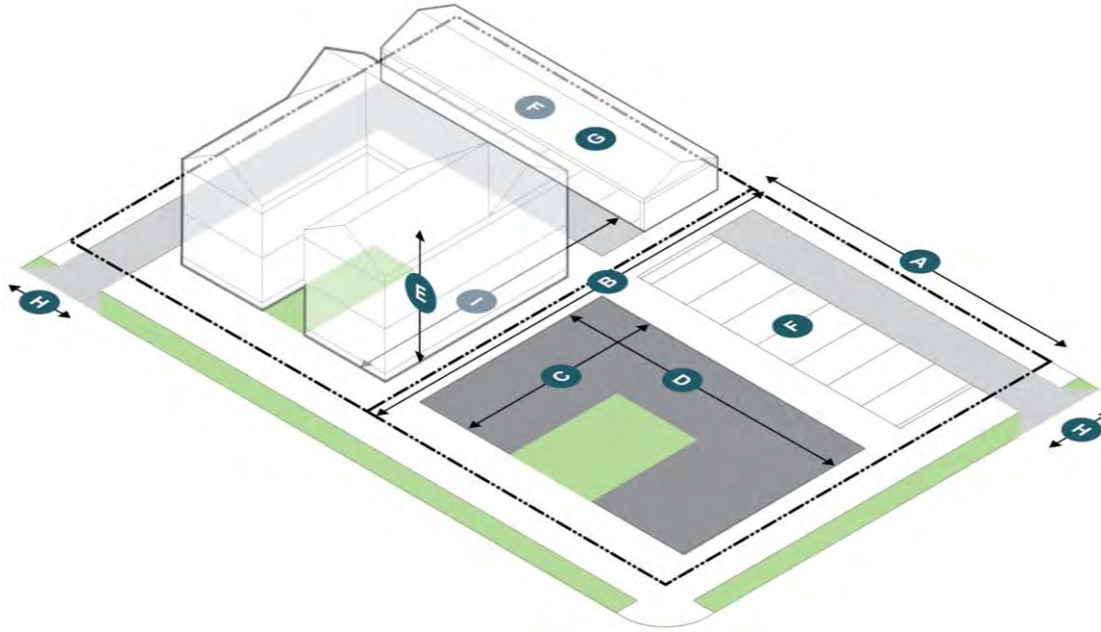
- Attached
- Residential
- 2 to 4 stories
- Orients to Street and Central Open Space

Examples & Variations



Everglade Apartments: Miami Beach, FL

Sorrento Court: Portland, OR

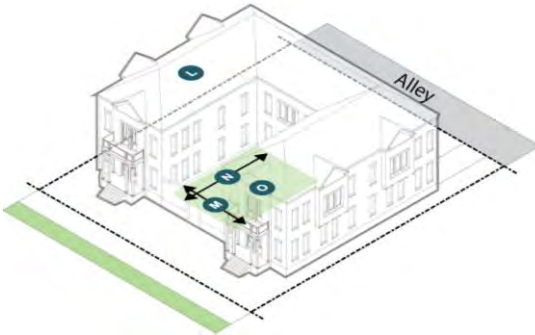
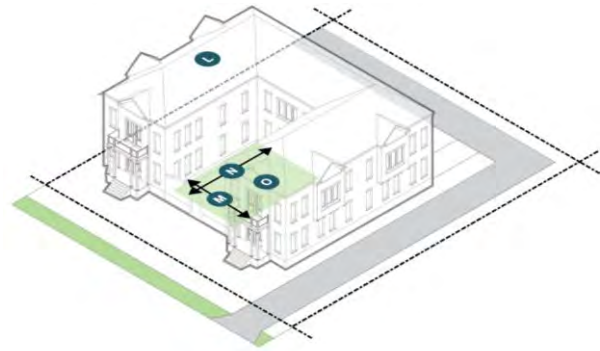
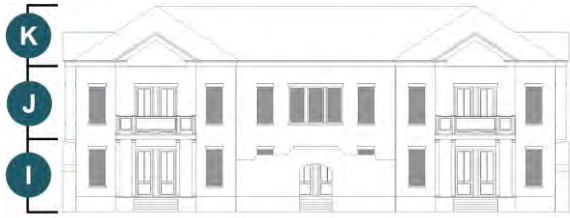


b. Lot & Building Standards	
Lot Dimensions	
Width	84' min., 150' max. A
Depth	100' min. B
Lot Size	8,400 SF min.
Building Footprint & Placement	
Lot Coverage	90% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	40' min. C
Building Width	50' min. D
Intensity	
No. of Units	12 min.
Density (Individual Lot)	Base 30 du/a
Building Height E	Base See Regulating District (2 stories min.)

c. Parking & Access	
Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹	
Garage Door/Carport Setback	
Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Detached ²	Behind the primary building in the rear yard only G
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max. H
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking

² Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

The following type is required:

Forecourt	7.2(d)(9)
-----------	-----------

At least one of the following types is required:

Lobby Entrance	7.2(d)(5)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Integral	7.2(d)(15)
Awning ²	7.2(d)(6)
Entry Canopy: Large ²	7.2(d)(7)
Overhead Balcony: Large ²	7.2(d)(8)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

² At least one of these frontage types must be included with the lobby entrance, except if the lobby is recessed a minimum of 3'

e. Site Configuration

Number of Buildings

Primary	1	L
Accessory	1	

Common Open Space¹

Courtyard Width	20' min.	M
Courtyard Depth	30' min.	O
Courtyard Area	600 SF min.	O

Additional

Distance Between Primary and Secondary Building	10'
-------------------------------------------------	-----

¹ Required street setbacks and driveways shall not be included in the open space calculation

(10) Live/Work



a. Summary

Description

The Live/Work Building Type is a small attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for office, service, or retail uses. Both the ground floor flex space and the residential unit are owned by one entity.

Key Characteristics

Integrated, Attached or Detached Units

Mixed Use

1 to 2.5 stories

Orients to Street

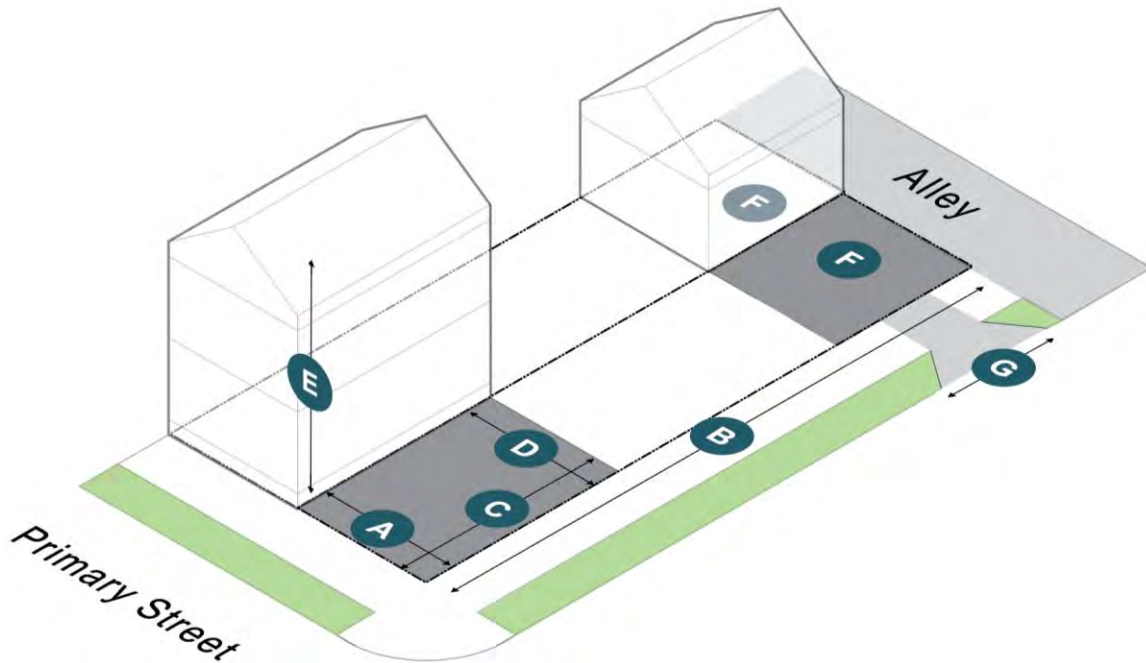
Examples & Variations



Attached Live/Work Unit in Beaufort, SC

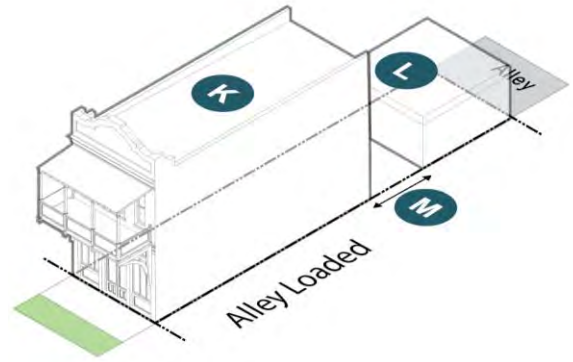


Detached Live/Work Unit



b. Lot & Building Standards		
Lot Dimensions		
Width	18' min., 53' max	(A)
Depth	86' min.	(B)
Lot Size	1,550 SF min.	
Building Footprint & Placement		
Lot Coverage	90% max	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2©	
Setbacks		
Building Depth	30' min	(C)
Building Width	18' min	(D)
Intensity		
No. of units	1 unit	
Density (Individual Lot)	Base 30 du/a	
Building Height (E)	Base 35' max. (2.5 stories)	

c. Parking & Access	
Location	
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley. (F)	
Garage Door/Carport Setback	
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached ¹	Accessed from side street or rear lane/alley
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	8' min., 12' max. (G)
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min., 80% max.	H
Upper Story	30% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type²

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Permitted Frontage Types²

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

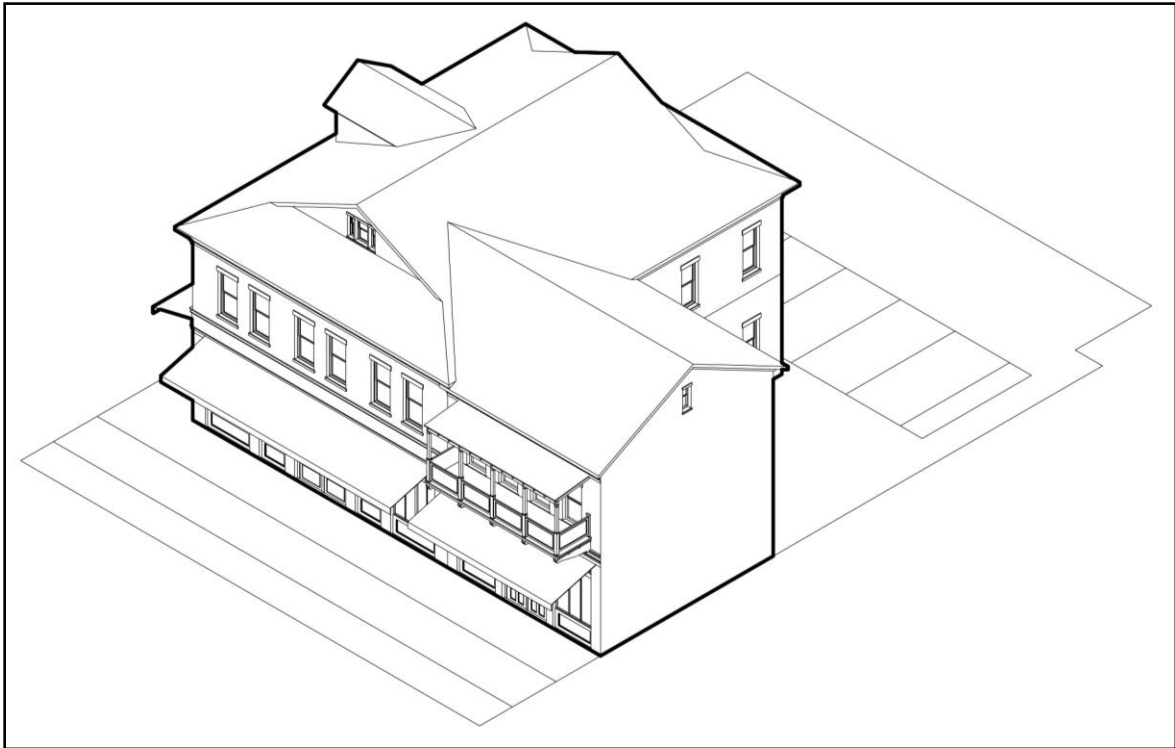
Number of Buildings

Primary	1	K
Accessory	1	L

Additional

Distance Between Primary and Secondary Building	10' min.	M
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(11) Small Footprint Mixed-Use



a. Summary

Description

A Small Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended to complement walkable neighborhoods by facilitating a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, or office uses.

Key Characteristics

Attached or Detached Units

Mixed Use

2 to 4 stories (typically)

Orients to Street

Examples & Variations



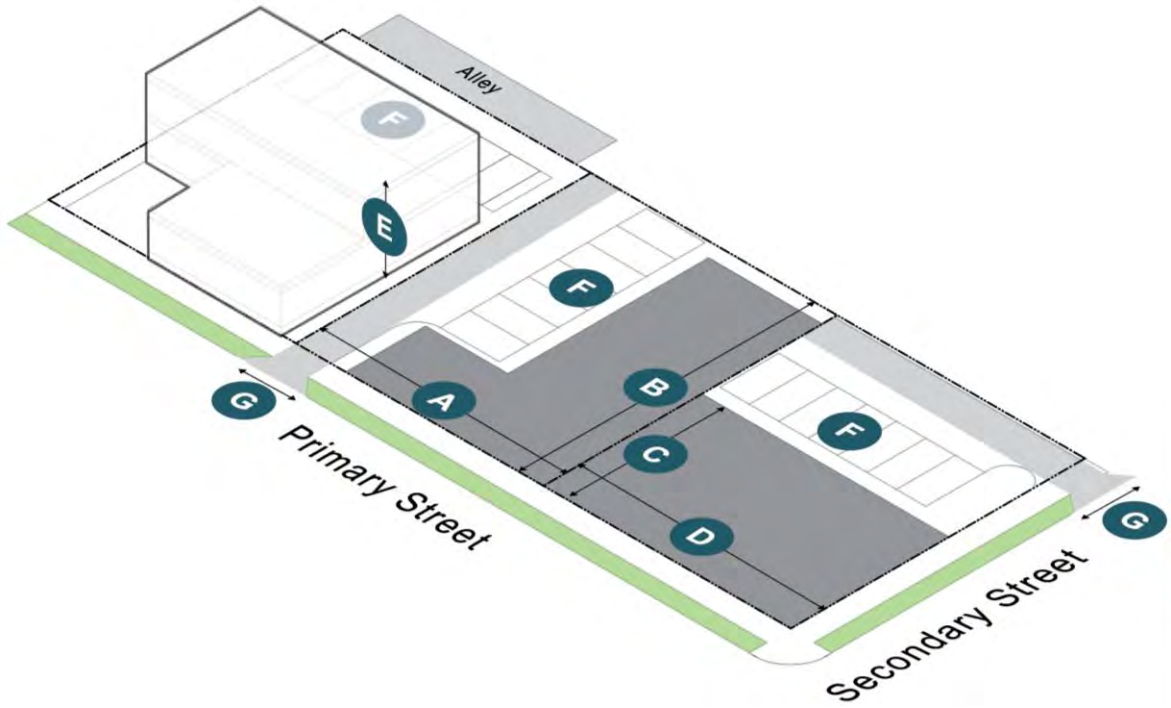
G Square, San Rafael, CA



Historic Mixed-Use in Charleston, SC



Mixed-Use Building in Neptune Beach, FL



b. Lot & Building Standards

Lot Dimensions

Width	40' min.	(A)
Depth	86' min.	(B)
Lot Size	3,500 SF min., 22,000 SF max.	

Building Footprint & Placement

Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	(C)
Building Width	30' min.	(D)

Intensity

No. of Units	2 min. for upper story residential	
Density (Individual Lot)	Base 30 du/a	
Building Height	(E) See Regulating District (2 stories min.)	

¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.¹ (F)

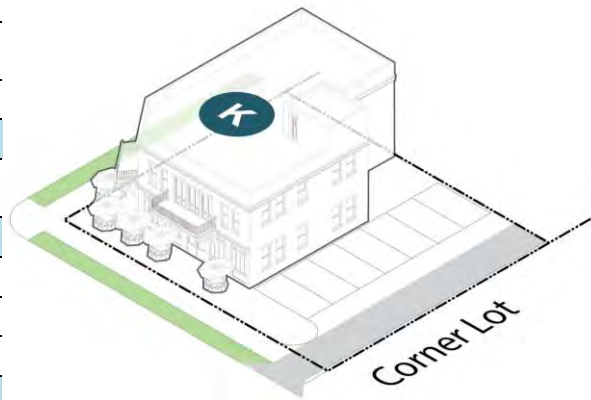
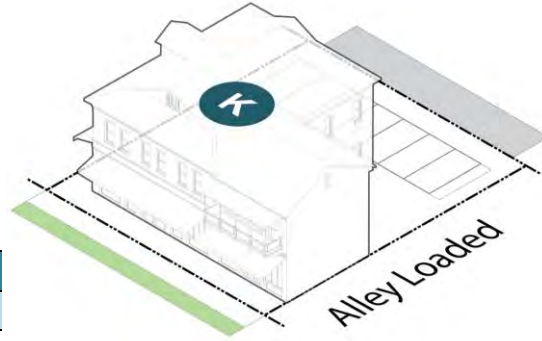
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. (G)

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(12) Medium Footprint Mixed-Use



a. Summary

Description

A Medium Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended for higher intensity areas such as village centers or downtown. This type facilitates a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, commercial, or office uses.

Key Characteristics

- Attached or Detached Units

- Mixed Use

- 2 to 7 stories

- Orients to Street

Examples & Variations



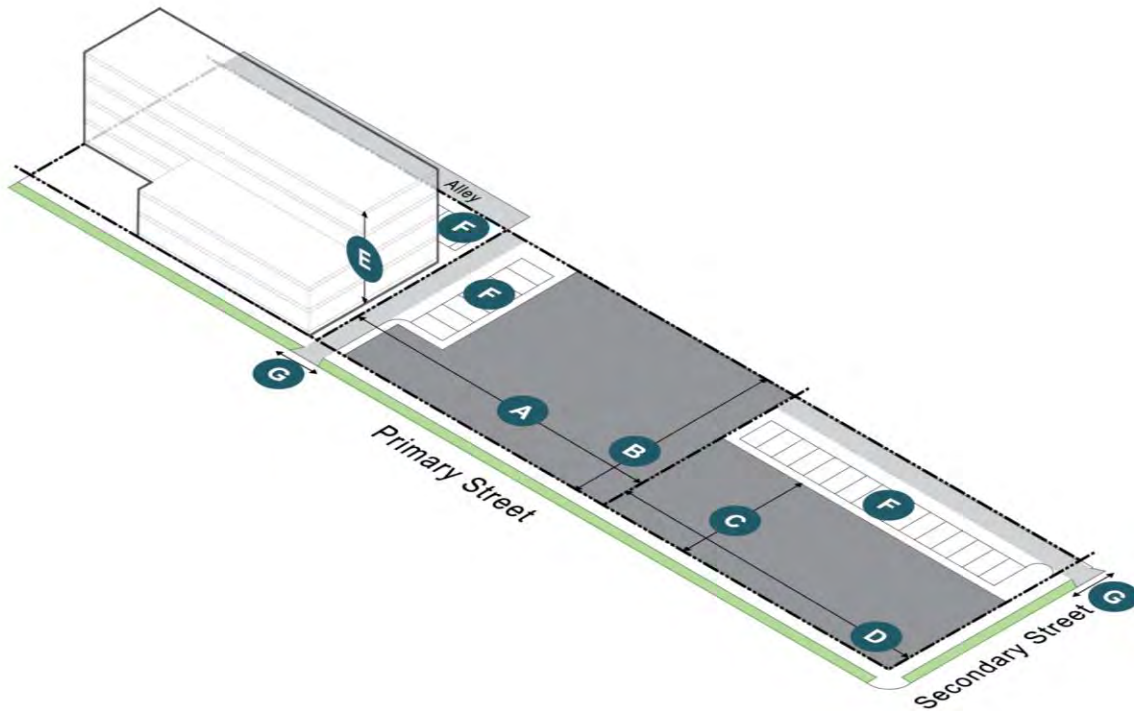
SunLoft Building in Punta Gorda, FL



Paseo Chapala in Santa Barbara, CA



Mixed-Use Building in Savannah, GA



b. Lot & Building Standards

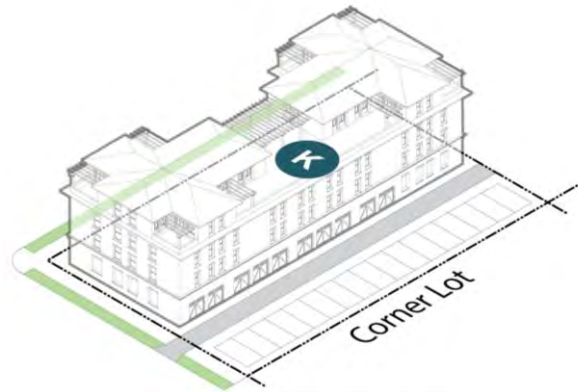
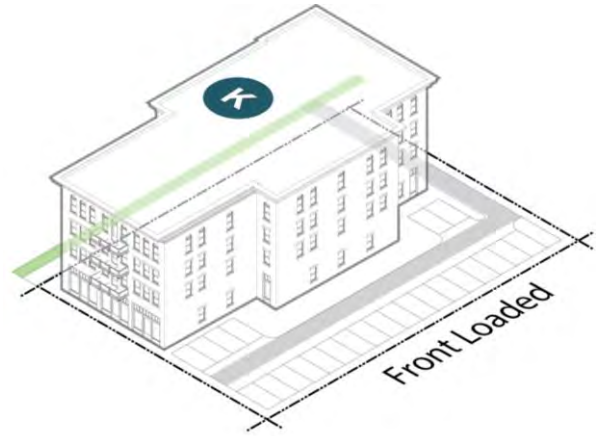
Lot Dimensions		
Width	180' min.	A
Depth	120' min.	B
Lot Size	21,600 SF min.	
Building Footprint & Placement		
Lot Coverage	100% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	60' min.	C
Building Width	100' min.	D
Intensity		
No. of Units	n/a	
Density (Individual Lot)	Base	With Development Mitigation ¹
	See Regulating District	
Building Height	Base	With Development Mitigation ¹
	See Regulating District (2 stories min.)	

¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits

c. Parking & Access

Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹	
F	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max.
G	
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

¹ Except in the Flex Commercial Corridor, which permits side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

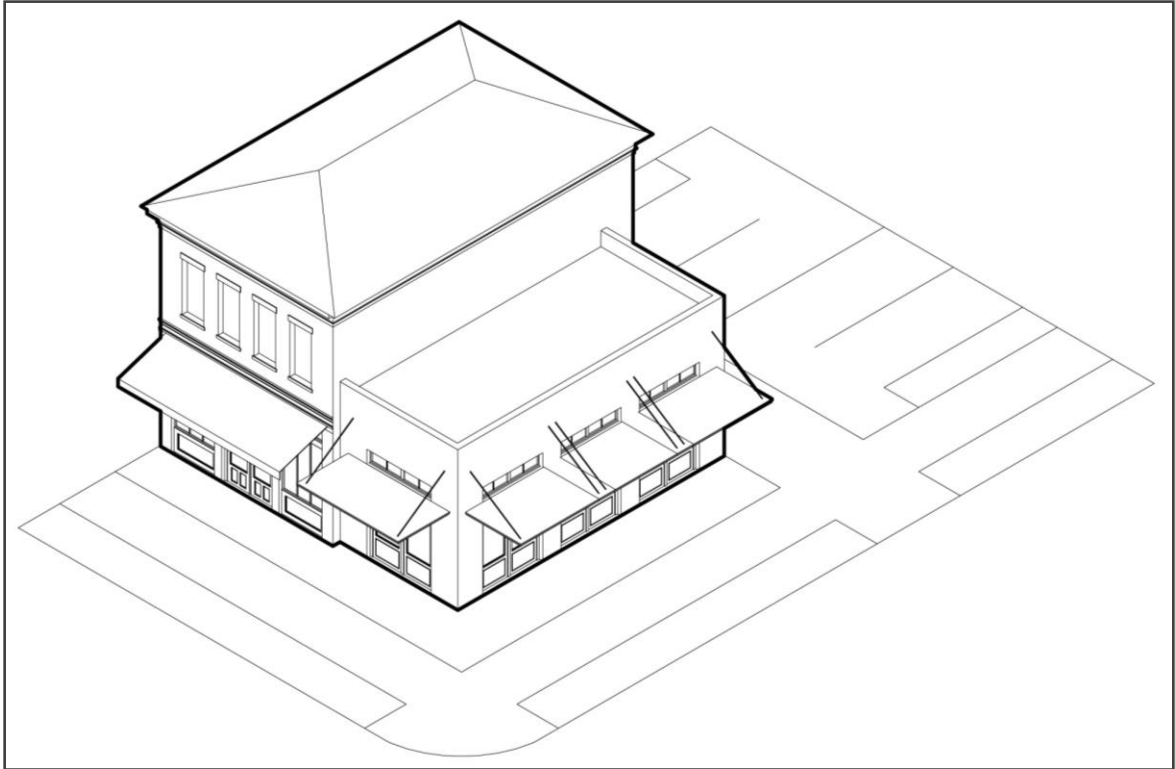
Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(13) Main Street Shopfront



a. Summary

Description

The Main Street Shopfront is a small-to-medium sized structure, typically attached, intended to provide a mix of uses with ground floor retail or service uses and upper-floor service or residential uses. This Type promotes walkability and makes up the primary component of a neighborhood or downtown Main Street.

Key Characteristics

Attached or Detached Units

Mixed Use

1 to 2 stories

Orients to Street

Examples & Variations



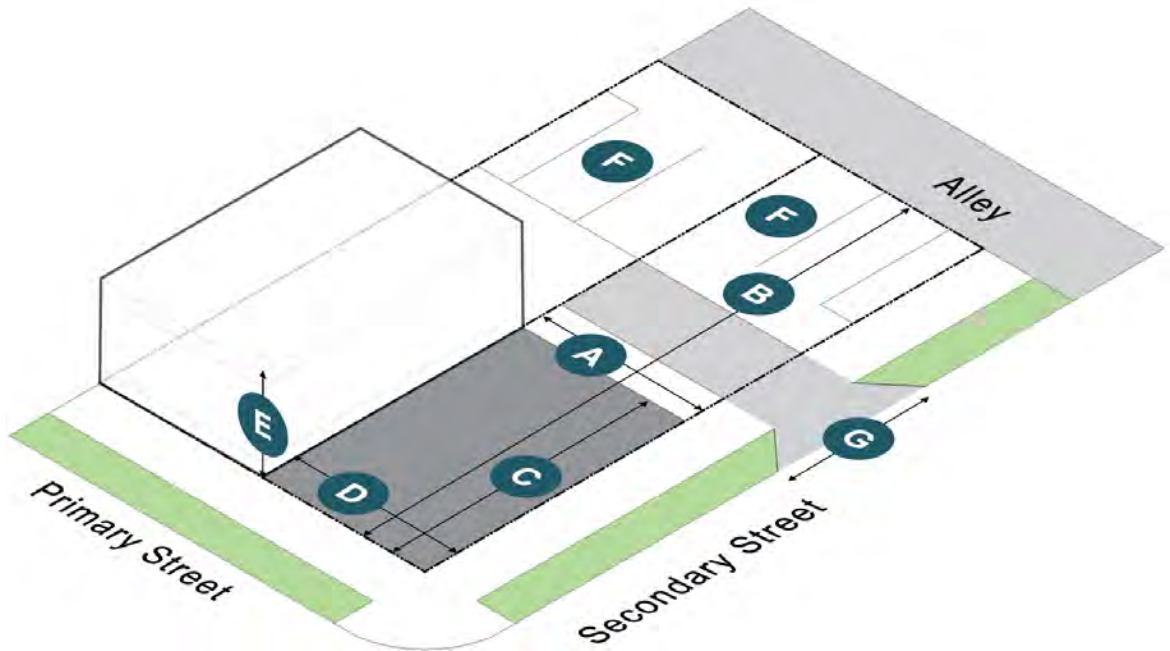
Park Ave. in Winter Park, FL



Marion Ave. in Punta Gorda, FL

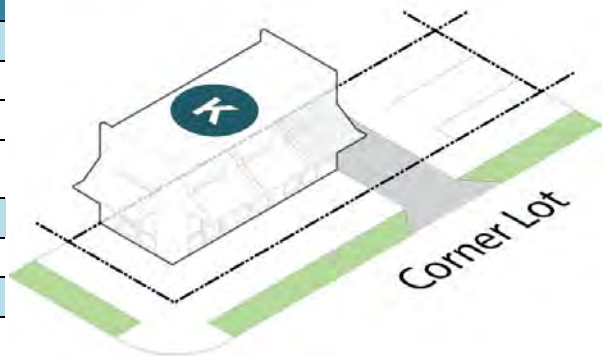
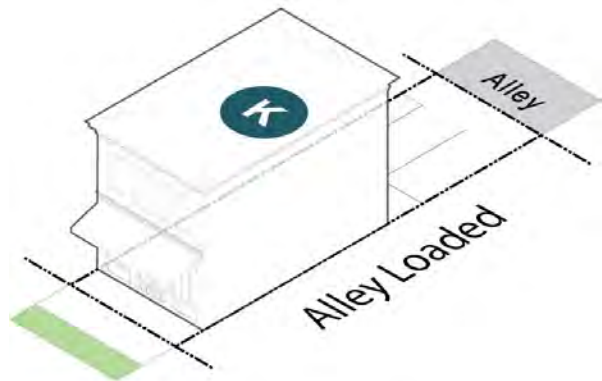


Colorado Blvd. in Oldtown, Pasadena, CA



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	25' min., 150' max. (A)	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹ (F)	
Depth ¹	86' min. (B)		
Lot Size ¹	2,150 SF min.		
Building Footprint & Placement		Parking Access	
Lot Coverage	90% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	40' min. (C)	Driveway Width	10' min., 20' max. (G)
Building Width	25' min. (D)	Pedestrian Access	
Intensity		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
No. of Units	n/a	¹ Except in the Maker Village or Flex Commercial Corridor, which permit side yard parking	
	Base		
Density (Individual Lot)	See Regulating District Base		
Building Height (E)	35' max. (2 stories)		

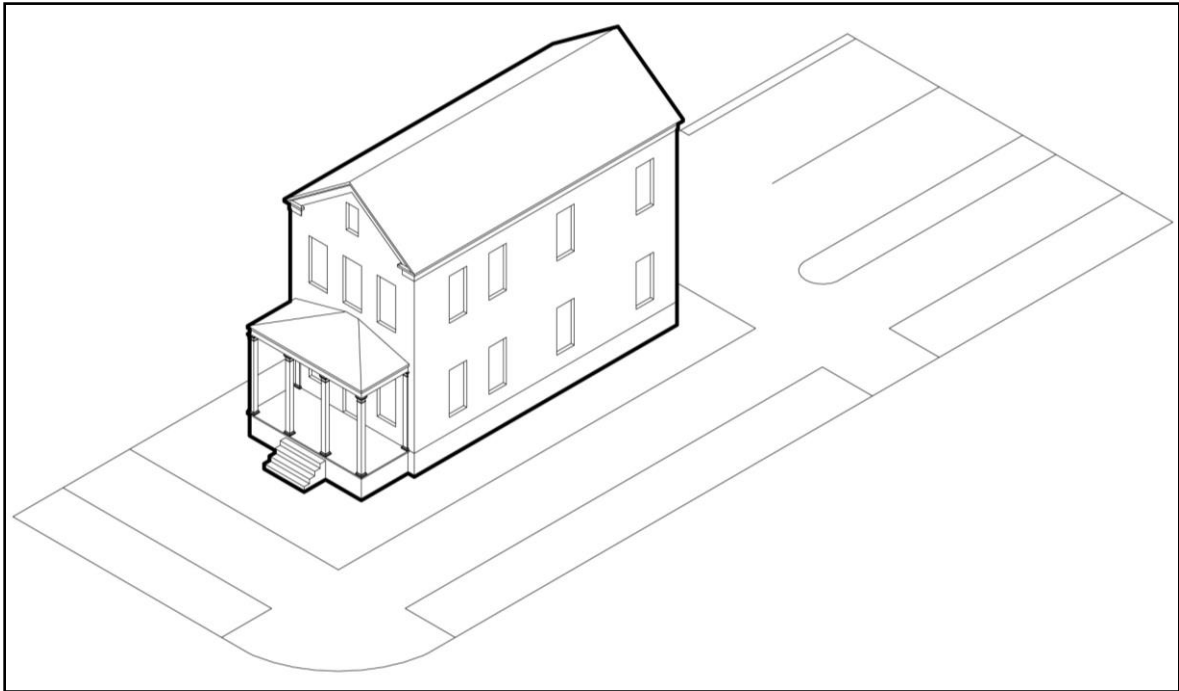
¹ The Main Street Shopfront Type shall also be permitted on any lot platted prior to March 2005



d. Building Composition		
Front Façade Fenestration		
Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Roof Type¹		
Flat, Gable, and Hip Permitted	7.2(a)(4)	
Permitted Building Elements¹		
Dormers	7.2(a)(6)-i	
Bay Windows	7.2(a)(6)-h	
Balconies	7.2(a)(6)-f	
Required & Permitted Frontage Types¹		
The following frontage type is required:		
Storefront	7.2(d)(4)	
Additionally, one of the following types is required in combination with the above:		
Gallery	7.2(d)(2)	
Arcade	7.2(d)(3)	
Awning	7.2(d)(6)	
Entry Canopy: Large	7.2(d)(7)	
Overhead Balcony: Large	7.2(d)(8)	
The following types are also permitted:		
Forecourt	7.2(d)(9)	
Terrace	7.2(d)(10)	
¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)		

e. Site Configuration		
Number of Buildings		
Primary	1	K
Accessory	1	
Additional		
Distance Between Primary and Secondary Building	n/a	

(14) Neighborhood Shopfront



a. Summary

Description

A Neighborhood Shopfront is a detached commercial building that either was or resembles a single-family home. A Neighborhood Shopfront is usually the result of, and key facilitator for, a gentle evolution of a neighborhood from a solely residential environment to a mixed-use environment.

Key Characteristics

Attached or Detached Units

Commercial

1 to 2.5 stories

Orients to Street

Examples & Variations



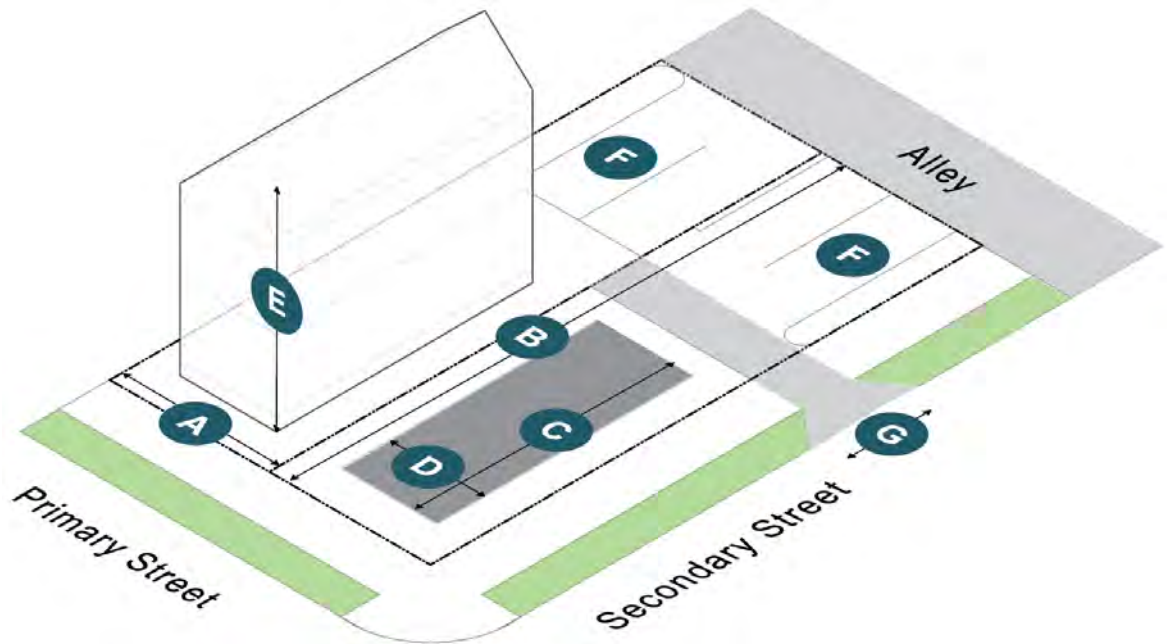
House to Restaurant Conversion in Punta Gorda, FL



Boutique in Neptune Beach, FL



House to Café Conversion in Seattle, WA



b. Lot & Building Standards

Lot Dimensions	
Width	25' min., 84' max. A
Depth ¹	86' min. B
Lot Size ¹	2,150 SF min.
Building Footprint & Placement	
Lot Coverage	80% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	40' min. C
Building Width	15' min. D
Intensity	
No. of Units	n/a. Base
Density (Individual Lot)	See Regulating District Base E
Building Height	35' max. (2.5 stories)

¹ The Neighborhood Shopfront Type shall also be permitted on any lot platted prior to March 2005

c. Parking & Access

Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. F	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min.	H
Upper Story	30% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type²

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
-----------------------------------------	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types²

At least one of the following types is required:

Storefront	7.2(d)(4)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

Additionally, one of the following types is required in combination with the storefront:

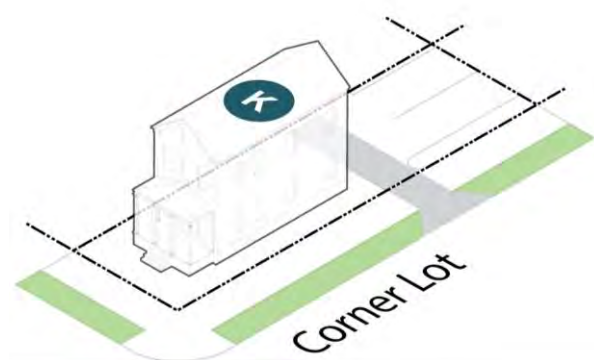
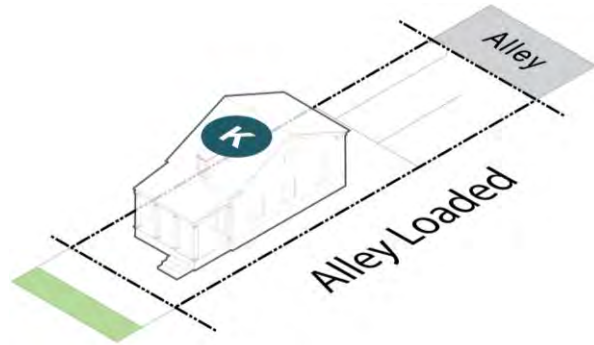
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

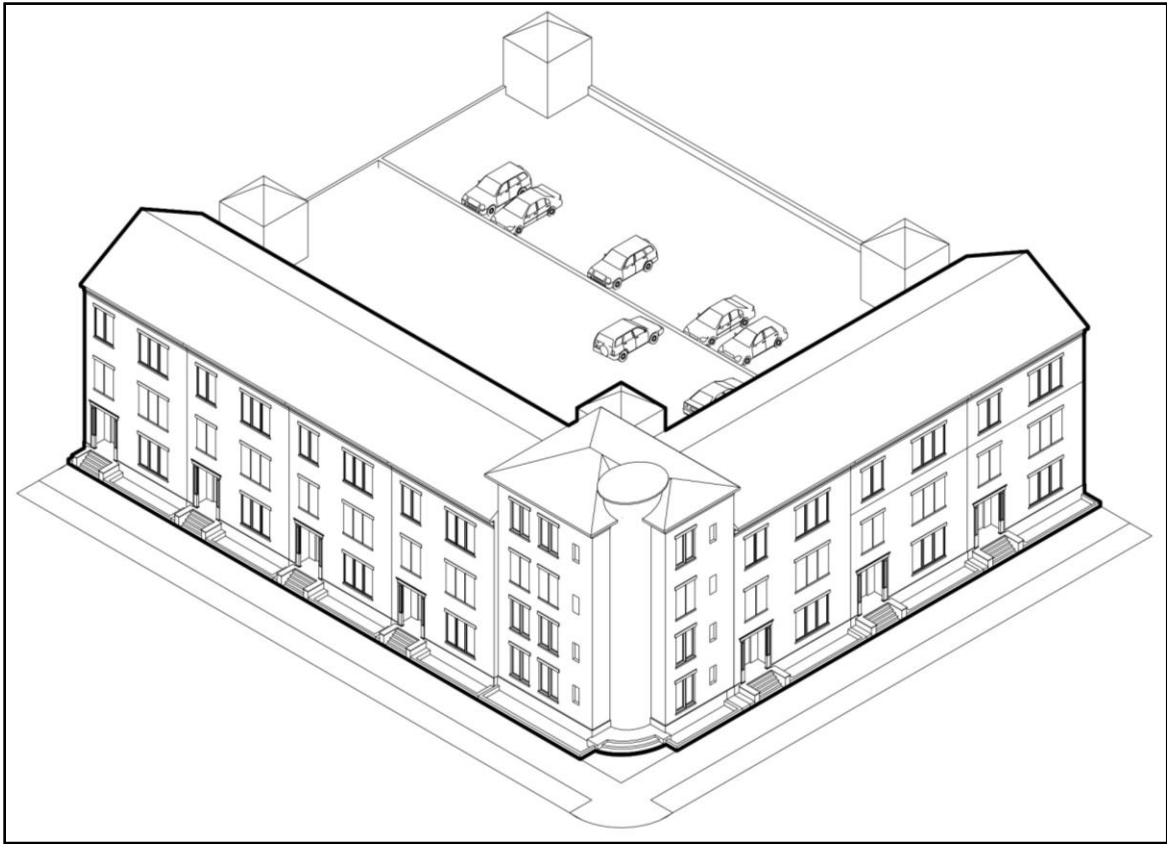
Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(15) Liner

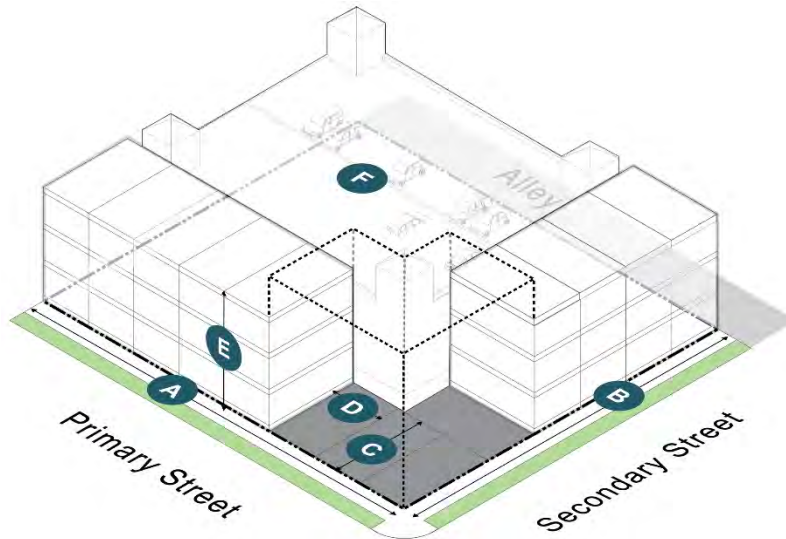


a. Summary

Description	Key Characteristics
<p>A Liner Building is a shallow structure that wraps the perimeter of a block to create a street frontage and conceal surface or structured parking, or a large-scale commercial building. These buildings may contain a variety of uses, including ground floor retail, and/or upper-level offices or residential.</p>	<p>Attached or Detached Units</p> <hr/> <p>Mixed Use</p> <hr/> <p>2-7 stories</p> <hr/> <p>Orients to Street</p>

Examples & Variations

<p>Townhouse Liner concealing structured parking in Alexandria, VA</p>	<p>Mizner Park Rowhouse Liner attached to parking structure in Boca Raton, FL</p>	<p>Office Liner Building attached to a Publix in Baldwin Park, FL</p>



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	n/a A	Parking shall be located behind the building and accessed from alleys or side streets wherever possible. F	
Depth	n/a B		
Lot Size	n/a		
Building Footprint & Placement		Parking Access	
Lot Coverage	100% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	20' min. C	Driveway Width	10' min., 20' max.
Building Width	25' min. D	Pedestrian Access	
A liner building may cap a surface parking lot or structure. Not all liner buildings have to be in the L-shape shown above. Their purpose to offer a better frontage to street or public open space.		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	No minimum		
Density ¹	Base	With Development Mitigation ²	
	See Regulating District		
Building Height	Base	With Development Mitigation ²	
	E See Regulating District	See Regulating District	

¹ See Subsection 3.2(j) regarding maximum height and density based on Development Mitigation. For the purposes of Development Mitigation, Liner Buildings are only permitted as accessory structures to Medium Footprint Mixed Use Building Type.



d. Building Composition

Front Façade Fenestration¹

Ground Floor	30% min., 80% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type²

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
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Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types²

One of the following types is required:

Storefront	7.2(d)(4)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)

One of the following types is also required in combination with the storefront above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Lobby Entrance	7.2(d)(5)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

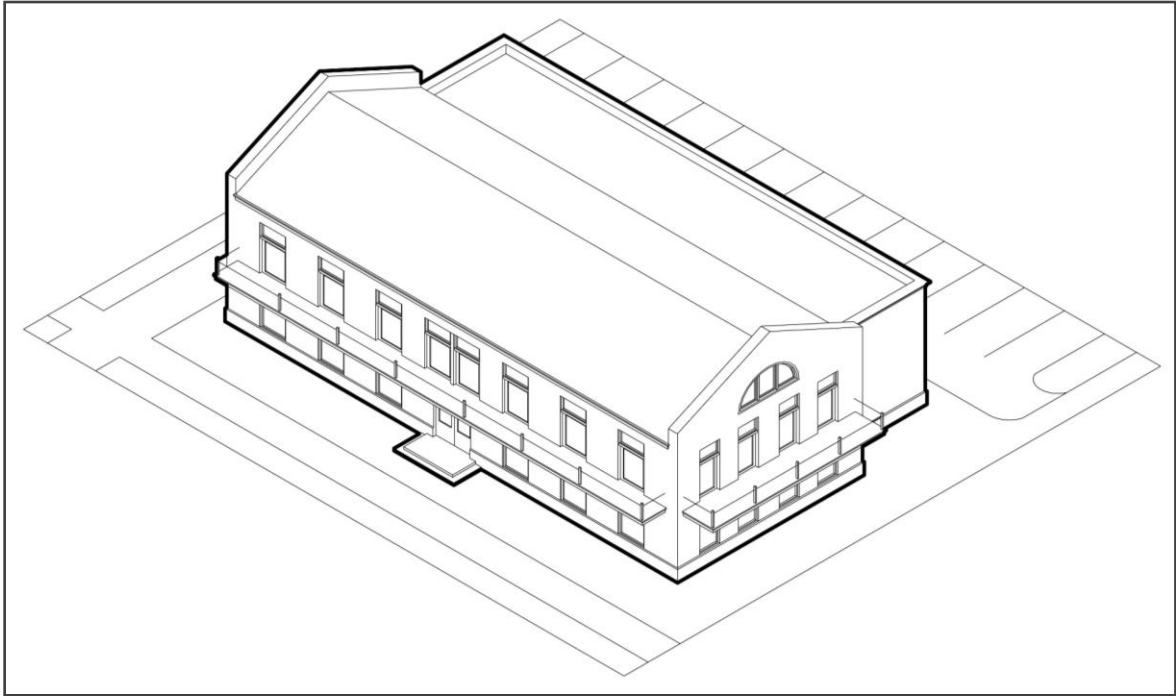
Number of Buildings

Primary	1	J
Accessory	n/a	

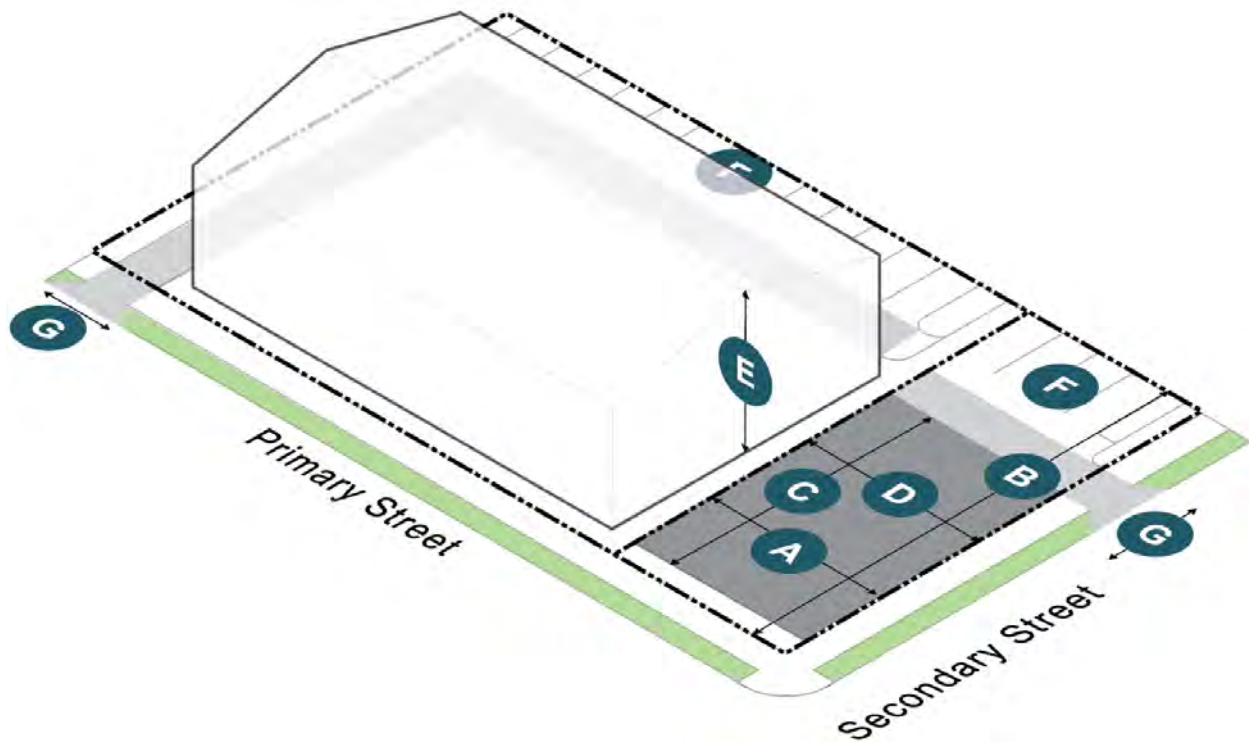
Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

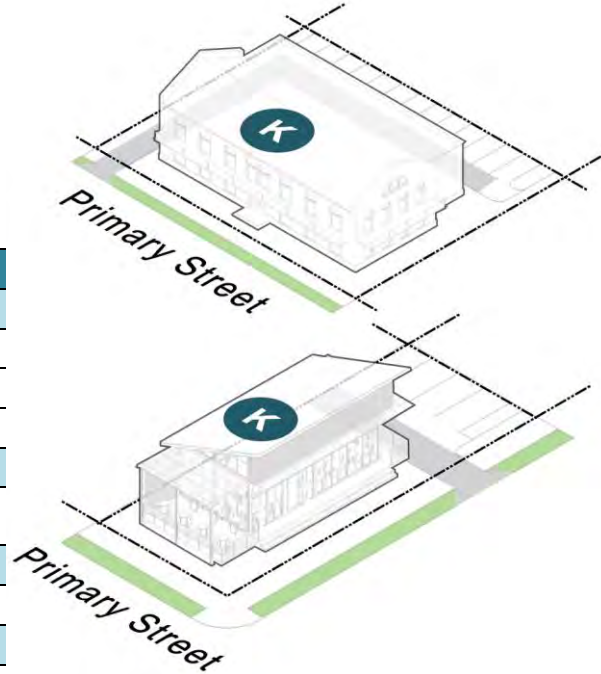
(16) Loft



a. Summary		
Description	Key Characteristics	
<p>The Loft Building Type is a medium- to large-sized structure built on a large lot. This building type is characterized by high ceilings that may accommodate a mix of uses including ground-floor manufacturing, office, or retail uses and upper-floor service or residential uses; or may be a single-use building, typically industrial, manufacturing, office, or residential.</p>	Detached or Attached	
	Mixed Use	
	2 to 3 stories	
	Orients to Street	
Examples & Variations		
Loft Apartments in Montgomery, AL	Ice House Building in Punta Gorda, FL	Earnhardt Building in Fort Myers, FL



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	50' min. (A)	Parking shall be located to the rear or side of the building and accessed from alleys or side streets (F) wherever possible.	
Depth	90' min. (120' preferred) (B)		
Lot Size	6,000 SF min.	Parking Access	
Building Footprint & Placement		Number of Driveways/Curb Cuts	
Lot Coverage	90% max.	Primary Street	1
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Secondary Street	1
Setbacks		Driveway Width	10' min., 20' max. (G)
Building Length	60' min. (C)	Pedestrian Access	
Building Width	30' min. (D)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	No minimum		
Density (Individual Lot)	Base 30 dua		
Building Height (E)	Base 35' max. (3 stories)		



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min., 80% max.	H
Upper Story	40% min., 60% max.	I
Habitable Half Story/Attic	n/a	J

Roof Type²

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
------------------------------------------	-----------

Permitted Building Elements²

Balconies	7.2(a)(6)-f
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Required & Permitted Frontage Types²

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Stoop	7.2(d)(12)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

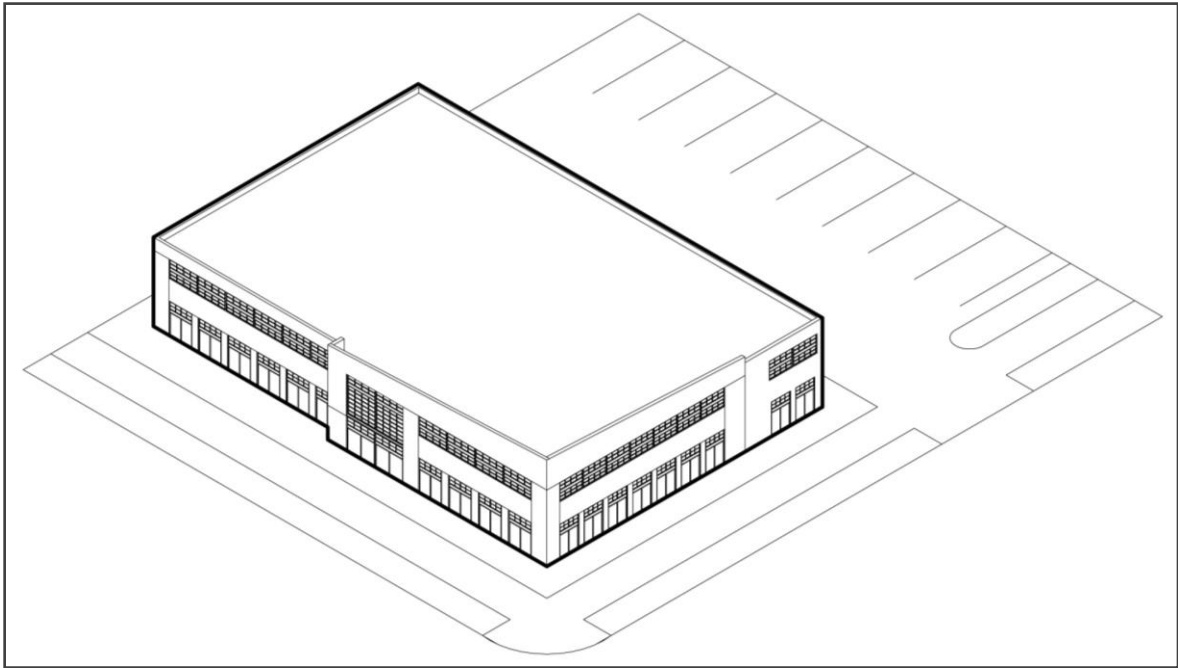
Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
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(17) Warehouse

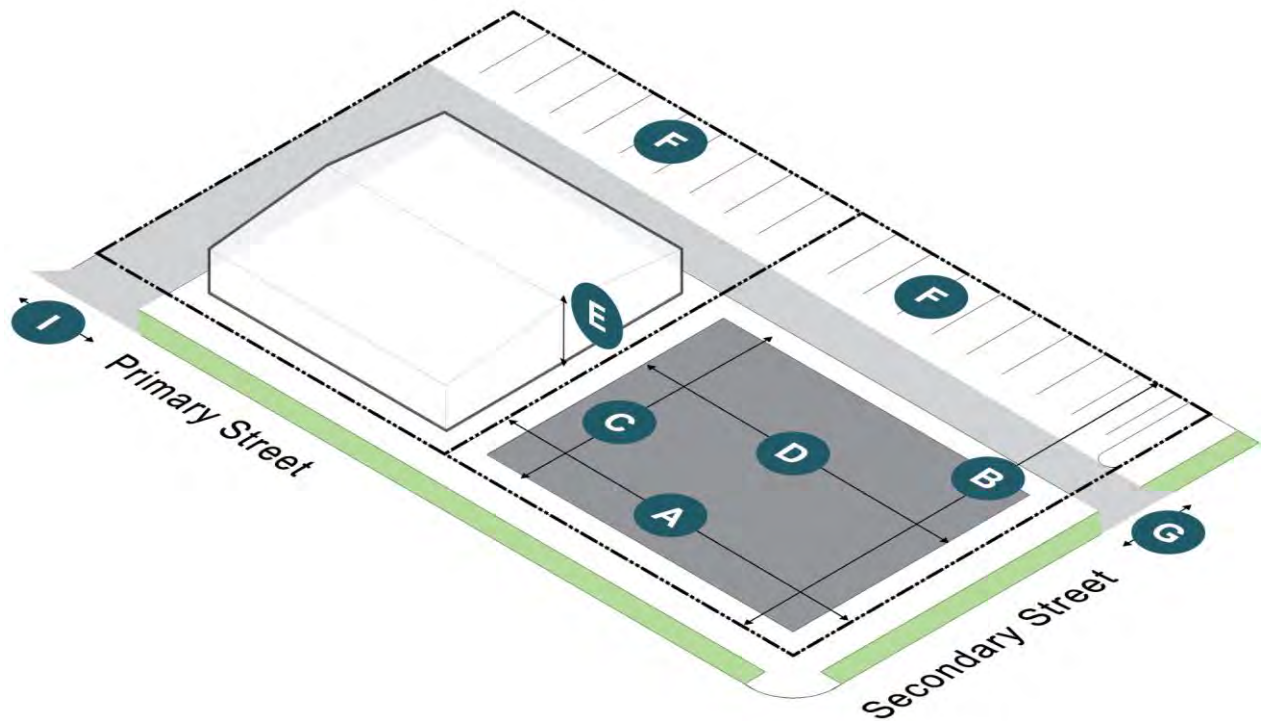


a. Summary

Description	Key Characteristics
<p>A Warehouse is generally a large, one-story, single-use building, often containing modular or pre-manufactured materials, and characterized by high ceilings and multiple bays to accommodate loading and unloading of large trucks. Warehouse buildings often contain specialized uses with needs for storage and distribution of products and inventory, with a small amount of dedicated office space.</p>	<p>Detached</p> <hr/> <p>Light Industrial, Artisan, or Commercial Uses</p> <hr/> <p>1-to-2 stories</p> <hr/> <p>Partially Street-Oriented</p>

Examples & Variations

<p>Aluminum Prefabricated Industrial Building</p>	<p>Barrel Vault Roofed Warehouse</p>	<p>Metal Warehouse</p>



b. Lot & Building Standards

Lot Dimensions

Width	70' min. (100' preferred)	A
Depth	90' min. (120' preferred)	B
Lot Size	9,000 SF min.	

Building Footprint & Placement

Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Section 3.2(c)	
Setbacks		
Building Length	40' min.	C
Building Width	30' min.	D

Intensity

No. of Units	n/a	
Density (Individual Lot)	Base n/a	
Building Height	Base 35' max. (2 stories)	E

c. Parking & Access

Location

Parking shall be located to the rear or side of the building and accessed from alleys or side streets wherever possible. F

Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.



d. Building Composition

Front Façade Fenestration ¹

Ground Floor	40% min., 80% max.	H
Upper Story	20% min., 50% max.	
Blank Wall	25' max.	

Roof Type²

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
------------------------------------------	-----------

Required & Permitted Frontage Types²

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

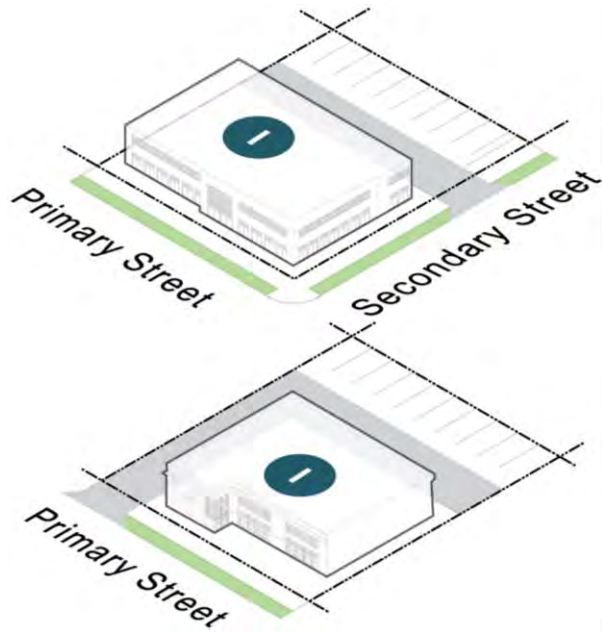
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Porch: Projecting	7.2(d)(13)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

Number of Buildings

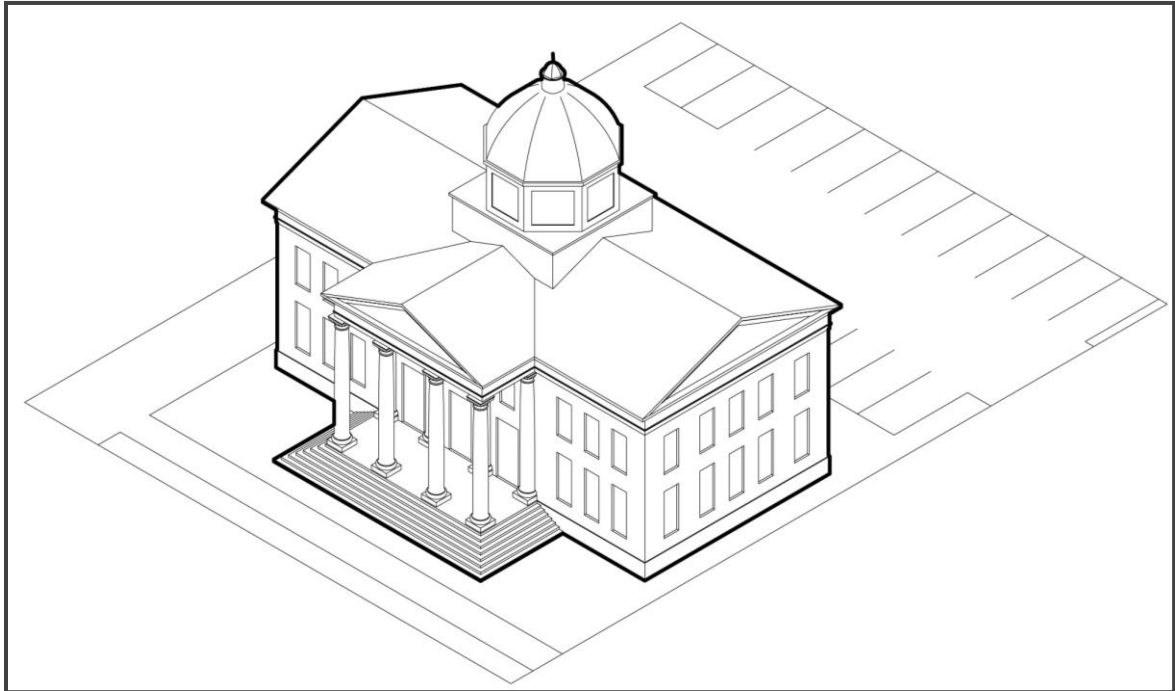
Primary	1	I
Accessory	2	

Additional

Distance Between Primary and Secondary Building 10' min.

¹ Required street setbacks and driveways shall not be included in the open space calculation

(18) Civic/Institutional



a. Summary

Description

A Civic/Institutional Building may be public or private, and contain uses of special public importance, community use, or benefit by governmental, cultural, educational, public welfare, or religious organizations. Civic buildings are monumental in scale and sited prominently within the urban fabric. This building types contains architecturally significant features and exhibits unique design elements or focal points that complement its surroundings.

Key Characteristics

Detached

Non-Residential

2 to 7 stories

Orients to Street

Examples & Variations



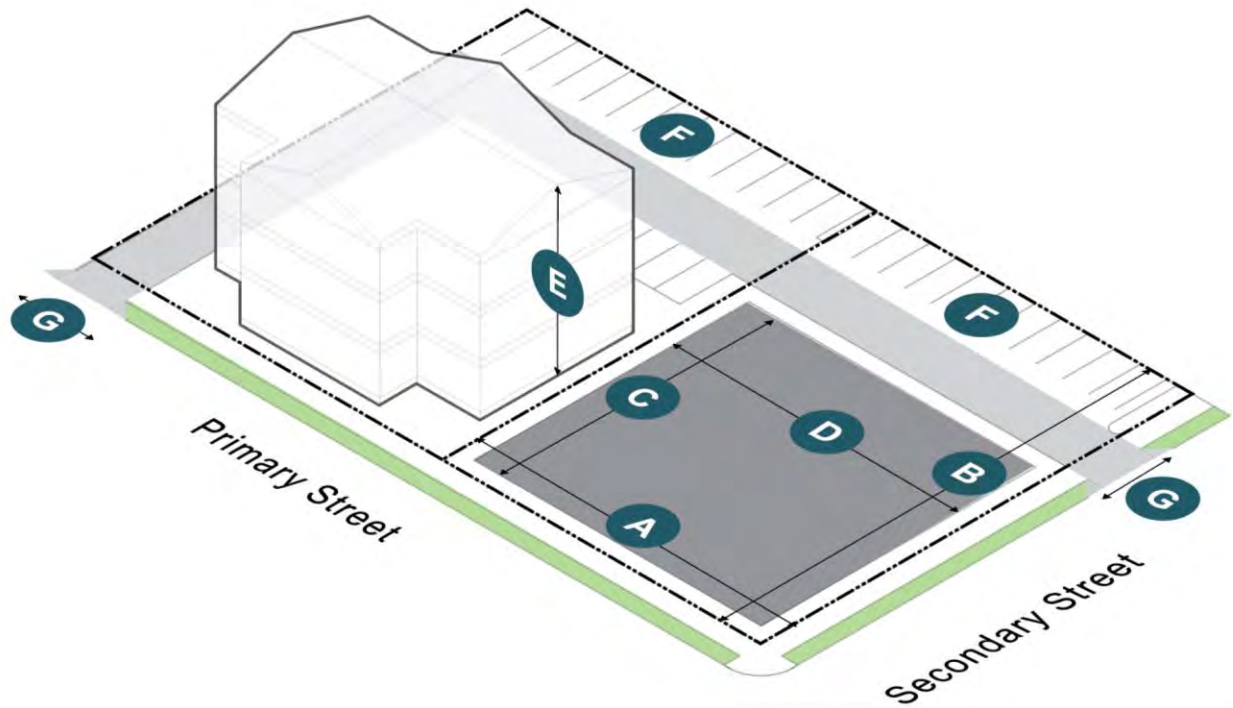
Military Heritage Museum, Punta Gorda, FL



City Hall in Punta Gorda, FL



Charlotte County Justice Center, Punta Gorda, FL



b. Lot & Building Standards

Lot Dimensions

Width	n/a	A
Depth	n/a	B

Building Footprint & Placement

Lot Coverage	Defer to Regulating District	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	n/a	C
Building Width	n/a	D

Intensity

No. of Units	n/a
Density (Individual Lot) ¹	Base n/a
Building Height E	Base 80'

¹ Residential may be permitted along with religious buildings at a maximum density of 10 du/a

¹ See Subsection 3.2(k) regarding maximum height and density based on community benefits

c. Parking & Access

Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.¹ F

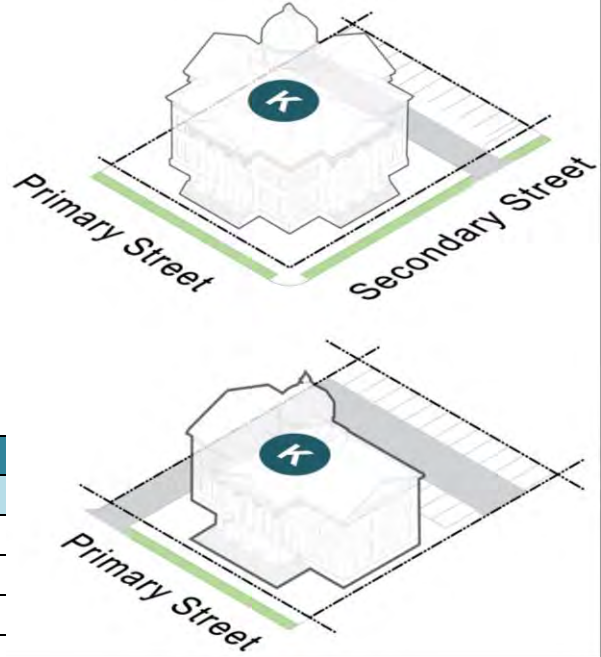
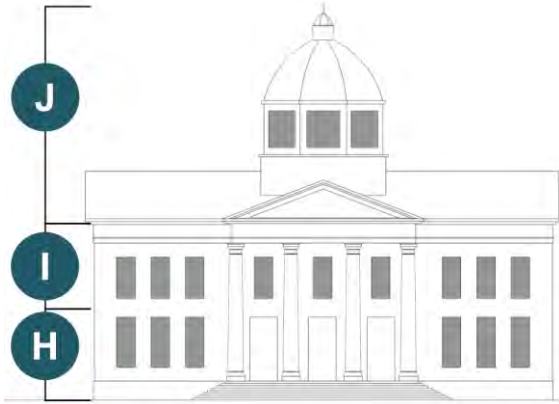
Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



d. Building Composition

Front Façade Fenestration

Ground Floor	40% min., 70% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, Gambrel, and Mansard Permitted	7.2(a)(4)
--------------------------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

The following frontage type is required:

Lobby Entrance	7.2(d)(5)
----------------	-----------

Additionally, one of the following types is required in combination with the above:

Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Storefront	7.2(d)(4)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	2	

Additional

Distance Between Primary and Secondary Building	n/a
-------------------------------------------------	-----

(19) Table 3 below provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

Table 3 - Building Type Standards Summary Table								
	Lot Standards				Density		Height	
	Width	Depth	Size	Coverage	Base	With Development Mitigation ²	Base	With Development Mitigation ²
Accessory Cottage	n/a	n/a	n/a	n/a	n/a	n/a	25' max. (2 stories)	n/a
House	40' min., 150' max.	86' min.	3,500 SF min., ¹ 20,000 SF max.	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Cottage Court	100' min., 160' max.	120' min.	12,000 SF min.	70% max.	25 du/a	n/a	35' max. (2 stories)	n/a
Duplex	40' min., 100' max.	86' min.	3,500 SF min. ¹	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Rowhouse	18' min.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Triplex/Fourplex	50' min., 84' max.	86' min.	4,400 SF min./ 5,800 SF min.	70% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Multiplex	80' min., 130' max.	86' min.	6,880 SF min.	80% max.	30 du/a	n/a	Defer to Regulating District	n/a
Courtyard Apartment	84' min., 150' max.	100' min.	8,400 SF min.	90% max.	30 du/a	n/a	Defer to Regulating District (2 stories min.)	
Live/Work	18' min., 53' max.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (2.5 stories)	n/a
Small Footprint Mixed-Use	40' min.	86' min.	3,500 SF min., 22,000 SF max.	Defer to Regulating District	30 du/a	n/a	Defer to Regulating District (2 stories min.)	
Medium Footprint Mixed-Use	180' min.	120' min.	21,600 SF min.	100% max.	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District (2 stories min.)	
Main Street Shopfront	25' min., 150' max.	86' min.	2,150 SF min. ¹	90% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Neighborhood Shopfront	25' min., 84' max.	86' min.	2,150 SF min. ¹	80% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Liner	n/a	n/a	n/a	100% max.	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District
Loft	50' min.	90' min. (120' preferred)	6,000 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Warehouse	70' min. (100' preferred)	90' min. (120' preferred)	9,000 SF min.	90% max.	n/a	n/a	35' max. (2 stories)	n/a
Civic/Institutional	n/a	n/a	n/a	n/a	n/a	n/a	Defer to Regulating District	

¹ The House, Duplex, Main Street Shopfront, and Neighborhood Shopfront shall also be permitted on any lot platted prior to 2005

² See Subsection 3.2(j) regarding maximum height and density based on Development Mitigation

(e) Allowable Uses.

- (1) Table 4 indicates allowable uses in each of the regulating districts within the TPG zoning district. Overlay districts have no effect on allowable uses.
- (2) The uses listed in Table 4 are grouped into four use groups: Residential Uses, Lodging Uses, Business Uses, and Civic & Education Uses.
- (3) In each of the regulating district columns, symbols are provided to indicate that:
 - a. **P** Use is permitted by right; or
 - b. **C** Use is permitted only if all conditions specified in Article 4 are met; or
 - c. **SE** Use may be approved as a special exception per standards and procedures in Article 16 and may also require specific conditions in Article 4 to be met; or
 - d. **A** Use is permitted as an accessory to a permitted primary use; or
 - e. **-** This use, like other uses not listed in this table, is not permitted.
- (4) All uses of land must conform with all standards in the TPG zoning district, including allowable building types, maximum building height, maximum density, etc., and with all other relevant standards in this code.
- (5) Numerous terms used in this table are defined under “use groups” in Article 19 of this chapter. Other terms apply to other zoning districts as well, and are defined alphabetically in Article 19.

Table 4 – Allowable Uses in TPG Regulating Districts

	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Parks & Open Space
Residential Uses								
Residences	P	P	P	P	P	P	P	-
Assisted living facilities	P	P	P	-	P	SE	P	-
Transitional community residences	P	P	P	P	SE	-	SE	-
Bed and breakfast inns	C	C	-	-	C	C	C	-
Rooming/boarded house	SE	SE	-	-	-	-	-	-
Residential accessory uses	A	A	A	A	A	A	A	-
Lodging Uses								
Hotels, motels, inns	P	P	P	-	SE	-	-	-
Lodging Accessory Uses	A	A	A	-	A	-	-	-
Business Uses								
Stores & services, general	P	P	P	P	SE	-	-	-
Stores & services, large format	SE	SE	P	-	-	-	-	-
Offices, general and medical	P	P	P	P	P	-	-	-
Pharmacy	P	P	P	-	-	-	-	-
Restaurants	P	P	P	P	SE	-	-	-
Sidewalk cafe	C	C	SE / C	C	SE / C	-	-	-
Bars and nightclubs	C	C	SE / C	C	SE / C	-	-	-
Adult establishments	-	-	SE / C	-	-	-	-	-
Drive-through facilities	-	SE	P	-	-	-	-	-
Convenience stores with fuel	-	-	P	-	SE	-	-	-
Amusement facilities (indoor)	P	P	P	P	SE	-	-	-
Kennels, indoor/outdoor	-	-	-	SE / C	-	-	-	-
Mini-storage facilities	-	-	C	C	-	-	-	-
Parking (as principal use)	C	C	P	P	-	-	-	-
Nursing homes	-	P	P	-	SE	-	-	-
Health care facilities	SE	P	-	-	SE	-	-	-
Marinas and yacht clubs	P	P	-	-	-	-	-	-
Vehicle and boat sales & service	SE	SE	P	P	-	-	-	-
Warehousing or distribution	-	-	SE	P	-	-	-	-
Light industrial use	-	-	SE	P	-	-	-	-
Business accessory uses	P	P	P	P	P	P	P	-
Civic & Education Uses								
Parks	P	P	P	P	P	SE	SE	P
Places of worship	C	C	C	C	C	SE / C	SE / C	-
Schools	P	P	SE	SE	P	SE	SE	-
Day care centers	C	C	C	C	C	SE	SE	-
Conference centers	P	P	-	-	-	-	-	-
Essential services, Classes 1 & 2	C	C	C	C	C	C	C	-
Essential services, Class 3	-	-	-	-	-	-	-	-

(f) Fences, Privacy Walls, and Hedges. Section 8.5 of this code address fences, privacy walls, and hedges. Those regulations apply in the TPG zoning district, with the following clarifications:

- (1) Regulations for “residential districts” shall apply to these TPG regulating districts:
 - a. Neighborhood Transition
 - b. Traditional Residential
 - c. Residential Edge
- (2) Regulations for “non-residential districts” shall apply to these TPG regulating districts:
 - a. Downtown Core
 - b. Village Center
 - c. Flex Commercial Corridor
 - d. Maker Village

(g) Parking and Loading Standards.

- (1) Requirements for on-site parking spaces are provided in Article 10, as modified for the TPG zoning district by Section 10.6. Where on-site parking is required, it must be located in accordance with the parking location and setback criteria for that district and constructed in accordance with all the relevant standards in Article 10.
- (2) If an on-site loading area is provided, it must meet the location and setback criteria for an on-site parking area.
- (3) Requirements for on-site bicycle parking are provided in Article 10.

(h) Landscaping Standards. Article 12 of this code provides landscaping standards. Certain city-wide landscaping standards are modified for the TPG zoning district, as specified in Article 12.

(i) Review Process.

- (1) A Development Plan (in accordance with Article 16) must be obtained prior to the issuance of a building permit for the following building types:

Cottage Court	Medium Footprint Mixed-Use	Warehouse
Courtyard Apartment	Liner	Civic/ Institutional

- (2) A Development Plan is not required before constructing the following building types in existing subdivisions (Southwest Florida Water Management District permit or exemption may be required for certain Building Types and lot sizes):

Accessory Cottage	Triplex/ Fourplex	Small Footprint Mixed-Use
House	Multiplex	Neighborhood Shopfront
Duplex	Loft	Main Street Shopfront
Rowhouse	Live/Work	[intentionally left blank]

- a. Applications to construct a building type that does not require a Development Plan will be reviewed by Zoning through the normal building permit process. Before further processing of such applications, the Urban Design Director or designee shall issue a written finding after determining that the relevant standards of the TPG zoning district and other provisions of this code have been met. Before making this determination, the Urban Design Director may seek the advice of other relevant City Departments.
 - b. These applications are subject to most of the same requirements in this code as applications requiring a Development Plan, such as floodplain management (Chapter 7), certificates of appropriateness (Section 16.3), and concurrency (Section 16.4). These applications may require prior approval from the Southwest Florida Water Management District or other agencies.
- (3) A request for a minor variation of one or more TPG standards may be included in the application for a Development Plan or in the application for a building type not requiring a Development Plan.
- a. Minor deviations not exceeding 10% of numerical standards may be approved by the Zoning Official or designee only in response to unusual conditions or to accept an alternative approach that achieves comparable results as the standard in the code.
 - b. Deviations affecting density and building height may not exceed the maximum density or height allowed by Section 3.2.
 - c. The Zoning Official must document acceptable minor deviations in a written finding.
- (4) Appeals of administrative decisions made by City staff related to the provisions of the Traditional Punta Gorda Zoning District must be made in accordance with the process documented in Section 16.2.
- (5) If an application varies from specific requirements of the TPG zoning district beyond the authority of the Zoning Official to approve as a minor variation, an application may be submitted for the City Council to consider one or more specific code modifications for the site in accordance with the process documented in Section 16.7 Application for Ordinance Text Amendments or Section 16.11 Zoning Map Amendments. Properties within the Traditional Punta Gorda Zoning District are specifically excluded from the provisions of

Article 5 Planned Development and Section 16.6 Application for Planned Development.

(j) Development Mitigation Requirements.

(1) Intent. To ensure that development within the Traditional Punta Gorda zoning district is in accordance with community expectations and the principles developed in the Citywide Master Plan (2019) with respect to exemplary urban design, economically productive, and community benefiting land uses, this section outlines the required developer mitigation and procedures for granting additional building height and residential density.

(2) Eligibility.

a. Properties within the Traditional Punta Gorda (TPG) zoning district that fall within the regulating districts:

- | | |
|-----------------------------|---------------------|
| 1. Downtown Core | [Section 3.2(c)(2)] |
| 2. Village Center | [Section 3.2(c)(3)] |
| 3. Flex Commercial Corridor | [Section 3.2(c)(4)] |
| 4. Maker Village | [Section 3.2(c)(5)] |

may achieve additional residential density and building height for certain building types by meeting the proscribed developer mitigation requirements. Those building types include the Medium Footprint Mixed Use Building and the Liner Building as an accessory to Medium Footprint Mixed-Use (MFMU) buildings.

b. Beyond the limitations within the regulating districts listed above there are two overlay districts that are eligible for additional height and density with additional requirements:

- | | |
|--------------------------------|-----------------------|
| 5. Medical Overlay District | [Section 3.2(c) (11)] |
| 6. Waterfront Overlay District | [Section 3.2(c) (12)] |

The Medical Overlay District is within the Village Center Regulating District. The Waterfront Overlay District covers portions of the Downtown Core and Village Center regulating districts.

c. Properties within the Main Street Historic District, a sub-district of the Historic Districts Overlay [Section 3.2(c) (10)] are ineligible for Development Mitigation provisions of this section. The Main Street Historic District Overlay is within the Downtown Core Regulating District.

(3) Allowances for Additional Building Height and Density. Qualifying development which meets the requirements may achieve additional building height and residential density. These requirements, with their available additional development allowances, can be found in the corresponding Regulating Districts in Section 3.2(c) TPG Regulating Districts.

(4). Development Mitigation Categories

1. Additional public parking spaces. The public parking provisions require the submission of an agreement to the Zoning Official or designee which must be approved by City Council or designee. Public Parking agreement must be considered for the following criteria:
 - a. Spaces must meet or exceed the number of spaces required by the calculations delineated in Section 3.2 (c) for the specific development.
 - b. Spaces must be made available to the general public for a minimum of 10 hours per day.
 - c. Spaces must not be assigned to other uses or users during the hours of availability to the general public.
 - d. Spaces may be provided on-site by the developer, off-site, or through fee in lieu.
 - e. Agreements which included the provision of off-site public parking must include copies of the proposed agreement between the developer and the 3rd party provider of the proposed public parking spaces.
 - f. Agreements which rely on fee-in-lieu will establish a per public parking space fee to be set by the City Council.
2. Public Day Dock. The Day Dock provisions require the submission of an agreement to the Zoning Official or their designee which must be approved by City Council or designee. Day Dock agreement must be considered for the following criteria:
 - a. Day Dock space must meet or exceed the number of slips required by the calculations delineated in Section 3.2 (c) for the specific development. If linear dock space rather than slips are being provided, a minimum of 35 linear feet to linear dock space shall counted as the equivalent of one (1) slip.
 - b. Day Dock spaces may not be allocated or rented for a period exceeding 24 hours.
 - c. Day Dock spaces may not be assigned to other uses or users.
 - d. Day Dock spaces must be provided within a properly permitted marina facility including meeting or exceeding any and all permit or submerged land lease requirements.
3. Additional building setbacks from the street. Depending on the increased height of the proposed building, there is an additional setback to be added in addition to the underlying setback minimum as delineated within each applicable regulating district in Section 3.2(c) with approval by the Zoning Official or designee.

4. Additional public open space. Depending on the increased height of the proposed building, there is an additional open space area requirement to be added in addition to the underlying open space minimum as delineated within each applicable regulating district in Section 3.2(c) with approval by the Zoning Official or designee.

(k) Neighborhood Flooding.

The Floodplain Management Code of the City of Punta Gorda [Chapter 7, Article V] includes construction and site design requirements for new buildings, facilities, and other site improvements to minimize future flood damage to a proposed building and its site. The following provisions are intended to assist in minimizing flood risk to surrounding buildings and sites from new construction within the historically platted areas that are encompassed by the TPG zoning district.

- (1) In the Traditional Residential, Residential Edge, and Neighborhood Transition regulating districts, a fill permit must be obtained from the city when fill material is to be placed on lots that would raise the elevation more than an average of 6 inches above adjoining lots.
 - a. The fill permit application must show how normal rainfall will infiltrate into the ground within the lot using one or more of the following methods or equivalent solution:
 - b. Gutters and downspouts that collect rainwater must discharge into:
 1. Exfiltration trenches (aka French drains)
 2. Other subsurface drainfield(s)
 3. Sodded lawns
 4. Clean (washed) gravel or sand over a well-drained base
 5. Porous (pervious) paving
 - c. Roof areas not served by gutters and downspouts must not drain to impervious surfaces and must not drain to pervious surfaces that are sloped in excess of 5%. Surfaces not meeting these requirements must be designed to detain or deflect rainfall, for instance through the use of earthen ridges, curbs, or retaining walls that prevent average rainfall from running onto adjoining lots or streets.
- (2) In the Downtown Core, Village Center, and Maker Village Regulating Districts, development and redevelopment on parcels 1 acre or smaller may use either of the following methods instead of providing conventional detention/retention basins:
 - a. Rainfall is collected from roofs of buildings and directed to depressed and permeable landscaped areas or to underground infiltration chambers instead of to hard and impermeable surfaces; or
 - b. At least 50% of hard surfaces on the site (excluding buildings) are

surfaced with one of the following permeable surfaces placed over a well-drained base:

1. Porous (pervious) asphalt or concrete.
2. Paving brick or blocks laid with sufficient space between each unit to allow for infiltration of stormwater.
3. Clean (washed) angular gravel (such as FDOT #57 stone). When used for parking spaces or aisles, gravel surfaces shall be stabilized.
4. Proprietary cellular or modular porous paving systems installed in accordance with manufacturers' specifications.

- (l) Nonconformities. Article 17 of this code address nonconformities; those regulations apply in the TPG zoning district.

Section 3.3. EP, Environmental Preserve District

This district is composed of environmentally sensitive areas. It is intended to preserve and protect open spaces, park lands, wilderness areas, marshlands, watersheds and water recharge areas, scenic areas, beaches, and native flora and fauna.

(a). Permitted Principal Uses and Structures

- (1). Public and private game preserves and wildlife management areas, fish hatcheries, refuges, parks and open spaces
- (2). Nature conservation areas, water reservoirs and control structures, drainage, and water wells
- (3). Noncommercial piers, docks, wharves
- (4). Single-family homes, excluding mobile homes
- (5). Any governmental use

(b). Permitted Accessory Uses and Structures. Uses and structures which are customarily incidental and subordinate to permitted uses.

(c). Uses Permitted with Conditions

- (1). Accessory dwelling unit
- (2). Cemetery
- (3). Essential services 1 and 2
- (4). Civic uses
- (5). Recreational facilities
- (6). Home-based business
- (7). Permanent canopy shade structure associated with recreational facilities or school playgrounds

(d). Prohibited Uses and Structures. Any use or structure not specifically, provisionally or by reasonable implication permitted herein.

- (e). General Requirements.
 - (1). Buildings are exempt from the requirements of Article 7.
 - (2). Owners of property zoned EP may apply for approval of transfer of development rights.
 - (3). With the exception of single family residences, all permitted uses require development plan approval.

- (f). Special Exceptions. The following uses are also subject to applicable provisions of Article 4 of this Chapter.
 - (1). Campgrounds, recreation areas and hunting or fishing camps
 - (2). Sports marinas and commercial fisheries
 - (3). Plant nurseries
 - (4). Riding academies and/or commercial stables
 - (5). Schools
 - (6). Churches, provided parcel area shall not be less than 2 acres [no temporary revival establishments]
 - (7). And any such other uses as deemed appropriate in the district by the Zoning Official.

- (g). Development Standards.
 - (1). Maximum residential density, 1 unit per 10 acres. Where a lot or parcel is coded in part EP and the balance as any residential district, no permanent structure shall be located on that part coded EP; provided, however, that in determining the total number of residential units permitted on the residentially coded portions of the lot or parcel, the area of the entire tract, including the EP, may be utilized in computing the density permitted in the residential area. However, in no event shall the maximum density of the entire parcel exceed twice the maximum density permitted for the area zoned for residential use.
 - (2). Minimum lot area, 10 acres and a lot width of 250 feet.
 - (3). Minimum front, side, and rear yard, 50 feet.
 - (4). Maximum coverage by all buildings, 10 percent.
 - (5). Maximum height, 35 feet above base flood elevation [BFE].

Section 3.3. RESERVED

Section 3.4. GS, General Single - Family Residential District

The General Single-Family Residential District is coded to permit the completion and/or annexation of conventional single-family residential subdivisions existing or approved by the Punta Gorda City Council prior to the effective date of these regulations. The General Single-Family Residential District is established solely to accommodate completion of previously approved development of lands within the district. The district

is not intended to be available for future re-zonings, nor as a means of expanding the boundaries of existing GS Districts.

(a). Permitted Principal Uses and Structures

- (1). Single-family homes, excluding mobile home
- (2). Non-commercial docks and boat lifts. No utilities shall be supplied to said docks and lifts until completion of a single family dwelling upon the adjacent upland property. Use of a generator to operate a lift shall be limited to the hours of 6:00 a.m. until 8:00 p.m. Owners or occupants of the adjacent upland property may not rent docks to be used by third parties

(b). Permitted Accessory Uses and Structures

- (1). Non-commercial hobbies and crafts
- (2). Other uses and structures which are customarily incidental and subordinate to permitted uses

(c). Uses Permitted with Conditions

- (1). Essential services 1 and 2
- (2). Home-based business
- (3). Group home
- (4). Permanent canopy shade structures associated with recreational facilities or school playgrounds

(d). Prohibited Uses and Structures. Any use or structure not specifically, provisionally or by reasonable implication permitted herein.

(e). General Requirements

- (1). Buildings are exempt from the architectural requirements of Article 7.
- (2). Development in the GS District which is approved but not yet built is permitted minor modifications through the administrative process. Such development, if redesigned, must conform to all of the requirements of the GS District.
- (3). With the exception of single family and two family residences, all permitted uses require development plan approval.

(f). Special Exceptions. The following uses are also subject to applicable provisions of Article 4 of this Chapter.

- (1). Yacht clubs, golf courses, including executive or par-3 golf courses and country clubs, not including miniature golf courses or practice driving ranges not associated with golf courses, provided that any required parking area or building is located at least 100 feet from any other residentially zoned property line.
- (2). Schools, kindergarten through high school with educational curriculums.
- (3). Childcare or day care facility.

- (4). Civic uses.
- (5). Neighborhood and outdoor recreation not associated with an approved subdivision development plan.
- (6). Recreational facilities not associated with an approved subdivision development plan.
- (7). Churches, provided lot is a minimum of 2 acres [no temporary revival establishments].
- (8). A third driveway for a single-family property if a proposed home is located on a minimum of 150 feet of street frontage on a single street.
- (9). And any such other uses as deemed appropriate in the district by the Zoning Official.

(g). Development Standards

- (1). Minimum lot area:
 - a. 9,600 square feet for GS - 3.5
 - b. 7,200 square feet for GS - 5
- (2). Minimum front yard: 25 feet
- (3). Minimum side yard:
 - a. Abutting another lot or greenbelt: 7.5 feet
 - b. Abutting a street or waterway: 25 feet
- (4). Minimum rear yard:
 - a. Abutting another lot or greenbelt: 15 feet
 - b. Abutting a waterway, street, or a golf course: 25 feet
- (5). Minimum lot width, 80 feet
- (6). Maximum percentage of lot coverage; 55 percent
- (7). Maximum height; 35 feet above BFE
- (8). Maximum residential density [dwelling units/acre expressed as du/a]
 - a. GS - 3.5: 3.5 du/a
 - b. GS - 5: 5 du/a

Section 3.5. GM, General Multi-Family Residential District

The General Multi-Family Residential District is coded to permit the completion and/or annexation of conventional multi-family residential development within the district. The district is intended to be medium to high-density residential, with emphasis on multi-family use. The district is not intended to be available for future code amendments, nor as a means of expanding the boundaries of existing GM Districts.

- (a). Permitted Principal Uses and Structures.
 - (1). Single-family dwellings, excluding mobile homes [shall maintain all setback requirements of GM District].
 - (2). Two-family dwellings/duplexes.
 - (3). Multi-family dwellings, for developments greater than 4 dwellings or 0.26 acres require DRC approval, Southwest Florida Water Management District Permit Required for any multi-family development

- (b). Permitted Accessory Uses and Structures.
 - (1). Private greenhouses and growing of plants and the horticultural specialties for on-premises use only.
 - (2). Non-commercial hobbies and crafts.
 - (3). Non-commercial boat docks and lifts. No utilities shall be supplied to said docks and lifts until completion of a single family or multi-family dwelling upon the adjacent upland property. Use of a generator to operate a lift shall be limited to the hours of 6:00 a.m. until 8:00 p.m. Owners or occupants of the adjacent upland property may not rent docks to be used by third parties.
 - (4). Other uses and structures which are customarily incidental and subordinate to permitted uses.

- (c). Uses Permitted with Conditions
 - (1). Essential services 1 and 2
 - (2). Home-based business
 - (3). Group home
 - (5). Permanent canopy shade structures associated with recreational facilities or school playgrounds

- (d). Prohibited Uses and Structures. Any use or structure not specifically, provisionally or by reasonable implication permitted herein.

- (e). General Requirements
 - (1). Buildings are exempt from the architectural requirements of Article 7
 - (2). Development in the GM District but not yet built is permitted minor modifications through the administrative process. Such development, if redesigned, must conform to all of the requirements of this Article for the GM District
 - (3). With the exception of single family and two family residences, all permitted uses require development plan approval

- (f). Special Exceptions. The following uses are also subject to applicable provisions of Article 4 of this Chapter.
 - (1). Yacht clubs, golf courses, including executive or par-3 golf courses and country clubs, not including miniature golf courses or practice driving ranges not associated with golf courses,

provided that any required parking area or building is located at least one hundred feet from any other residentially zoned property.

- (2). Schools, kindergarten through high school with educational curriculums.
- (3). Childcare or day care facilities.
- (4). Nursing homes provided no structure shall be closer than 50 feet to any boundary line of the property and no off-street parking shall be located closer than 25 feet to any boundary line of the property.
- (5). Rooming or boarding houses, subject to all the requirements as outlined in Article 8 of this Chapter.
- (6). Buildings exceeding 200 feet in length or width.
- (7). Civic buildings.
- (8). Parks and playgrounds
- (9). Neighborhood and outdoor recreation not associated with an approved development.
- (10). Recreational facilities not associated with an approved development.
- (11). Churches, provided parcel area shall not be less than 2 acres [no temporary revival establishments].
- (12). And any such other uses as deemed appropriate in the district by the Zoning Official.

(g). Development Standards.

- (1). Minimum lot size: 8,000 square feet.
- (2). Minimum lot width: 80 feet.
- (3). Minimum front yard: 25 feet.
- (4). Minimum rear yard:
 - a. abutting another yard, 25 feet;
 - b. abutting a waterway, a street, or a golf course: 25 feet
- (5). Minimum side yard abutting another lot and between buildings, one-half building height but not less than 10 feet
- (6). Maximum height:
 - a. 40 feet above BFE to the top of the tie beam for flat, gable, hip, mansard, and gambrel roofs.
 - b. 3 habitable floors below the tie beam.
 - c. Pitched type roofs are limited to a maximum 6:12 pitch with a maximum height of 10 feet measured from the top of the tie beam to the highest point of the roof line.
- (7). Maximum lot coverage; 55 percent.
- (8). Maximum density [dwelling units/acre expressed as du/a]:
 - a. GM - 5: 5 du/a
 - b. GM - 10: 10 du/a

c. GM - 15: 15 du/a

- (9). No multiple-family residential structure may exceed 200 feet in length or width; except as approved by special exception.

Section 3.6. MH, Mobile Home District

The Mobile Home District is established to provide for the development of neighborhoods which utilize mobile housing as its principal building type. Mobile housing may only occur in a MH District. The intent is to treat mobile housing with the same considerations applied to homes built to standards set forth in the building code and those codified in this Ordinance. Additionally, regulations for recreational vehicle parks are included herein to ensure compatibility with adjacent properties and compliance with state regulations.

(a). Permitted Principal Uses and Structures.

- (1). Manufactured homes.
- (2). Modular homes.
- (3). Mobile homes.
- (4). Essential service 1 and 2.
- (5). Park office and maintenance facilities.

(b). Permitted Accessory Uses and Structures.

- (1). Parking.
- (2). Swimming pools, parks and playgrounds, community rooms.
- (3). Workshop.
- (4). Enclosed storage structures and storage garage facilities, with use limited to park residents. Any enclosed storage areas shall not exceed five (5) percent of the total park area.
- (5). Marinas accessory to the residential uses.
- (6). Sale of groceries and sundries and coin operated laundry facilities restricted in their use to the occupants of the district. Such establishments shall not occupy more than 2 percent of the area of the neighborhood and present no visible evidence from any street outside the neighborhood of its commercial character.
- (7). Additions of mobile home type construction including cabanas, carports, and storage units. The length and height of such additions shall not exceed the length and height of the home to which it is attached.

(c). Uses Permitted with Conditions

- (1). Home-based business
- (2). Group home
- (3). Permanent canopy shade structures associated with recreational facilities or school playgrounds

(d). General Requirements

- (1). Buildings shall comply with the manufactured housing principles of Article 7.
 - (2). For proposed neighborhoods, an application to classify property to the MH District shall require a site plan that shows the location and hierarchy of streets and public spaces, location of residential, non-residential, and civic building lots, street sections and/or plans, phasing, and any other information which may be required to evaluate the subdivision's adherence to the standards of this Ordinance and the subdivision Ordinance.
 - (3). All permitted uses require development plan approval.
 - (4). Streets shall be designed to the standards of Article 9.
- (f). Special Exceptions. The following uses are also subject to applicable provisions of Article 4 of this Chapter.
- (1). Reserved.
- (g). Development Standards – New Development.
- (1). Minimum lot area; 8,000 square feet.
 - (2). Minimum front yard, 20 feet; side and rear yard, 5 feet; abutting a street, 20 feet.
 - (3). Minimum lot width at building line; 40 feet.
 - (4). Minimum lot width at R-O-W, 40 feet.
 - (5). Maximum height, 26 feet above BFE.
 - (6). Minimum development size; 3 acres for new developments.
 - (7). Maximum development size; 25 acres for new developments.
 - (8). Maximum density, 6 units per acre.
- (h). Recreational Vehicle/Campsite Park Development Standards. In addition to the general development standards required under this Section 3.6, the following development standards are required for a recreational vehicle/campsite park:
- (1) Intent. This District is intended to provide for areas which have been developed for the parking of recreational vehicles, travel trailers, motor homes, camping tents and park trailers, as defined in Section 320.01, Florida Statutes, occupied as temporary living quarters in an environment of outdoor recreation and limited residential character. It is intended to provide for an atmosphere which provides for recreational amenities, on-site conveniences and limited residential occupation. It is the further intent of these regulations that the individual lots not be subdivided for individual ownership, but be retained in a form of common ownership.
 - (2) Permitted and principal uses and structures.
 - a. Recreational vehicles.
 - b. Travel trailers.
 - c. Motor homes.
 - d. Camping tents.
 - e. Park trailers.

- f. Park recreational facilities including community rooms, courts for games, docks, piers, swimming pools, bath houses, boat launching areas, etc.
 - g. Management offices and maintenance facilities.
 - h. Manager's residence (a single mobile home may be allowed for a manager's residence only).
 - i. Essential Services 1 and 2.
- (3) Permitted accessory uses and structures. Accessory uses and structures are permitted if they are customarily accessory to permitted uses and structures; are located on the same parcel as the recreational vehicle park; are not likely to attract visitors in large numbers; and involve operations of a recreational vehicle park including the following:
- a. Laundry facilities, sale of groceries and sundries, sale of LP (liquefied petroleum) gas, all of which are subject to the following:
 - 1. Such establishments and their associated parking areas related primarily to their operations shall not occupy more than two (2) percent of the area of the park;
 - 2. Such establishment shall be used primarily by occupants of the park;
 - 3. The commercial nature of such establishment shall not be visible from any street outside the park so as to attract customers other than the occupants of the park;
 - 4. Such establishment shall not be located closer than one hundred (100) feet from any public street and shall be accessible only from a street within the park.
 - b. Enclosed storage structures and garage facilities located on a designated common area with the use to be limited to the park management and the residents, limited to no more than 5% of the total area of the park.
 - c. Detached and freestanding screen rooms and/or cabanas, provided that such structures are totally independent from the recreational vehicle and shall be constructed and located in such a manner as not to impede the immediate removal of any recreational vehicle from its designated site. For purposes of this section, temporary flashing materials installed between the RV unit and free standing screen rooms shall not constitute an attachment. In addition, screening materials within RV Parks may include a traditional skeletal structure of aluminum or any engineered approved lightweight material designed to fasten screen, plastic, vinyl or acrylic.

- d. Storage structures not exceeding 50 square feet may be allowed, provided that they are detached and located as an improvement on all recreational vehicle lots. The location and size of the storage structures shall be uniform and the same on all lots.
 - e. Concrete slabs, decks and patios, provided such structures are detached and structurally independent from the accompanying recreational vehicles and in no way impede the immediate removal of said recreational vehicles from the site.
 - f. Open storage areas for recreational equipment and vehicles, the use of which is limited to the park residents, provided that said area is designated on the approved development plan for the recreational vehicle park and that no such area shall exceed two percent of the total park area and no such area shall be visible from the public right-of-way or adjacent properties.
- (i) Prohibited uses and structures. Any use or structure not expressly or by reasonable implication permitted herein or permitted by special exception, including, but not limited to:
- (1) Year around occupation of a recreational vehicle.
 - (2) Any recreational vehicle in excess of 400 square feet when constructed to ANSI A-119.5 standards, and 500 square feet when constructed to United States Department of Housing and Urban Development Standards.
 - (3) Permanently attached screen rooms and/or cabanas including any form of rigid awnings which are not designed for transportation down the highway.
 - (4) All detached and freestanding, independent structures on the recreational vehicle site must be removed within ten days of termination of the tenant's lease or rental agreement.
- (j) Development Standards.
- (1) Minimum park area: 20 acres
 - (2) Minimum lot area: 2100 square feet
 - (3) Minimum lot width: 35 feet
 - (4) Minimum yard requirements:
 - a. No structure or recreational vehicle shall be located closer than 35 feet to any park boundary abutting a public road nor closer than 25 feet to an exterior park boundary.
 - b. No structure or recreational vehicle shall be located closer than 10 feet to any other structure or closer than 8 feet to the pavement line of any internal street, excluding driveways and patio slabs

which are not in excess of 6 inches above the existing finished grade of the recreational vehicle site.

- (5) Maximum height: 26 feet above BFE
 - (6) Maximum density: 8 sites per acre
- (k) Development Standards – Existing Mobile Home Park Development Prior to April 20, 2005.
- (1) Minimum lot area: 4,000 square feet.
 - (2) Minimum yard requirements:
 - a. No structure or site shall be located closer than 25 feet to a park boundary or setback buffer.
 - b. No structure shall be located closer than 10 feet to any other structure or to the pavement line of any internal street.
 - (3) Minimum lot width: 50 feet.
 - (4) Maximum height, 26 feet measure above Base Flood Elevation.
 - (5) Maximum density: 6 units per acre.

Section 3.7. NR, Neighborhood Residential District

- a) Permitted Principal Uses and Structures.
- (1) Single family detached homes, excluding mobile homes
 - (2) Duplex homes
 - (3) Multi-family homes [multi-family homes are only permitted within NR-15 areas]
- (b) Permitted Accessory Uses and Structures
- (1) Non-commercial hobbies and crafts.
 - (2) Other uses and structures which are customarily incidental and subordinate to permitted uses
 - (3) Detached garages or sheds shall be constructed in the rear yard only, or in the instance of corner lots, shall be located closest to the interior lot line and furthest from the street and shall be setback a minimum of 3 feet from side and rear property lines
 - a. The aggregate floor area of all accessory structures, with the exception of pools, patios and open decks shall not exceed one-half of the total floor area of the principal structure
 - b. With the exception of detached garages and fences, all other accessory structures shall follow yard setback requirement
- (c) Uses Permitted with Conditions
- (1) Bed and breakfast Inns
 - (2) Essential services, class 1 & 2
 - (3) Limited home occupations

- (4) Rental cottages (in outbuildings)
 - (5) Water-related structures
 - (6) Accessory dwellings
 - (7) Group home
 - (8) Permanent canopy shade structures associated with recreational facilities or school playgrounds
- (d) Prohibited Uses and Structures. Any use or structure not specifically, provisionally or by reasonable implication permitted herein
- (e) Special Exceptions. The following uses are also subject to applicable provisions of Article 4 of this Chapter.
- (1) Structures up to 3 stories in height in NR-10 zoning (permitted by right in NR-15 zoning).
 - (2) Churches provided parcel area shall not be less than 2 acres [no temporary revival establishments].
 - (3) Civic uses.
 - (4) Country club.
 - (5) Recreational facilities not associated with a residential multi-family development.
 - (6) Childcare or day care facilities.
 - (7) Home occupations, other than “Limited Home Occupations”, including music, art or similar instruction provided no sound or noise can be heard outside of the dwelling unit.
 - (8) A third driveway for a single-family property if a proposed home is located on a minimum of 150 feet of street frontage on a single street.
 - (9) And any such other uses as deemed appropriate in the district by the Zoning Official.
- (f) Development Standards.
- (1) Minimum lot area; 3,500 square feet or as identified on the original lot of record. For lots which have structures listed on the Florida Master Site File, the minimum lot area shall be the lot or combination of lots containing principal and accessory uses as a single building site.
 - (2) Minimum front yard is 10 feet; Maximum front yard is 25 feet; For corner lots, the minimum front yard setback of 10 feet applies to all front yards abutting property lines adjacent to a street, and the maximum 25-foot front yard setback applies to only two of the property lines adjacent to a street.
 - (3) Minimum side yard is 5 feet.
 - (4) Minimum rear yard:
 - a. Abutting an alley: 10 feet
 - b. All other cases: 15 feet
 - (5) Minimum setback from water areas is 25 feet.
 - (6) Minimum lot width at the street, 25 feet.
 - (7) Minimum lot width at the setback line, 40 feet
 - (8) Maximum height:
 - a. NR-10: 35 feet above BFE [may build to 3 stories with a Special Exception.]
 - b. NR-15:

1. 40 feet above BFE to the top of the tie beam for flat, gable, hip, mansard, and gambrel roofs.
 2. 3 habitable floors below the tie beam.
 3. Pitched type roofs are limited to a maximum 6:12 pitch with a maximum height of 10 feet measured from the top of the tie beam to the highest point of the roof line.
- (9) Maximum density [dwelling units/acre expressed as du/a]
- a. NR-10: 10 du/a
 - b. NR-15: 15 du/a

Section 3.8. NC, Neighborhood Center District

The Neighborhood Center District is provided for the location of pedestrian scaled shops, services, small workplaces, and residential buildings central to a neighborhood [or grouping of neighborhoods] and within walking distance of dwellings. The neighborhood center district shall be developed on an interconnected pattern of streets and typically limited to approximately ¼ mile in radius. Uses in the neighborhood center district will have a primary market area of 1 mile and are intended to service the daily needs of the residents of the surrounding neighborhood. The pedestrian is expected to be able to walk from one end of the district to the other in 10-15 minutes.

- (a) Permitted Principal Uses and Structures.
- (1) Commercial uses where individual buildings are limited to a maximum of 10,000 square feet in total floor area.
 - (2) Office uses where individual buildings are limited ~~up~~ to a maximum of 10,000 square feet in total floor area.
 - (3) Combination of commercial and office projects, with or without multi-family development, up to 15,000 square feet in total floor area.
 - (4) Restaurants, excluding drive-through.
 - (5) Conference centers.
 - (6) Hospital and medical uses.
 - (7) Bed and breakfast inns.
 - (8) Single-family and duplex dwellings.
 - (9) Multi-family uses where individual buildings are limited to a maximum of 15,000 square feet
 - (10) Civic uses on lots not exceeding 3 acres.
 - (11) Research and development.
 - (12) Service organizations.
 - (13) Indoor theaters.
 - (14) Vocational and technical schools/centers.
 - (15) Parks.
 - (16) Recreation facilities.

- (17) Banks without drive-through facility.
 - (18) Essential services 1 and 2.
 - (19) Pharmacies
- (b) Permitted Accessory Uses and Structures.
- (1) Daycare home serving 3 or fewer persons
 - (2) Drive-through windows, excluding those associated with restaurants
 - (3) Home-based business
 - (4) Marina accessory to residential uses
 - (5) Outdoor dining areas
 - (6) Multi-family homes
 - (7) Office space accessory to principal uses permitted in district.
 - (9) Other uses and structures which are customarily incidental and subordinate to permitted uses.
- (c) Uses Permitted with Conditions.
- (1) Accessory dwelling.
 - (2) Churches.
 - (3) Day care centers.
 - (4) Car wash.
 - (5) Wireless communication facilities.
 - (6) Helistop.
 - (7) Neighborhood commercial fueling stations.
 - (8) Nightclubs and bars.
 - (9) Sidewalk cafes.
 - (10) Parking structures.
 - (11) Civic uses exceeding 3 acres.
 - (12) Hotels/Motels/Inns.
 - (13) Essential services 1 and 2.
 - (14) Group home.
 - (15) Permanent canopy shade structures associated with recreational facilities or school playgrounds.
 - (16) Stalls or merchandise stands for outdoor sale of goods at street front
- (e) General Requirements. Buildings shall comply with the following architectural provisions of Article 7.
- (1) Building principles where applicable by use.

- (f) Special Exceptions. The following uses may be permitted by Special Exception and upon approval shall be subject to applicable provisions of Article 4 in this Chapter.
 - (1) Marina
 - (2) Bank with drive through facility.
 - (3) Eating establishment with drive through facility.
 - (4) Emergency care facility.
 - (5) Heliport.
 - (6) Parking structure, private.
 - (7) Service station.
 - (8) Theatre, outdoor.
 - (9) And any such other uses as deemed appropriate in the district by the Zoning Official.

- (g) Development Standards.
 - (1) Minimum lot area; No minimum.
 - (2) Minimum front yard, 10 feet; Maximum front yard, 25 feet.
 - (3) Minimum side yard, 0 feet; abutting a street, 10 feet.
 - (4) Minimum rear yard, 20 feet [Exception: building which abuts an alley, 0 feet].
 - (5) Waterfront setback, 25 feet for all permanent and accessory structures.
 - (6) Minimum setback for a detached garage, 3 feet, except for waterfront areas as set forth above.
 - (7) Frontage build-out shall be 45 percent of the street face. When a parcel has more than one (1) street frontage and only one (1) side lot line, the frontage requirement may be on the primary street only.
 - (8) All lots must front along a minimum of 25 feet of publicly dedicated right-of-way in order to be built on.
 - (9) Minimum lot width at building line, 25 feet.
 - (10) Maximum height of 2 stories, 35 feet above BFE
 - (11) Maximum density, 15 units per acre.
 - (12) Development standards for single-family and duplex dwelling units and accessory structures shall be as outlined in Section 3.7, NR District.

Section 3.9. Reserved

Section 3.10. HC, Highway Commercial District

- (a) Permitted Principal Uses and Structures.
 - (1) Commercial developments up to 30,000 square feet in total floor area.
 - (2) Professional and business office projects and medical or dental clinics up to 30,000 square feet in total floor area with no associated outside on-site storage of related equipment.
 - (3) Retail

- (4) Restaurants
- (5) Post offices
- (6) Garden shops, including the sale of plants, fertilizers, and customary garden supplies, equipment, and furniture. Storage and sales areas for plants and live vegetation may be outside the building(s)
- (7) Indoor commercial recreational facilities such as motion picture theatres, swimming pools, bowling alleys, billiards, indoor pickleball courts, gyms, health spas and clubs, and similar uses
- (8) Vocational, trade, business schools, colleges, and universities
- (9) Package stores for the sale of liquor
- (10) Banks and other financial institutions
- (11) Animal hospitals with the boarding of animals in completely enclosed buildings
- (12) Adult congregate living facilities
- (13) Funeral homes, crematoria
- (14) Laundromats and dry-cleaning facilities
- (15) Child and adult daycare facilities
- (16) Photocopying facilities
- (17) Pharmacies
- (18) Art galleries, museums, community centers, libraries, live stage production theatres
- (19) Bars, cocktail lounges, nightclubs, and taverns for on-premises consumption of alcoholic beverages greater than one thousand (1,000) feet from a church or school
- (20) Essential and emergency services

(b) Permitted Accessory Uses.

- (1) Warehousing, accessory to merchandise showroom, within an enclosed building, outdoor storage specifically prohibited unless approved by Special Exception.
- (2) Outdoor dining areas.
- (3) Uses and structures which are customarily incidental and subordinate to permitted uses.

(c) Uses Permitted with Conditions.

- (1) Commercial and office uses exceeding 30,000 square feet, within the categories listed in (a) (1) and (2) above.
- (2) Automotive/Boat/ Manufactured home sales and/or service excluding tandem wheel or dual wheel vehicles usually associated with commercial or industrial uses and associated services, provided that all servicing or repair is done within a completely enclosed building.

- (3) Convenience stores/service stations/repair garages.
 - (4) Drive-through window facilities, including drive-through or fast food restaurants.
 - (5) Essential services, 1 & 2.
 - (6) Hotels/Motels/Inns.
 - (7) Parking structure.
 - (8) Temporary uses and outdoor sales of seasonal agricultural products.
 - (9) Permanent canopy shade structures associated with recreational facilities or school playgrounds.
 - (10) Mobile food dispensing vehicles on a development property with the permission of the property owner and subject to the applicable provisions of Article 4 of this Chapter
 - (11) Car Wash
- (d) Prohibited Uses and Structures. Any use or structure not specifically, provisionally or by reasonable implication permitted herein or permissible by special exception.
- (e) General Requirements. Buildings shall comply with the Architectural Provisions of Article 7.
- (f) Special Exceptions: The following uses are also subject to applicable provisions of Article 4 of this Chapter.
- (1). Churches.
 - (2). Package stores for sale of alcoholic beverages.
 - (3). Marinas.
 - (4). Bars and nightclubs.
 - (5). Sales and display in other than completely enclosed buildings of any merchandise otherwise allowed as a permitted use in this district.
 - (6). And any such other uses as deemed appropriate in the district by the Zoning Official.
 - (7). Motor bus terminals.
 - (8). Adult Establishments.
 - (9). Miniature golf courses.
 - (10). Helistop.
 - (11). Wireless communication facilities.
 - (12). Kennels, Indoor/outdoor.
 - (13). Private clubs and lodges, and libraries (but not adult clubs, bottle clubs or adult bookstores, or any other use that may be considered detrimental).
 - (14). Permanent shade structures associated with auto-oriented and auto-dependent uses.
- (g) Development Standards.
- (1). Minimum lot area, all development, 20,000 square feet.

- (2). Minimum front yard, 10 feet.
- (3). Minimum side yard, 5 feet; abutting a street, 10 feet.
- (4). Minimum rear yard, 25 feet.
- (5). Accessory structure setback, 5 feet.
- (6). Waterfront setback, 25 feet for all permanent structures.
- (7). All lots must front along a minimum of 35 feet of publicly dedicated right-of-way in order to be built on. Minimum lot width at the building line shall be 50 feet.
- (8). Frontage build-out shall be 45 percent of the street face. When a parcel has more than one (1) street frontage and only one (1) side lot line, the frontage requirement may be on the primary street only.
- (9). Maximum height of 2 stories, or 35 feet above BFE.

Section 3.11. Reserved

Section 3.12. Public District

This District is intended to apply to land owned by Municipal, County, State, Federal governments or their agencies. It is further intended not to prohibit, restrict, or hinder these governments or agencies from free use of such publicly owned properties.

- (a) Permitted Principal Uses and Structures.
 - (1) Schools.
 - (2) Parks, tennis courts, athletic grounds.
 - (3) Playgrounds.
 - (4) Publicly owned utilities.
 - (5) Public auditoriums.
 - (6) All other civic uses.
- (b) Permitted Accessory Uses and Structures. Uses and structures which are customarily incidental and subordinate to permitted uses.
- (c) Uses Permitted with Conditions.
 - (1) Permanent canopy shade structures associated with recreational facilities or school playgrounds.
- (f) General Requirements. Buildings shall comply with the Civic building principles of Article 7.
- (g) Development Standards: as approved by City Council

Section 3.13. SRO, Special Residential Overlay District

The Special Residential Overlay District is established to provide control to land subdivided within the City through the approval and recording of several plats of subdivision entitled

“Punta Gorda Isles,” Sections 1 through 12, 14, 15, 17, 18, 24, 26 and 27.

- (a). Minimum Area Requirements. The method of determining the square feet of proposed buildings and structures or additions and enlargements thereto shall be to multiply the outside horizontal dimensions of the building or structure at each floor level. Garages, carports, roofed screened porches and the like shall not be taken into account in calculating the minimum square foot area as required by the zoning rules and regulations.
 - (1) Section 1-8, block 8 lots 3-17, block 9 lots 2-39, block 10 lots 7-25, block 11 lots 13-27, block 12 lots 19-33, block 13 lots 24-38, block 14 lots 36-42, block 15 lots 1-18, and block 19 lots 46-49; minimum of 1,500 square feet of living area.
 - (2) Section 10, block 90 lots 1-39; minimum of 2,000 square feet of living area.
 - (3) Section 9A, block 88 lots 1-5; minimum of 2,000 square feet per building, with the living area of any single dwelling no less than 1,000 square feet.
 - (4) Section 18, minimum of 800 square feet for multi-family and 1,000 square feet for single-family.
 - (5) All other lots, minimum of 1,200 square feet for single-family and 1,000 square feet for multi-family per unit. Square footage is defined as the area which is air conditioned.
- (b) Roof Materials.
 - (1). Except in PGI Section 18, asphalt shingle roofs shall be prohibited for any single-family house
 - (2). Multi-family structures may also have flat, built up roofs; and aluminum pan and built up roofs shall be allowed on structures when they are:
 - a. Less than a 3:12 pitch
 - b. Not visible from the public right-of-way.
 - (3). In addition, roof coverings on existing structures with roof coverings that are not in compliance with this Subsection, may be replaced using like kind material [i.e. asphalt shingle for asphalt shingle, etc.].
- (c) Driveways. Driveways in single-family districts shall be constructed of concrete and/or concrete pavers; driveways and parking lots in multiple-family districts may be constructed of asphalt.
- (d) Setbacks. Provided the front setback of the principal structure is maintained at 25 feet, permits shall be issued for pools, patios, pool cages and patio cages in rear yards to within 20 feet of a waterway or golf course. Pool cages and patio cages as those terms are used herein are defined as a skeletal structure of aluminum or any engineered approved lightweight material designed to fasten screen.
 - (1) Additionally, aluminum or pre-finished vinyl pergolas, or pergolas constructed of wood may not be permitted within 20 feet of a waterway or

golf course. The overhang of the pergola cannot encroach more than one foot into the required 20' setback.

- (2) The term pergola as used herein is a structure formed by two rows of vertical posts or columns to support an open framework of beams and cross rafters. Pergolas may have louvered beams and/or cross rafters which would allow the louvers to be partially or completely opened or closed to provide shade or protection from rain.
 - (3) Roof-overs are prohibited. Roof-overs as used herein means a solid roof surface that does not have louvers or any method of movement and which includes aluminum pan roofs, tile or metal roofs or built-up roofs, or any other solid roof.
 - (4) No pergola may be enclosed or used as a carport, storage shed, boat shelter or the like.
- (e) Sod. No parking strips, drives or paved areas are allowed, except as shown on the plot plan of the approved building plans and specifications. A minimum of 6 feet of sod shall abut any seawall. All City rights-of-ways shall be sodded. Underground sprinkler systems are required for maintenance of sodded or landscaped areas, except in PGI Section 18 where it shall be at the option of the residential owner. No areas of landscape shall be contoured as to allow the washing of materials from landscaped areas into canals and swales. No drainage configuration of impervious area shall be configured to create hydrostatic pressure against a seawall. Yards in which the owner has decided not to landscape must be fully sodded.
- (f) Garages. Except in multiple-family districts, no garage or carport shall be erected which is separated from the main building.
- (g) Parking of Vehicles and Trailers. No land, except that which is both zoned and used for commercial or industrial purposes, shall be used for the parking of any commercial truck, trailer, cart, school bus, or any other commercial vehicle, or any converted private vehicle except as provided by this district. Converted private vehicles, by whatever name designated, include vehicles which have been partially or completely converted from a private vehicle to a vehicle used for transporting goods or articles [such as ladders, wheelbarrows, tools, equipment, supplies or other materials] if such vehicle so converted is used in or incidental to the operation of a business. This prohibition shall include all trailers except as otherwise permitted in this Section. This is not intended to prevent the parking of any such vehicle or trailer within a completely enclosed garage, nor temporary parking of vehicles or trailers when loading or unloading for a period of less than four hours.

“Truck” shall include any motor vehicle designed or used principally for carrying things other than passengers, except that a pickup truck used exclusively as a means of private transportation is excluded here from. This is not intended to prevent the parking of truck/s within a completely enclosed garage, nor the temporary parking of vehicles when a person is visiting a resident for less than 4 hours, or when construction is being done on the premises for work being done

under a proper building permit during daylight hours or because of emergency at other times.

- (h) **Parking on Developed Property.** No vehicle may be parked in the front, side or rear yard of any developed property zoned for residential purposes, except in those areas designated as parking strips, drives or paved areas on the plot plan of the approved building plans and specifications for such property.
- (i) **Parking on Vacant Land or ROW.** Except as provided herein, no vehicle shall be kept or parked on vacant land zoned for residential purposes or on a public right-of-way in the special Residential Overlay District between the hours of 1:00 a.m. and 5:00 a.m. Within a 30 day period, a residence may have a single vehicle, other than a vehicle for human habitation, kept or parked off the paved road but within the public right-of-way on up to two occasions between the hours of 1:00 a.m. and 5:00 a.m., upon notification to the Punta Gorda Police Department, identifying the residence by address and the vehicle by license number and description. Keeping or parking a single vehicle, other than a vehicle for human habitation, off the paved road but within the public right-of-way between the hours of 1:00 a.m. and 5:00 a.m., beyond the two occasions provided for above, but limited to a cumulative period not exceeding seven occasions within a thirty day period, shall require a permit issued by the City, the fee for which shall be set by resolution of the City Council. The permit shall be affixed in a conspicuous place on the street side of said vehicle. Residents or visiting non-residents may obtain a parking permit by filing an application at the City Code Compliance Division or, on evenings, weekends and holidays, by calling the Punta Gorda Police Department, identifying the residence by address and the vehicle by license number and description. No vehicle shall encroach upon or block a public sidewalk or paved roadway.

Government contractors engaged by the City of Punta Gorda, the Punta Gorda Isles or Burnt Store Isles Canal Maintenance Assessment Districts are hereby authorized to stage equipment overnight on vacant lands upon issuance of a temporary permit by the City Manager or his/her designee. The permit shall be affixed in a conspicuous place on said equipment. The duration of the temporary permit shall be determined by the City Manager or his/her designees based on the impending canal maintenance projects within a particular area.

- (j) **Parking of Camping Trailers, etc.** A residence may have a single vehicle for human habitation kept or parked on the premises, on the paved driveway within the front yard, or within the public right-of-way off the paved roadway between the hours of 7:00 am and 7:00 pm. No vehicle for human habitation shall be parked in a manner such that the vehicle encroaches upon or blocks a public sidewalk or paved roadway. No vehicle for human habitation, except vans 19 feet or less in length shall be kept or parked on a premises or within a public right-of-way between the hours of 7:00 pm and 7:00 am, unless parked entirely within the confines of a garage or carport, or upon obtaining a no-charge permit from the City.
 - (1) Upon obtaining a permit the vehicle may be parked on the driveway of any premises for a cumulative period not exceeding 7 nights in a 30-day period, with a "night" meaning from 7:00 p.m. to 7:00 a.m. The permit

shall be affixed to the vehicle in a conspicuous place on the street side thereof. Residents or visiting non-residents may obtain a parking permit by filing an application at the City Code Compliance Division or, on weekends or evenings, by calling the Police Department and identifying the vehicle by license number and giving the description of the vehicle and location thereof

- (k) Advertising on Vehicles. The parking of passenger cars and pickup trucks used primarily as vehicles for private transportation with commercial advertising signs thereon in residential areas outside the confines of a garage or carport is permitted providing that such signs do not exceed an overall dimension of 8 inches by 16 inches if permanently affixed. If larger, such sign must be removed [i.e., magnetic, snap-on, etc.] if vehicle is parked outdoors between the hours of 6:00 p.m. and 6:00 a.m.
- (l) Storage of Vehicles and Watercraft. Except as otherwise provided herein, it shall be unlawful for any person to park, store, keep, maintain, or permit to be parked, stored, kept or maintained on the property of a single or multiple family residence, or on a vacant lot in a residential area, any watercraft, boat or empty boat trailer. Any watercraft, boat or empty boat trailer may be parked or stored entirely within the confines of a garage or carport, or as permitted below:
 - (1) Small watercraft may be stored entirely on the dock, but not on the seawall cap, rear, side or front yards of the premises.
 - (2) Small watercraft such as kayaks, canoes and paddleboards may be stored on a small watercraft storage rack which has been placed on the dock of the premises.
 - (3) A maximum of two (2) racks are permitted for docks up to eighty (80) linear feet in length and there shall be no limit on the number of racks for docks exceeding eighty (80) linear feet in length.
 - (4) A maximum of two (2) small watercraft can be stored on a single small watercraft storage rack.
 - (5) Small watercraft storage racks may be attached to the independent dock facility, but may not be attached to the seawall or seawall cap in any manner.
 - (6) The small watercraft storage racks must be kept in good repair.
 - (7) Watercraft may only be stored waterward of the seawall, either on a lift or davits, or in the water.
 - (8) Small watercraft such as kayaks, paddleboards or canoes may be placed on a roof rack on a vehicle parked in the driveway overnight; however, watercraft may not be left on the vehicles for more than two consecutive days.
 - (9) A residence may have a single watercraft kept or parked on the premises, on the paved driveway, or within the public right-of-way off of the paved roadway between the hours of 7:00 a.m. and 7:00 p.m.
 - (10) No watercraft shall be kept or parked on the premises, nor within a public right-of-way between the hours of 7:00 p.m. and 7:00 a.m., unless parked entirely within the confines of a garage or carport, or upon obtaining a permit without charge from the City. Upon obtaining a permit the watercraft may be parked on the driveway of any premises or in the right-

of-way, off of the paved roadway for up to two nights (7:00 p.m. to 7:00 a.m.) on no more than four occasions per calendar year. The issued permit shall specify the date and time that the permit will expire. Permits may not be combined to allow a watercraft to remain on the driveway of any premises or in the right-of-way for more than two consecutive days. Upon the expiration, the watercraft must be removed from the property and right-of-way. No new permit shall be issued sooner than two days from the expiration of a prior permit. The permit shall be affixed to the watercraft in a conspicuous place on the street side thereof. No vehicle shall encroach upon or block a public sidewalk or paved roadway.

- (11). Residents or visiting non-residents may obtain a parking permit by phone or by the internet from the City Code Compliance Division, or on weekends or evenings, by calling the Police Department and providing a description of the watercraft and location thereof. If the Police find a resident or visitor in violation of this Ordinance, they shall forward a report to the Code Compliance Division for follow-up on the next regular work day. The Code Compliance Division shall then make contact with the resident and inform them of the regulations.
 - (12). The provisions of this paragraph shall not apply to vehicles parked on the premises of churches, clinics, schools, public libraries, public buildings, public and club swimming pools, private clubs, golf courses, utilities, and parks and recreational areas, while the persons transported thereby are attending or participating in activities or being treated or served on those premises, nor to business trucks or trailers permitted to be parked at any time in a space prepared or designated on said premises, if such vehicles are used or operated by or for the operation of the places or institutions designated, except that such vehicles cannot be used primarily for personal transportation.
- (m) Fences, Walls and Hedges. No solid boundary wall shall be permitted. Hedges shall be permitted to heights as provided in Chapter 26, Article 8, Section 8.5 of this Code. Fences shall be allowed in side and rear yards of any developed property but shall not be allowed in any front yard. Front yards extend from the architectural front of a building, on each front corner, to the fronting street or right-of-way.
- (1) Fence panels shall not exceed forty-eight (48) inches in height and the maximum vertical clearance between finished grade and the bottom of the panel shall be no more than four (4) inches. Fence posts shall not exceed fifty-four (54) inches above finished grade.
 - (2) Fence material shall be either vinyl coated chain link, aluminum, vinyl, finished wood picket or wrought iron picket, decorative post with rope or plastic chain, or split rail. Agricultural grade welded wire, solid panel, lattice, shadowbox, uncoated chain link and slatted chain link fencing are specifically prohibited.
 - (3) Except for decorative post and split rail, fences shall be installed with the structural supports facing inside the subject property and the finished surface facing adjacent properties and public rights-of-way.

- (4) All wood fencing shall be constructed using new decay-resistant or pressure-treated material and shall be finished with either a clear coat, wood stain or be painted and maintained without discolored or rotting wood, and shall not be missing pieces.
 - (5) All fences shall be maintained in sound condition and good repair no matter when they were constructed. Any fence or privacy wall found to be in disrepair must be repaired or removed within 14 days of written notification to the property owner.
 - (6) Any fence or wall being used as a residential swimming pool barrier in accordance with State law shall be permitted to meet the minimum barrier requirements required by the "Residential Swimming Pool Safety Act" codified as Chapter 515, Florida Statutes and Sections 454.2.17.1.1 through 454.2.17.14, Florida Building Code/
- (n) Garbage Containers/Clothes Drying. All garbage and trash containers shall be stored inside of the garage or behind a buffer screen which shall consist of a solid masonry wall architecturally compatible with the house or opaque panel fence material not to exceed six feet in height from finished grade, eight feet in length and four feet in width. Garbage and trash containers may also be screened with 100% landscape screening so that they are not visible at grade from the streets and adjoining properties at the time of installation and shall be maintained in such condition.
- Oil tanks and bottle gas tanks shall be placed in the ground or landscaped with 100 percent landscape screening so that they are not visible from streets and adjoining properties at time of installation and shall be maintained in such condition. The landscape and buffer provisions as stated will be strictly enforced.
- On non-waterfront lots, no outdoor drying shall be allowed except in required rear yards, but not less than 40 feet from a street. On waterfront lots, the clothes drying area shall be in the required side yard and shall be shielded from view through the use of shrubbery.
- (o) Water Wells. On all property except golf courses, digging or drilling of water wells is prohibited. The installation of geothermal closed loop well systems are allowed in all zoning districts as an approved energy conservation system. This system is not to be confused with a conventional irrigation or water well which is prohibited in the special zoning districts.
 - (p) Accessory Buildings, Structures and Above Ground Swimming Pools. Except as may be permitted elsewhere by the zoning rules and regulations, no tents, temporary or accessory buildings or structures, or above ground swimming pools shall be erected, assembled, inflated or installed in the SRO zoning district. This prohibition includes any type of storage container placed outside of the primary structure. This prohibition does not include solid waste disposal containers when used for their intended purpose, nor dock boxes, subject to the following limitations.
- Dock boxes are only permitted if located on a dock. Dock boxes are not permitted to be located or attached to a seawall or seawall cap. The height of the dock box shall not exceed 36 inches in height from the bottom of the box.

For the purposes of this subdivision, the term "above ground pool" shall mean any pool the top of which exceeds 12 inches above the finished grade of the property. Pools constructed within concrete stem walls shall not be considered to be an above ground pool.

Spas and portable/temporary pools (e.g., "kiddie" pools) are allowed only if they are placed on a lanai or deck and meet all setback requirements. The term "kiddie pool" shall mean any pool that is capable of holding a maximum of 24 inches of water or less.

All swimming pools, spas and "kiddie" pools must be constructed and/or used in accordance with all State, Federal and local regulations.

(q) Utilities Service Lines. There shall be no new overhead street crossings for secondary electrical, telephone service drops, and cable television service drops. The cost to place service underground shall be borne by the individual property owner, or other person or entity as required by state law.

(r) Watercraft. Any watercraft which is inoperative or unregistered or appears to be in a state of decay and/or abandonment, or any watercraft which is disabled due to renovation or reconstruction to the extent it cannot reasonably return to open water within 14 days, as determined by the applicable department head, shall be prohibited on any waterway, shore, private and public property unless within a completely enclosed garage or building.

(s) Reserved. ~~Real Estate Signs.~~

[subsection 3.13(s) was repealed by Ordinance 1966-2021]

(t) Walkways in Rear Yards. Upon submittal and approval of a required building permit, a 5 foot in width, concrete, paver block, or other material walkway may be installed from the rear of the home to the seawall as per the following calculations:

(1)	Up to 50' frontage	1 sidewalk
(2)	Over 50' to 190' frontage	2 sidewalks
(3)	Over 190' to 250' frontage	3 sidewalks
(4)	Anything greater than 250' frontage	4 sidewalks

No walk shall exceed five feet in width and walks shall be separated by at least ten linear feet. In the event the walkway must be removed to repair or maintain the seawall, the property owner shall be responsible for all costs and expenses associated with its removal and reconstruction.

(u) Unless expressly limited or prohibited in any Section of the Punta Gorda Code, equipment for swimming pools, solar installations, air conditioning units, generators and similar equipment, cornices, eaves, and similar above ground architectural features and garbage receptacles with walls not exceeding six feet in height above finished grade elevation are permitted to encroach up to four feet in recorded drainage/utility easements. However, in no instance shall any

permanent structures, other than roof overhangs or eaves which are at least eight feet above grade, encroach into any easement in use.

Section 3.14. **Reserved**

Section 3.15. **Establishment of Official Zoning Map**

The boundaries of all districts are hereby fixed and established as shown on the accompanying Official Zoning Map, which is to be considered a part of this Code as fully as if it were set out herein in detail. Due to the level of detail found on the regulating plans in the Traditional Punta Gorda (TPG) base zoning district that information is also provided in Section 3.2 of this code. A copy of the Official Zoning Map shall be located at all times for inspection by the general public during regular business hours in the City Clerk's office. If pursuant to the requirements of this Code, amendments are made to the boundaries reflected on the Official Zoning Map, such amendments shall be entered on the Official Zoning Map by the Zoning Official or designee within 30 days following the amendment.

Section 3.16. **Reserved**

Section 3.17. **Reserved**

Section 3.18. **Reserved**

Section 3.19 **APO, Airport Protection Overlay District**

The Airport Protection Overlay District for the City of Punta Gorda is hereby established. The short title of this section shall be the "Airport Protection Overlay District - APO". The purpose of this section is to establish reasonable airport zoning regulations to implement the provisions of state and federal law relating to land uses and height of structures near airports; to provide for airspace protection and land use compatibility with airport operations; to protect the public health, safety and welfare in the vicinity of an airport by minimizing the exposure to hazards and noise levels generated by aircraft operations; to facilitate proper land use planning and to prohibit the location of incompatible land uses and structures in areas surrounding existing or future airports; to provide a process to issue or deny permits and enforcement thereof for airport obstructions or hazards; to provide for coordination and notification of airport protection permitting between municipalities and the City; and to provide for coordination of permit applications between the City and state.

- (a) *Applicability.* The Airport Protection Overlay District shall apply to development and redevelopment of all land uses within ten nautical miles from the Airport Reference Point and all other matters referenced in this Airport Protection Overlay District. The terms development and redevelopment shall be construed liberally and shall include any plat, special exception, variance, development review committee approval, site plan approval, building or sign permit, or any other official action of the City of Punta Gorda that has the effect of permitting development and redevelopment or any application for any of the preceding. The Airport Protection Overlay District shall apply to the preceding matters notwithstanding the application of another provision(s) of the Punta Gorda Code to said matter(s). In the event of a conflict between another provision of Punta Gorda Code and the Airport Protection Overlay District, the terms of the more restrictive regulations shall govern and prevail.
- (b) *Definitions.* Specific to this Section can be found in Article 19 Definitions Section 19.5 Airport (Section 3.19) Definitions
- (c) Permitting, Administration and Enforcement.
- (1) Administration and Enforcement. It shall be the duty of the Zoning Official to administer and enforce the requirements prescribed herein within the territorial limits over which the City of Punta Gorda has jurisdiction through the permitting process.
 - (2) Permit Required. Any person proposing to construct, alter, or allow an obstruction in an airport hazard area, as determined by the FAA, must apply for a building or development permit, as applicable. Such permit may not be issued if it would allow the establishment or creation of an airport hazard or if it would permit a nonconforming obstruction to become a greater hazard to air navigation than it was when the applicable airport protection zoning regulation was adopted which allowed the establishment or creation of the obstruction, or than it is when the application for a permit is made.
 - (3) Permit Application. In addition to the standard submittal documents associated with a building or development permit application, permit applications under this section shall include documentation showing compliance with the federal requirement for notification of proposed construction or alteration of structures and a valid aeronautical study. All such applications shall be accompanied by the appropriate review fee established by resolution.
 - (4) Review Criteria. The following criteria shall be considered when determining whether to issue or deny a permit:
 - a. The safety of persons on the ground and in the air.
 - b. The safe and efficient use of navigable airspace.
 - c. The nature of the terrain and height of existing structures.
 - d. The effect of the construction or alteration on the state licensing standards for a public-use airport contained in Chapter 330, Florida Statutes, and rules adopted thereunder.

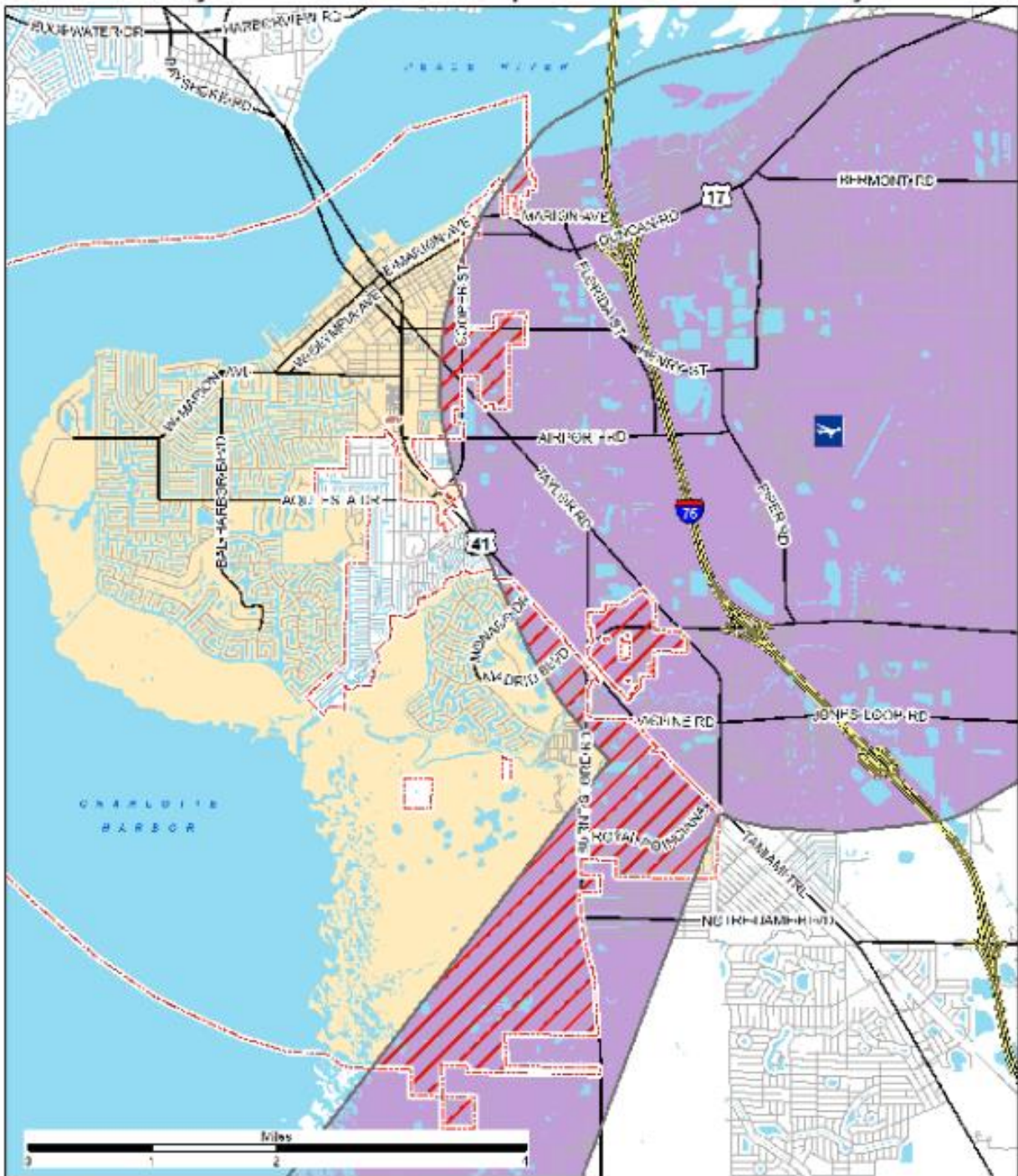
- e. The character of existing and planned flight operations and developments at public-use airports.
 - f. Federal airways, visual flight rules, flyways and corridors, and instrument approaches as designed by the Federal Aviation Administration.
 - g. The effect of the construction or alteration of an obstruction on the minimum descent altitude or the decision height at the affected airport.
 - h. The cumulative effects on navigable airspace of all existing structures and all other known proposed structures in the area.
 - i. Additional requirements adopted by the City of Punta Gorda or the Charlotte County Airport Authority pertinent to evaluation and protection of airspace and airport operations.
 - j. Comments provided by other affected municipal jurisdictions, if any.
- (5) Florida Department of Transportation (FDOT) Review. Upon receipt of a complete permit application, a copy of the application shall be provided to the Florida Department of Transportation Aviation Office by certified mail, return receipt requested, or by a delivery service that provides a receipt evidencing delivery. Pursuant to Section 333.025(5), Florida Statutes, the Department of Transportation shall have 30-days to review the application and provide comments, if any, to the City of Punta Gorda, said time running concurrently with the review of the application by the City of Punta Gorda.
- (6) Nonconforming Uses. This section may not require the removal, lowering, or other change or alteration of any obstruction not conforming to the regulation when adopted or amended, or otherwise interfere with the continuance of any nonconforming use, except as provided in subsection (e)(1) above.]
- a. *Application to Existing Buildings.*
 - 1. General buildings or structures to which additions, alterations, or repairs are made shall comply with all the requirements of this part except as specifically provided in this subsection.
 - 2. When additions, alterations or repairs within any three-year period exceed 50 percent of the value of an existing building or structure, such buildings or structures shall be made to conform to the requirements of this part.
 - 3. Alterations or repairs, not exceeding 50 percent of the value of an existing building or structure may be made with the same materials of which the building or structure is constructed.
 - 4. Not more than 50 percent of the roof covering of any building shall be replaced in any three-year period unless the next roof covering is made to reduce noise from aircraft overflights to less than 65 decibels measured inside the building.
 - 5. Buildings in existence at the time of the passage of these regulations may have their existing use or occupancy continued if such use or occupancy was legal at the time of passage of these regulations, provided such continued use is not dangerous to life.

- b. Application to Moved Buildings. Buildings or structures moved into an identified noise zone shall comply with applicable provisions of this section.
- (7) Hazard Marking and Lighting. Notwithstanding other provisions on lighting in this section, the owner of any structure over 200 feet above ground level or an airport hazard shall install, operate, and maintain, at his or her own expense, marking and lighting on such structure in accordance with Federal Aviation Administration Advisory Circular 70/7460-1K and subsequent amendments.
- (8) Abandonment. A nonconforming obstruction that has been abandoned or is more than 50 percent torn down, destroyed, deteriorated, or decayed shall not be granted a permit if it would allow the obstruction to exceed the applicable height limit or otherwise deviate from the airport protection zoning regulations. Whether or not an application is made for a permit under this subsection, the owner of the nonconforming obstruction may be required, at his own expense, to lower, remove, reconstruct, alter, or equip such obstruction as may be necessary to conform to the current airport protection zoning regulations. If the owner of the nonconforming obstruction neglects or refuses to comply with such requirement for 30 days after notice, the County may proceed to have the obstruction lowered, removed, reconstructed, altered, or equipped, and assess the cost and expense thereof upon the owner of the obstruction or the land whereon it is, or was, located.
- (9) Appeals. Any person desiring to appeal a decision or determination made by the Zoning Official in accordance with this section may apply to the Board of Zoning Appeals for an appeal of Administrative Decision according to the provisions of Section 16.2 of this Chapter.
- (10) Variances. Any person desiring to erect or increase the height of any structures, or use his property not in accordance with this chapter, may apply to the Board of Zoning Appeals for a variance from the requirements of this section according to the provisions of Section 16.2 of this Chapter. No application for a variance to the requirements of this section may be considered by the Board of Zoning Appeals unless a copy of the application, along with a Site-Specific Analysis, has been furnished to the appropriate airport manager at least 30 day prior to the date of the Board of Zoning Appeals meeting date. In granting any variance, the Board of Zoning Appeals may prescribe appropriate conditions, requirements and safeguards in conformity with these regulations and the intent hereof including avigation easements or sound level reduction techniques, if deemed necessary.
- (11) Exemptions. Notwithstanding any other provisions herein, the following activities and structures shall be exempt from the permitting requirements of this section.

- a. Existing structures that received construction permits from the Federal Communications Commission (FCC) that exceed federal obstruction standards before May 20, 1975. A permit is not required for any necessary replacement or repairs to such existing structures if the height and location are unchanged.
 - b. Non-substantial improvements of existing residential structures and parcels, and non-residential structures or parcels provided the principal use of the property has not been discontinued for a period of no less than one year.
 - c. Cranes, construction equipment, and other temporary structures in use or in place for a period not to exceed 18 consecutive months are exempt from review by the Florida Department of Transportation, unless request by FDOT.
- (12) Transmittal. Political subdivisions shall provide a copy of all airport protection zoning regulations and airport land use compatibility zoning regulations, and any related amendments, to the FDOT's aviation office within 30 days after adoption.
- (d) Airport Protection Overlay District. To carry out the provisions of this section, there are hereby created and established certain "protected zones" that include lands, in the unincorporated portions of Charlotte County and portions of the City of Punta Gorda, lying beneath the Primary, Approach, Transitional, Horizontal, and Conical Zones or imaginary surfaces as they apply to a public-use airport. The boundaries of the airport protection overlay district shall apply to all zoning classifications established in Chapter 26, Article 3. An area located in more than one of the airport protection overlay district is considered to be in the zone with the more restrictive height limitation. The airport protection overlay district are hereby established and defined as follows:

[Note: Remainder of this page intentionally left blank]

City of Punta Gorda Airport Protection Overlay



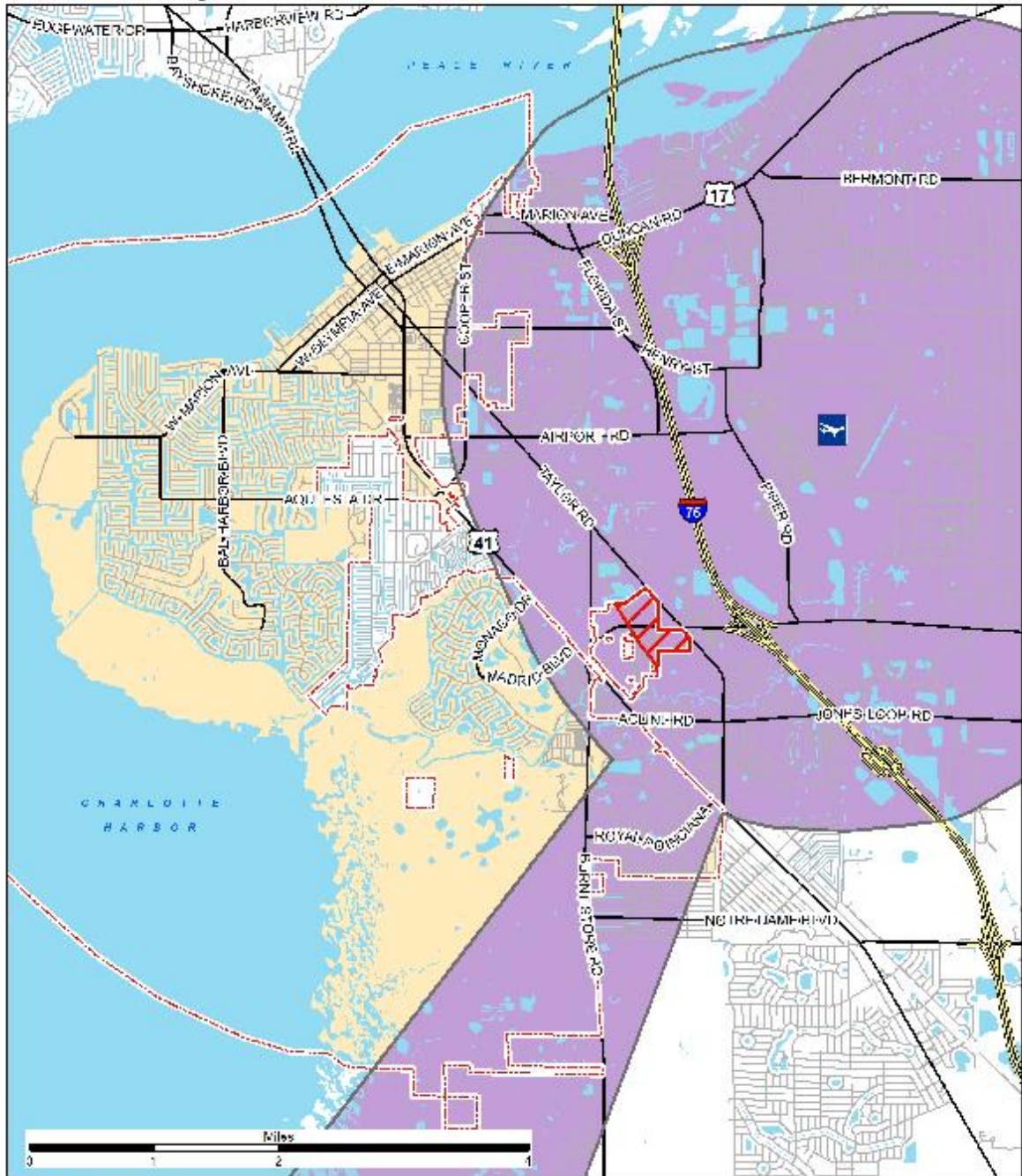
- Airport Protection Overlay
- City Limits
- Street
- Airport Protection Overlay City
- Major Roads

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- (1) Primary Zone: A rectangular area longitudinally centered on a runway, extending 200 feet beyond each end of that runway with the width as specified below for each runway for the most precise approach existing or planned for either end of the runway. No structure or obstruction shall be permitted within the Primary Zone that is not part of the landing and take-off area, and is of a greater height than the nearest point on the runway centerline. The width of the Primary Zone of a runway is as follows:
 - a. For precision instrument runways: 1,000 feet.
 - b. For non-precision instrument runways: 500 feet.
 - c. For public utility, visual runways: 250 feet.
 - d. For private utility, visual runways: 100 feet.
- (2) Runway Protection Zone: A trapezoidal area at ground level beginning at the end of the Primary Zone, 200 feet beyond the end of a runway, and centered about the extended runway centerline, with the shortest side of the trapezoid matching the width of the Primary Zone. The Runway Protection Zone dimension for a particular runway end is a function of the type of aircraft associated with that runway end. Its width corresponds to that Approach Zone. Its length varies as follows:
 - a. For precision instrument runways: 2,500 feet.
 - b. For non-precision instrument runways: 1,500 feet.
 - c. For public utility, visual runways: 1,000 feet.
- (3) Horizontal Zone: The area around a runway with an outer boundary, the perimeter of which is constructed by swinging arcs of specified radii from the center of each end of the Primary Zone of each runway and connecting the adjacent arcs by lines tangent to those arcs. The radius of each arc for the horizontal surface is 5,000 feet for visual approach runways, and 10,000 feet for all other approach types. The Horizontal Zone extends outward from the Transitional Zone to the edge of the Conical Zone. No structure or obstruction can extend 150 feet above the established airport elevation.

[Note: See Horizontal Zone map on the following page]

City of Punta Gorda - Horizontal Zone

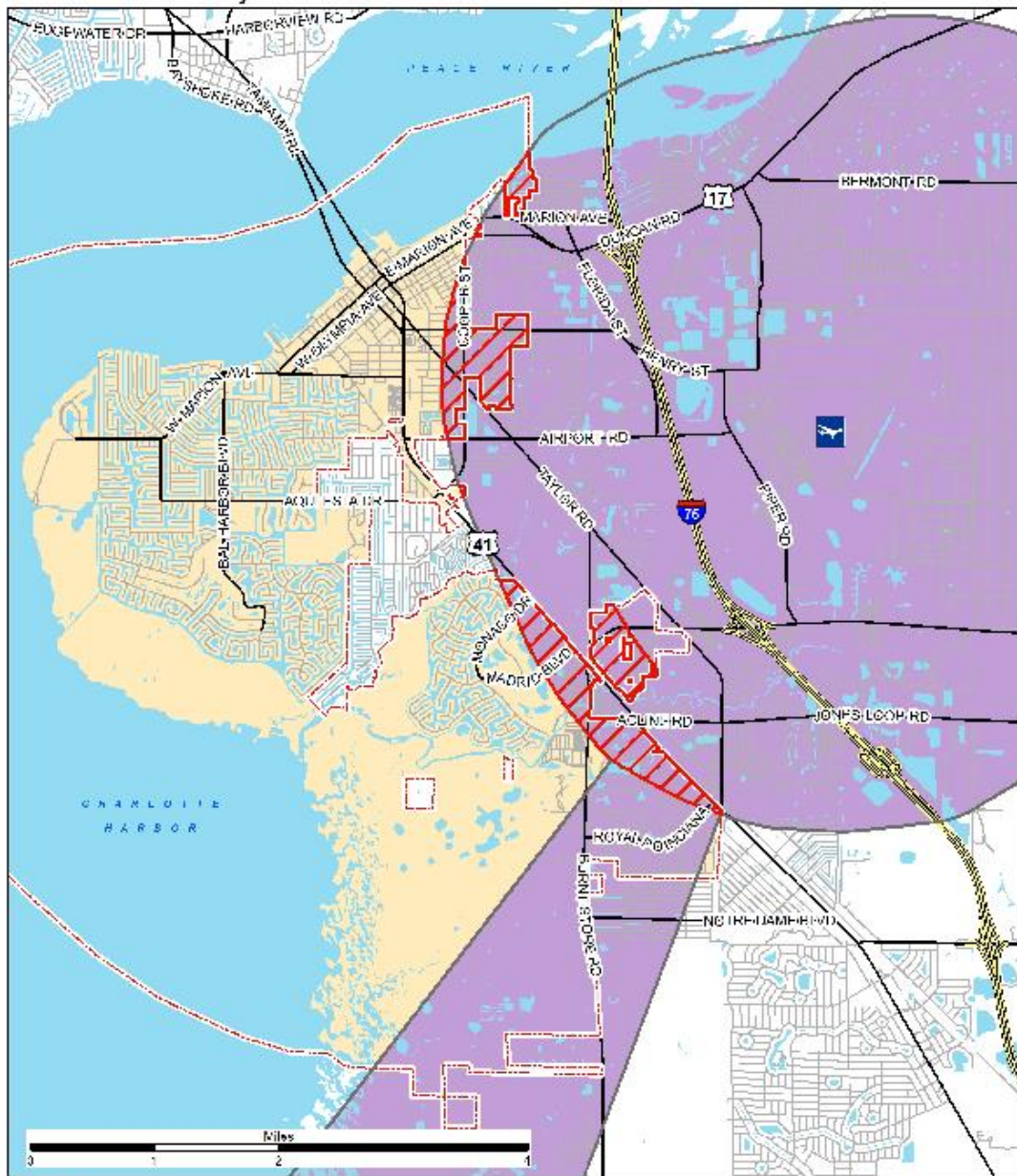


- Horizontal Zone - City
- Airport Protection Overlay
- City Limits
- Major Roads
- Street
- I-75

This map was prepared by the City of Punta Gorda, Florida, for the purpose of showing the Horizontal Zone, Airport Protection Overlay, and City Limits. The map is based on the most current available data and is not intended to be used for any other purpose. The City of Punta Gorda, Florida, is not responsible for any errors or omissions on this map.

- (4) **Conical Zone:** The area extending outward from the periphery of the Horizontal Zone for a distance of 4,000 feet. Height limitations for structures in the Conical Zone are 150 feet above airport height at the inner boundary with permitted height increasing one foot vertically for every 20 feet of horizontal distance measured outward from the inner boundary to a height of 350 feet above airport height at the outer boundary.

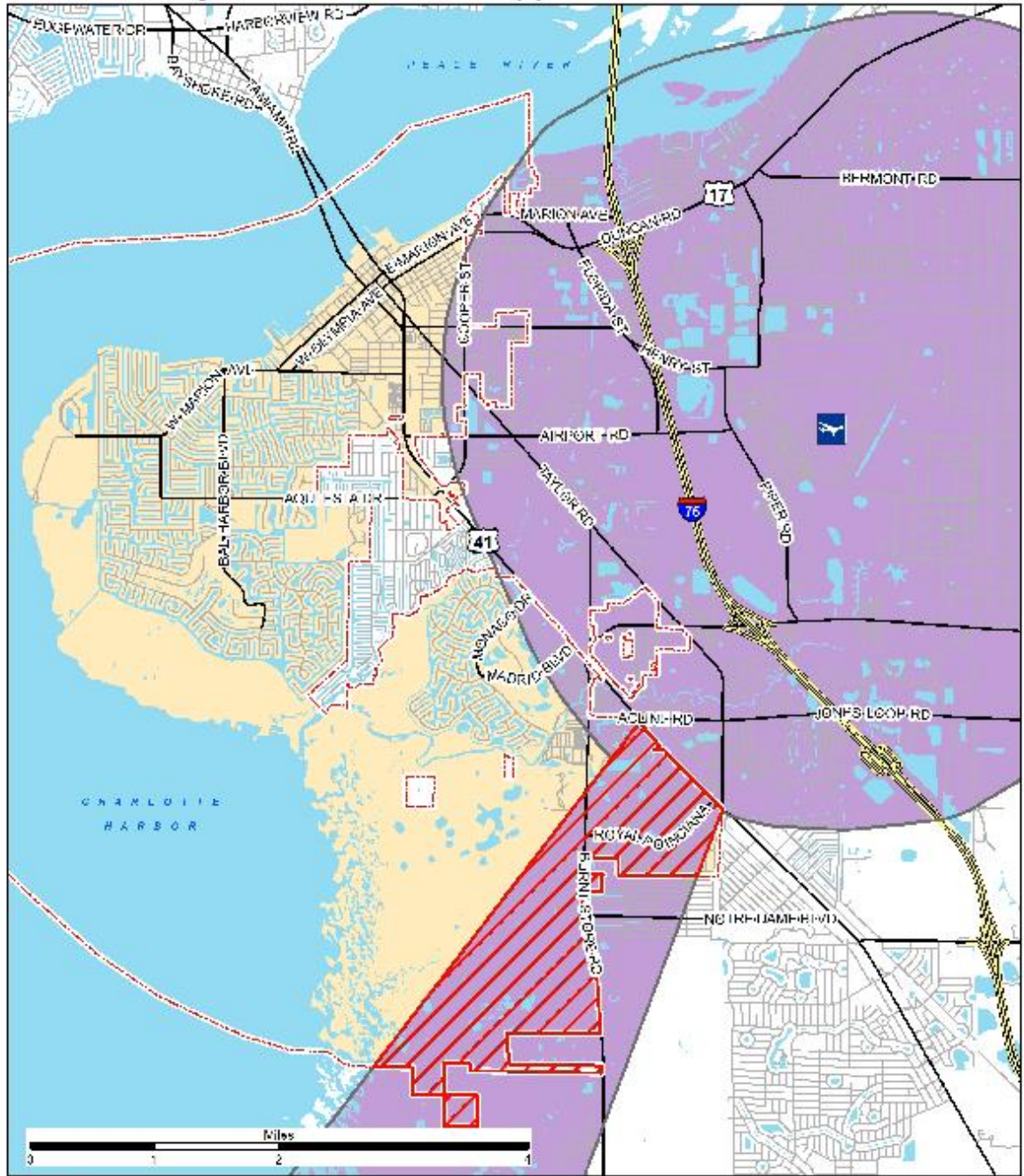
City of Punta Gorda - Conical Zone








- (5) Approach Zone: An area longitudinally centered on the extended runway centerline and extending outward and upward from each end of a runway's Primary Zone. An Approach Zone is determined for each runway based upon the type of approach available or planned for that runway end. Permitted height limitations within the Approach Zones is the same as the runway end height at the inner edge and increases with horizontal distance outward from the inner edge as follows:
- a. Precision Instrument Runway: Permitted height increases one foot vertically for every 50 feet horizontal distance for the first 10,000 feet (200 feet vertically) and then increases one foot vertically for every 40 feet horizontal distance for an additional 40,000 feet (1,000 feet vertically). The maximum outer width is 16,000 feet.
 - b. Non-precision Instrument Runways: Permitted height increases one foot vertically for every 34 feet horizontal distance for a total distance of 10,000 feet. The maximum outer width is 3,500 feet.
 - c. Visual runways: Permitted height increases one foot vertically for every 20 feet horizontal distance for a total distance of 5,000 feet (250 feet vertically). The maximum outer width is 1,250 feet.

[Note: See Approach Zone map on the following page]

City of Punta Gorda - Approach Zone



-  Approach Zone - City
-  City Limits
-  Airport Protection Overlay
-  Street
-  Major Roads

Map prepared by the City of Punta Gorda, Florida, using data provided by the Florida Department of Transportation and the United States Geological Survey. The City of Punta Gorda, Florida, is not responsible for any errors or omissions in this map. All rights reserved. 2010.

- (6) Transitional Zone: The area extending outward and upward at a 7:1 slope from the sides of the Primary Zones and Approach Zones connecting them to the Horizontal Zone. Height limits within the Transitional Zone are the same as the Primary Zones or Approach Zones at the boundary line where it adjoins and increases at a rate of one foot vertically for every seven feet horizontally, with the horizontal distance measured at right angles to the runway centerline and extended centerline, until the height matches the height of the Horizontal Zone or Conical Zone or for a horizontal distance of 5,000 feet from the side of the part of the precision approach zone that extends beyond the Conical Zone.
- (e) Airport Land Use Restrictions. Notwithstanding any other provision of this chapter, no use may be made of land or water within any zones established by this section in such a manner as to interfere with the operation of an airborne aircraft. The following special requirements shall apply to any proposed use:
- (1) Prohibited Uses in Runway Protection Zone. Notwithstanding the uses permitted in the underlying zoning classifications as provided in Chapter 26, Article 3, the following uses are prohibited within any Runway Protection Zone.
- a. Assisted Living Facilities.
 - b. Group homes.
 - c. Hospitals.
 - d. Multifamily standard or manufactured modular dwellings.
 - e. Schools, public, parochial, charter or private.
 - f. Storage of explosive material.
 - g. Uses that assemble large groups of people or any other use that could produce a major catastrophe as a result of an aircraft crash.
- (2) Restricted Areas for Residential Development and Educational Facilities. New residential development and educational facilities, as defined in § 333.01 F.S. as amended, shall be prohibited within an area contiguous to an airport runway measuring one-half the length of the longest runway on either side of and at the end of each runway centerline.
- (3) Additional Restricted Areas for Educational Facilities. New educational facilities, as defined in § 333.01 F.S. as amended, shall be prohibited within a rectangular area having a width of one-half of the runway length and a length of five statute miles. Said rectangular area shall be centered on the runway centerline as extended and begin at the physical end of the runway pavement.
- (4) Lighting. All lights or illumination used in conjunction with streets, parking, signs or uses of land or structures shall be arranged and operated in such a manner that they are not misleading or dangerous to aircraft operating from a public airport or in the vicinity thereof, by shielding, directing downwards, or other means as necessary.
- (5) Visibility and Glare. No operations from any type of land use shall produce smoke, glare or other visual hazards that endanger or interfere with the landing, takeoff, or maneuvering of aircraft intending to use the airport.

- (6) Electrical Interference. No operations of any type shall produce electronic interference with navigation signals or radio communication between the airport and aircraft.
- (7) Wildlife Hazard Attractants. Landfills, waste disposal facilities, and other facilities that store, handle, or process organic or any other material that foster or harbor the growth of insects, rodents, amphibians, or other organisms that result in significant bird population increases above the normal background level, as well as storm-water management facilities, wetlands, and other areas containing aquatic life and vegetation also attract birds and other wildlife that may increase the potential for aircraft bird strikes, resulting in damage to aircraft and injury to occupants shall be subject to the following regulations.
 - a. New landfills shall not be located:
 - 1. Within 10,000 feet of the nearest point of any runway used or planned to be used by turbine aircraft; or
 - 2. Within 5,000 feet of the nearest point of any runway used or planned to be used by only non-turbine aircraft.
 - 3. Outside the perimeters described in subparagraphs 1 and 2 above, but within the lateral limits of the civil airport imaginary surfaces as defined by federal regulations, as amended from time to time, for approaching, departing, and circling aircraft.
 - b. All proposed and existing landfills shall be reviewed to determine whether they attract or sustain hazardous bird movements from feeding, water, or roosting areas into or across the runways or approach and departure patterns of aircraft. The existence of such hazards shall be considered in deciding whether to permit a proposed landfill, and whether to require an existing or proposed landfill to use bird management techniques or other practices to minimize bird hazards to airborne aircraft.
 - c. Above-ground storm-water management facilities, including open water features, canals, marsh areas, dry detention, and littoral zone areas should not be placed within airport operations areas due to their aquatic and vegetative environments and potential to attract wildlife. Where such facilities are unavoidable, best management practices shall be used to decrease the potential to attract wildlife, such as steep slopes, rip-rap lined detention areas, vegetation management, and use of dry detention areas.
- (8) Transfer of Density Units. Properties within the Runway Protection Zone of the Airport Protection Overlay district can only be used as sending sites for a transfer of density units and are strictly prohibited from becoming a "Receiving" site.

Section 3.20 EPCO, Emerald Pointe Condominium Overlay District

The Emerald Pointe Condominium Overlay District is established to provide control of land subdivided within the City through the approval and recording of several plats for the subdivision titled "Emerald Pointe Condominium", Phases I through VI, as described herein.

- (a) Permitted Principal Uses and Structures
 - (1) Attached single-family dwellings, excluding mobile homes.
 - (2) Two-family dwellings/duplexes.
 - (3) Multi-family dwellings [requires DRC approval].
 - (4) Cluster housing [requires DRC approval].
- (b) Permitted Accessory Uses and Structures
 - (1) Non-commercial hobbies and crafts.
 - (2) Non-commercial boat docks and lifts.
 - (3) Other uses and structures which are customarily incidental and subordinate to permitted uses.
- (c) Uses Permitted with Conditions
 - (1) Essential services 1 and 2.
 - (2) ~~Limited home occupation.~~ Home-based business.
 - (3) Group home.
 - (4) Permanent canopy shade structures associated with recreational facilities or school playgrounds.
- (c) Uses Permitted with Conditions
 - (1) Essential services 1 and 2.
 - (2) Limited home occupation.
 - (3) Group home.
 - (4) Permanent canopy shade structures associated with recreational facilities or school playgrounds.
- (d) Prohibited Uses and Structures. Any use or structure not specifically, provisionally or by reasonable implication permitted herein.
- (e) Special Exceptions. The following uses are also subject to applicable provisions of Article 4 of this Chapter.
 - (1) Yacht clubs, golf courses, including executive or par-3 golf courses and country clubs, not including miniature golf courses or practice driving ranges not associated with golf courses, provided that any required parking area or building is located at least one hundred feet from any other residentially zoned property.
 - (2) Parks and playgrounds.
 - (3) Neighborhood and outdoor recreation.
 - (4) Churches, provided parcel area shall not be less than 2 acres [no temporary revival establishments].

(f) Development Standards.

- (1) Phase I – Consisting of Buildings A, B and C, and common area structures located on the east side of development to include a clubhouse, management office, swimming pool/pool equipment building, tennis court and fencing, gate house, and docks.
 - a. Repairs to or relocation or reconstruction of existing buildings and structures within this area shall not extend beyond the building’s footprint as originally constructed or as they existed on December 31, 2017, whichever is greater.
 - b. Maximum height of 65 feet (or the then in effect maximum height allowed for multi-family dwellings) above BFE to the top of the tie beam for flat, gable, hip, mansard, and gambrel roofs. There shall be no more than 4 habitable floors below the tie beam. The number of allowable habitable floors will adjust if the standard maximum height and number of habitable floors increases. Pitched type roofs are limited to a maximum 6:12 pitch to the highest point of the roof line. All roof types shall not exceed a maximum height of 10 feet measured from the top of the tie beam to the highest point of the roof line.
- (2) Phase II and Phase III – Consisting of Villas 1-32, 33-37, 39, 41, 43, 45, 47 (42 units) and limited common area structures (finger docks) and common area structures (docks) located adjacent to the villas.
 - a. Peace River or Emerald Pointe Canal sides of road:
 1. The required setback distance from the mean high water line of the waters of either the Peace River or Emerald Pointe canal shall be a minimum of 5 feet.
 2. No additions are allowed to the side of the structure beyond the existing wall or to the street side wall of the structure that is closest to the roadway, as the structures existed on or were permitted by December 31, 2017.
 3. Maximum height; 35 feet above BFE to the highest point of the roofline.
- (3) Phase V – Consisting of Townhouses 1001 through 1046 (46 units) and common area structures adjacent to townhouses to include swimming pool/pool equipment building and docks.
 - a. The required setback distance from the mean high water line of the waters of either the Peace River or from the Emerald Pointe canals shall be a minimum of 5 feet.
 - b. No additions are allowed to the side of the structure beyond the existing wall or to the street side wall of the structure that is closest to the roadway, as the structures existed on or were permitted by date of the adoption of this ordinance. Additions to recessed entryways are permitted if they do not extend closer to the roadway than the outermost wall of the existing structure.

- c. End-unit Townhouses (1001, 1007, 1008, 1015, 1016, 1017, 1018, 1022, 1023, 1031, 1032, 1039, 1040 and 1046) can be repaired or reconstructed with access to and the location of the entry doors as they existed as of the date of the adoption of this ordinance.
 - d. Maximum height; 35 feet above BFE to the highest point of the roofline.
- (4) Phase IV and VI - Consisting of Buildings D, E and F, and common area structures located on the west side of the development to include maintenance structures and sheds for use by the Association, swimming pool and pool equipment building, pavilion for tennis courts, tennis courts and fencing, restroom building, shade canopy by tennis courts, racquetball court building, gazebo and docks.
- a. Repairs to or relocation or reconstruction of buildings and structures within this area shall not extend beyond the building's footprint as originally constructed or as they existed on December 31, 2017, whichever is greater.
 - b. Residential buildings are permitted to be reconstructed with 4 habitable floors over parking to a maximum height of 65 feet (or the then in effect maximum height allowed for multi-family dwellings) above BFE to the top of the roof structure.
 - c. Maintenance structure(s) shall not exceed 35 feet above BFE to the top of the roof structure and shall not exceed two stories.
- (5) Repair, maintenance and reconstruction on existing structures are permitted when damage or improvements do not exceed 50% of the structure or structures' value.
- (6) Structures which existed on December 31, 2017, may be replaced with similar structures provided all improvements meet the setback and height restriction provisions specified herein.
- (7) Additions to structures in Phases II, III and V may be constructed provided all improvements are within the unit's property line, including any easements granted.
- (8) Unit owners and the Emerald Pointe Condominium Association will be required to obtain all applicable permits and comply with all other City of Punta Gorda zoning and building regulations.

[Note: Remainder of this page intentionally left blank]

Section 3.21

IC, Interchange Commercial Overlay District

The Interchange Commercial Overlay district is established to promote economic opportunity by attracting high quality development to the I-75 interchange commercial area. Businesses in this zoning category generally require large tracts of land convenient to the I-75 exit benefiting from interstate automotive traffic and are generally located along the N. Jones Loop Road corridor. This district is intended as an optional overlay to be available for use within the areas designated in the Interchange Commercial Overlay zone map. The existing or any future proposed underlying Zoning and Future Land Use designations are effective and may be used to govern development on those properties at the option of the property owner.

(a) Permitted Principal Uses and Structures.

- (1) Commercial located entirely within enclosed building/buildings unless specifically permitted herein
- (2) Retail sales
- (3) Professional offices and services
- (4) Service establishments
- (5) Amusement facilities (indoor or outdoor)
- (6) Hospital
- (7) School
- (8) Hotel/Motel/Inn
- (9) Bar
- (10) Restaurant
- (11) Adult Congregate Living Facility
- (12) Cemetery with or without a embalming and/or cremation facilities
- (13) Mausoleum, Columbarium above ground burial facilities

(b) Permitted Accessory Uses.

- (1) Outdoor dining areas
- (2) Uses and structures which are customarily incidental and subordinate to permitted uses.

(c) Uses Permitted with Conditions.

- (1) Automotive/Boat/ Manufactured home sales and/or service including such vehicles usually associated with commercial or industrial uses and associated services, provided that all servicing or repair is done within a completely enclosed building
- (2) Temporary uses and outdoor sales and seasonal agricultural products.
- (3) Permanent canopy shade structures associated with recreational facilities or school playgrounds.
- (4) Mobile food dispensing vehicles on developed property with the permission of the property owner and subject to the applicable provisions of Article 4 of this Chapter.
- (5) Commercial projects over 30,000 square feet
- (6) Kennels (indoor or outdoor)
- (7) Warehousing and/or distribution centers
- (8) Outdoor storage and indoor/outdoor self-storage
- (9) Adult entertainment

- (d) Prohibited Uses and Structures: Any use or structure not specifically, provisionally or by reasonable implication permitted herein or permissible by special exception.
- (e) General Requirements: Building shall comply with the Interchange Commercial Overlay District Principles of Article 7.
 - (1) Site lighting is required for all uses, compliant with Section 8.4
 - (2) All permitted uses require development plan approval
- (f) Special Exceptions: The following uses are also subject to applicable provisions of Article 4 of this Chapter.
 - (1) Churches
 - (2) Wireless communication facilities
 - (3) Any such other uses as deemed appropriate in the district by the Zoning Official
- (g) Development Standards.
 - (1) Minimum lot area, none
 - (2) Minimum front yard 25 feet
 - (3) Minimum side yard 5 feet
 - (4) Minimum rear yard 25 feet
 - (5) Maximum height 6 stories not to exceed 100 feet provided it meets Airport Protection Overlay District regulations of Section 3.19
 - (6) Maximum impervious area 70%

[Note: Remainder of this page intentionally left blank]

ARTICLE 4

Uses Permitted with Conditions

Section 4.1. Purpose

The City of Punta Gorda finds that there are certain uses that exist which may be constructed, continued, and/or expanded provided they meet certain mitigating conditions specific to their design and/or operation.

Such conditions ensure compatibility among building types so that different uses may be located in proximity to one another without adverse effects to either. Each use shall be permitted in compliance with the conditions listed in this Article, provided the use is identified as being “permitted with conditions” in the zoning district where the use is located. Some zoning districts may state that uses requiring special exceptions are also subject to the applicable provisions of Article 4.

Section 4.2. Accessory Dwelling

- (a) An accessory dwelling may be attached, within, or separate from the principal dwelling.
- (b) Outside the Traditional Punta Gorda (TPG) zoning district, the principal use of the lot shall be a detached or attached single-family dwelling. The TPG zoning district may allow other principal uses to have an accessory dwelling.
- (c) No more than one accessory dwelling shall be permitted on a single deeded lot in conjunction with the principal dwelling unit(s).
- (d) The accessory dwelling shall be owned by the same person(s) as the principal dwelling.
- (e) The accessory dwelling shall not be served by a driveway separate from that serving the principal dwelling unless the accessory dwelling is accessed from a rear alley and the principal dwelling is accessed from a street.
- (f) Outside the TPG zoning district, a detached accessory dwelling shall be housed in a building not exceeding 650 square feet of first floor area [maximum footprint] or 50% of the first floor area of the principal dwelling, whichever is greater; the structure may be dwelling only or may combine dwelling with garage, workshop, studio, or similar use. Within the TPG zoning district, a detached accessory dwelling may be housed only in the “Accessory Cottage” building type.
- (g) A detached accessory dwelling shall be located in the established rear yard.

Section 4.3. Adult Establishments

Studies have shown that adult establishments tend to have serious deleterious effects upon nearby residential areas and uses where juveniles congregate, specifically

schools, religious institutions, child care centers, parks and playgrounds. Further, studies have shown that lowered property values and increased crime tend to accompany geographic concentrations of adult establishments. It is the intent of this section to establish regulations to prevent the concentration of adult establishments and to separate adult establishments from residential areas, schools, religious institutions, child care centers, parks and playgrounds.

- (a) Adult establishments are permitted as a special exception in the-Highway Commercial (HC) zoning district and the Flex Commercial Corridor regulating district in the TPG zoning district.
- (b) Any structure in which an adult establishment is the principal or accessory use shall be separated by a distance of at least 3,000 feet measured by direct airline from any residential district and from the following principal or accessory uses, defined as protected uses for purposes of this section: dwelling units, elementary and secondary schools, religious institutions, child care centers, parks and playgrounds.
- (c) Any structure in which an adult establishment is the principal or accessory use shall be separated by a distance of at least 1,000 feet from any other adult establishment.
- (d) The distance of separation from residential and mixed use zoning districts and from the protected uses listed shall be measured from the closest point of the lot occupied by an adult establishment to the nearest residential or mixed use zoning district or the property line of a protected use. The distance of separation between adult establishments shall be measured from the closest points of the lots occupied by adult establishments utilizing an airline measurement.
- (e) No more than one adult establishment may be located within the same structure or on the same lot.
- (f) In the interest of public health and safety, mini-motion picture booths shall be constructed without doors, and shall orient the customer entrance of each booth toward the principal sales counter.
- (g) All openings shall have an opaque glazing to discourage visibility of the interior.
- (h) The maximum floor area of each use shall be 3,000 square feet.
- (i) No exterior signage or building element shall be pornographic in nature or convey any such idea or element.
- (j) Establishments shall meet the relevant architectural requirements of Article 7, or if in the Traditional Punta Gorda (TPG) zoning district, shall meet all standards in Article 3.

Section 4.4. Amusement Facilities [Outdoor]

- (a) Landscape buffer area of 20 foot, planted in accordance with the provisions of Buffer Area [Section 12.4(f)(2)], shall be required between the property line and any area where outdoor amusement areas are located.
- (b) Fences or Privacy walls, are permitted at a minimum setback of 10 feet from all property lines and meet the provisions of Fences and Privacy Walls [Section 8.5].
 - (1). Privacy walls are limited to a maximum of 6 feet in height.
 - (2). Fences are limited to a maximum 8 feet in height.
- (c) No outdoor amusement facilities, such as miniature golf courses, skateboard courses, sports courts, or mechanical rides shall be located within 200 feet of a single family dwelling.
- (d) Hours of operation will be no earlier than 6:00 a.m. and no later than 12:00 midnight.

Section 4.5. Group Homes (aka Community Residential Home per FS 419.001)

- (a) Group Homes must be registered with the State of Florida Department of Human Resources.
- (b) Group Homes with six or fewer unrelated individuals which meet the standard of Community Residential Home per FS 419.001 are required:
 - (1). To obtain a Local Business Tax receipt
 - (2). To NOT be within a 1,000 foot radius of any other six or fewer residents Group Home
 - (3). To NOT be within a 1,200 foot radius of any Group Home with 7 to 14 residents
- (c) Group Homes with 7 to 14 residents may be located in any residential district and are required:
 - (1). To be licensed to serve residents who are clients of the Department of Elderly Affairs, the Agency for Persons with Disabilities, the Department of Juvenile Justice, or the Department of Children and Families or licensed by the Agency for Health Care Administration
 - (2). To obtain a Local Business Tax receipt
 - (3). To NOT be within 1,200 foot radius of any other Group Home

Section 4.6 Automotive/Boat/Manufactured Home Sales and/or Service

- (a) Permitted in Highway Commercial and Interchange Commercial Overlay districts.

- (b) The size of any single surface parking lot shall be limited to 3 acres, unless divided by a street, principal building, or 15 foot buffer area.
- (c) No outdoor public address system shall be permitted; all communication shall be by pager, cell phone or other such personal electronic devices.
- (d) Maximum front yard may exceed 25 foot when the resulting area is designated to accommodate outside display of vehicles only.
 - (1). Area shall not exceed 165 feet in depth
 - (2). Surfaced with brick, concrete pavers, stamped concrete, stamped asphalt or other decorative material as approved by the Zoning Official or their designee.
 - (3). Area must be separated from all adjacent streets by a landscaped area at least 12 feet wide planted with approved ground covers and at least 4 trees per 100 linear feet.
- (e) Vehicles may be stored on an approved parking surface without marked parking stalls when such area is located to the rear of the site.
 - (1). Required internal landscaping [Section 12.4 (a) (2)] is not required; however, such requirement shall be transferred towards increased landscaping along the perimeter of the storage area.
 - (2). In no case shall an individual storage area exceed 3 acres in area.
- (f) Detached repair facilities, paint and body shops shall be internal or to the rear of the site as far from street(s) a parking lot, outside display areas, or dwelling units.
- (g) Loading and unloading of vehicles shall be located to the rear of buildings to contain noise onsite. Deliveries shall not restrict traffic movements along any street.
- (h) The 70 percent frontage build-out provision of Section 3.10.(g).(8). shall not apply.

Section 4.7. Bars and Nightclubs

- (a) No bar or nightclub shall be permitted within 300 feet of any off-site one- or two-family residential dwelling unit, church, or other civic use building.
- (b) Parking requirements may be satisfied using Off-Site and Shared Parking Areas. These types of arrangements require City Council review and recommendation of the Planning and Zoning Board. These parking areas are permitted anywhere within the Highway Commercial (HC) and TPG districts and need to meet the provisions of Off-Site and Shared Parking Areas [Section 10.4].

Section 4.8. Bed and Breakfast Inns

- (a) Single family dwellings used as bed and breakfast inns shall be designated on the Local Register of Historic Places, and must have a minimum conditioned floor area of 1,500 square feet.
- (b) Single family dwellings used as bed and breakfast inns may not subdivide existing rooms into less than 200 square feet.
- (c) The bed and breakfast inn shall be owner-occupied.
- (d) All guest parking shall be to the rear of the home. Where on-street parking is permitted, the length of the street in front of the lot may be counted as parking. There shall be one space per room of lodging.

Section 4.9. Car Wash

- (a) Automatic car washes must be contained within an enclosed building.
- (b) Outdoor service areas including but not limited to drying, detailing, and vacuuming areas shall be
 - 1. Located to the rear or side of the primary structure;
 - 2. Landscaped in accordance with the requirements for Parking Area [Section 12.4 (a)]; and,
 - 3. Buffered from adjacent residential uses by a 20 foot landscape buffer in accordance with the requirements of Buffer Area [Section 12.4(f)].

Section 4.10 Cemetery

- (a) Funeral homes with or without cremation facilities are permitted.
- (b) Landscape buffer area of 10 foot, planted in accordance with the provisions of Buffer Area [Section 12.4(f) (2)], shall be required between the property line and any area where grave plots, columbaria, or mausoleums are located.
- (c) Fences or privacy walls, are permitted at a minimum setback of 10 feet from all property lines and meet the provisions of fences and privacy walls [Section 8.5].
 - 1. Privacy walls are limited to a maximum of 6 feet in height.
 - 2. Fences are limited to a maximum 8 feet in height.

Section 4.11. Places of Worship

- (a) The scale and activity level of places of worship is a function of size and the range of accessory uses associated with the institution. Very high activity levels have the potential to be disruptive to residential and small scale mixed use areas. To diminish disruptive impacts by ensuring appropriate location and design standards,

the development and expansion of religious institutions and accessory uses in residential, Traditional Punta Gorda (TPG), and Neighborhood Center (NC) zoning districts shall meet the following standards:

- (1) Places of worship shall meet the applicable standards of Article 7 Architectural Provisions.
- (2) Exterior lighting shall be directed or screened so as to protect the privacy of the private living areas and associated open spaces of adjacent residential properties.
- (3) Accessory dwelling units for persons associated with or employed by the church may be provided no greater than the density allowances for the zoning or regulating district; these limits do not apply to the placement of convents, rectories, parsonages or similar uses on the site.
- (4) Accessory uses such as ~~church~~ place of worship offices, religious bookstores or similar mission driven retail uses, parking lots, family life centers, multi-purpose facilities, outdoor recreational facilities, and day care centers on the same site or sites contiguous to the principal use shall be permitted. Similar uses on non-contiguous sites or on a site separated from the principal use by a public street shall be considered principal uses in their own right and be regulated as such.
- (5) Place of worship accessory uses which are not permitted as principal uses in a district shall adhere to the following restrictions: no merchandise or merchandise display shall be visible from outside the building and no business or identification sign pertaining to the accessory uses shall be visible from outside the building.
- (6) Application for a building permit shall include a comprehensive site plan which addresses the required standards and conditions for the main site and all abutting holdings.

Section 4.12. Civic Uses

- (a) Buildings incidental to the principal structure shall be behind a line a minimum of 20 feet from the front facade of the structure, and if more than one, shall be arranged to create secondary gathering spaces within the lot.
- (b) Parking shall be located towards the interior of the lot. On-street parking may be used to fulfill parking requirements. Parking may not occur within any front street setback or corner side setback.
- (c) Front Street setbacks may be altered to preserve views or significant trees.
- (d) Civic Use development over 3 acres shall provide 90% of the Article 10 parking requirement on-site.

Section 4.13. Commercial and Office Structures Exceeding 30,000 Square Feet [individually or in combination]

Traffic impact analysis is required involving all streets within 1 mile of the site and indicate method intended to resolve any conflicts. These shall be accepted as determined by the City and/or Florida Department of Transportation.

Section 4.14. Convenience Store/Service Station/Repair Garage

- (a) Major service and repair of motor vehicles is not permitted.
- (b) Buildings shall meet the relevant provisions of Article 7.
- (c) The number of positions where vehicles can be parked while fueling is limited to 12.

Section 4.15 Country Club

- (a) A country club building shall form a central gathering place for a neighborhood.
- (b) Parking shall be to the rear and/or side of the principal building.
- (c) The principal building shall face the fronting street and shall not be setback a distance that inhibits pedestrian access.
- (d) Accessory structures including but not limited to maintenance buildings, cart barns and similar structures shall be screened from adjacent properties and rights of way by both:
 - (1). Opaque fencing or privacy wall in conformance with the requirements of Fences and Privacy Walls [Section 8.5].
 - (2). Landscape buffer of 15 foot in width in conformance with the requirements of Buffer Area [Section 12.4 (f)].

Section 4.16. Day Care Centers

- (a) Day care centers for children can only be located on lots which provide ample open area of at least 2,500 square feet in order to provide an outdoor recreational area. Day care centers located adjacent to parks are exempt from this provision.
- (b) Paved and marked on-street parking may be used to fulfill parking requirements where such on-street parking is available. Parking off of the paved road, but within the grassed area of a right-of-way shall not be used to fulfill any parking requirements.
- (c) Outdoor recreational areas shall be fenced or walled. The minimum height for such walls or fences shall meet all state requirements but shall not exceed 6 feet.

- (d) Any side of an outdoor recreational area adjacent to a street shall have a landscape buffer of 10 foot in width in conformance with the requirements of Buffer Area [Section 12.4 (f)] in addition to the required fence or privacy wall.

Section 4.17. Drive-Through Facilities

- (a) Drive-through facilities must be located on the side or rear of a building and shall be limited to one lane on the side of a building and two lanes on the rear of a building and shall be screened from off-site view.
- (b) Stacking spaces for drive-through facilities shall be provided in compliance with Section 10.8 and located outside of and physically separated from the right-of-way of any street. This area shall not interfere with the efficient internal circulation of traffic on the site, adjacent property, or adjacent street right-of-way.
- (c) Drive-through facilities shall be screened from off-site view and street right of ways by a landscaped buffer with a minimum width of 10 feet, extending the entire length of the drive-through cueing or stacking area.
- (d) A permanent porte-cochere structure shall be constructed over the drive-through facility at the service area. Porte-cochere shall:
 - (1). Be a minimum of 20-feet in length along the direction of vehicular travel.
 - (2). Extend the width of the drive through lane(s).
 - (3). Be integrated structurally matching the architectural design of the building.
 - (4). May encroach up to one half the width of ~~into~~ the required side yard setback.

Section 4.18. Essential Service 1 and 2

- (a) Utility distribution lines, which deliver service to the end user from a substation fed by a transmission line providing service to an area larger than the individual parcel or project area, should be installed underground, unless subsurface conditions make underground installation not possible or practical.
- (b) Facilities used for the operation of essential services should, whenever possible, be located on interior properties rather than on properties aligned with other lots that have continuous street frontage.
- (c) Buildings and other structures which cannot adhere to the scale, volume, spacing, setback and typology of existing buildings along fronting streets shall provide an opaque screen to shield the view from all public rights-of-way and from abutting properties.

Section 4.19. Helistop

A helistop shall be permitted provided it complies with all applicable Federal Aviation Administration regulations and guidelines.

Section 4.20. Hotels/Motels/Inns

- (a) Shall be separated at least 750 feet from any residential district, measured from the closest point of the lot occupied by the hotel or motel to the closest point of lots in residential districts.
- (b) Hotels in the Traditional Punta Gorda (TPG) zoning district, Interchange Commercial Overlay district, and any Planned Development districts are not subject to the separation standards of this section.

Section 4.21. Kennels, Indoor/Outdoor

- (a) Require City Council approval except within the Highway Commercial and Interchange Commercial Overlay district.
- (b) No outdoor kennels shall be located within a minimum of 600 feet from any existing residence.
- (c) Kennels shall be designed to effectively buffer all noise audible to surrounding properties. Methods such as the use of sound barrier material such as bark-block and/or other approved insulation shall be used.
- (d) The animals shall be boarded in kennel units with insulation to further abate noise.
- (e) The minimum lot size shall be subject to the minimum lot area and dimension regulations of the zoning regulating district in which the use is located.
- (f) No building, structure, or outdoor dog run shall be closer than the minimum setbacks of the applicable zoning regulating district.
- (g) Safety fences up to a height of six feet are required.
- (h) Landscape Buffer shall be required of 15 feet in width planted in accordance with the provisions of Section 12.4 (f).
- (i) Kennels shall be limited to the boarding and grooming of domesticated dogs, cats and birds. Farm animals or exotic animals are expressly prohibited.
- (j) No animal having a disease harmful to humans shall be boarded or maintained in the facility.
- (k) The kennel shall have flushing drains which shall be connected to an approved sanitary facility and other physical elements to properly dispose of cleaning waste.

Section 4.22. Home-Based Businesses

- (a) Additional parking spaces are not required for the business, but any on-site parking spaces that serve the home-based business must comply with requirements of this code. Any vehicles or trailers parked at or near the business must be parked in legal parking spaces that comply with all restrictions in this code that apply to the home, and they may not be parked over a sidewalk. Heavy equipment (commercial, industrial, or agricultural vehicles, equipment, or machinery) may not be parked or stored where it would be visible from the street or neighboring property.
- (b) - The activities of the home-based business must be secondary to the property's use as a home. An employee or proprietor of the business must live in the home.
- (c) Up to two non-resident employees or independent contractors may also work at the business. The business may also have remote employees that neither live in the home nor work on-site.
- (d) No special signage is allowed for a home-based business; signage is regulated by Article 11.
- (e) As viewed from the street, the use of the home must be consistent with the uses of the surrounding residential area. External modifications to a home to accommodate a home-based business must conform with the residential character and architectural aesthetics of the neighborhood.
- (f) The business must comply with all local, state, and federal regulations with respect to the use, storage, or disposal of any corrosive, combustible, or other hazardous or flammable materials or liquids.
- (g) The business may not conduct retail transactions from a structure other than the home.

Section 4.23. Reserved

Section 4.24. Neighborhood and Outdoor Recreation

- (a) Service areas will be separated by an opaque screen from the view from any street and from abutting properties.
- (b) Chain link and similar fencing materials, if used, shall be planted on exterior side with evergreen shrubs minimum three feet in height and six feet on center at installation.

Section 4.25. Neighborhood Commercial Fueling Stations

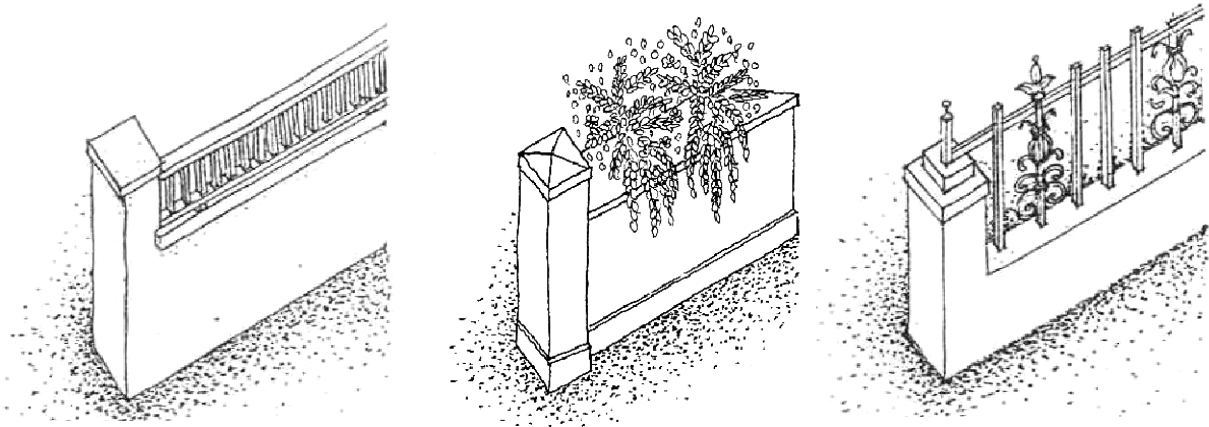
- (a) Neighborhood commercial fueling stations, by definition, permit retail sale of fuel and convenience products and the minor service and repair of motor vehicles.
 - (1). The number of positions where vehicles can be parked while fueling is limited to 6.
 - (2). Buildings shall meet the relevant provisions of Article 7.
 - (3). Fueling pumps, canopies, and associated service areas are prohibited in any required yard.

Section 4.26. Outdoor Storage

- (a) Outdoor storage shall not be placed in any established yard and no closer than 40 feet from an abutting street right-of-way.
- (b) The area of outdoor storage shall be screened from view from the street/s and from all abutting properties by a fence or privacy wall and a landscape buffer of 30 foot in width in conformance with the requirements of Buffer Area [Section 12.4 (f)].

Section 4.27. Parking Lot as a Principal Use within Commercial and Mixed Use Districts

- (a) Parking lots not associated with a building shall adhere to the standards of Article 10.
- (b) Parking lots shall be screened by vegetation that complies with the standards of 12.4.(a).(1). In the Downtown Core of the Traditional Punta Gorda (TPG) zoning district, however, parking lots shall instead be screened from public view using a solid wall no taller than 4 feet using a design acceptable to the Urban Design Manager; several wall concepts are illustrated here.



- (c) Multi-story parking lots must comply with the parking structure requirements in Section 4.28.

Section 4.28. Parking Structure

- (a) Parking structures shall be wrapped by retail, office, and/or other permitted uses along street edges. In the Downtown Core of the Traditional Punta Gorda (TPG) zoning district, these uses shall be contained in a building that meets the standards for the “Liner” building type.
- (b) Within the TPG outside of the Downtown Core, a minimum of 60 percent of any primary façade adjoining a street shall incorporate at least two of the following:
 1. Transparent windows, with clear or lightly-tinted glass, where pedestrian oriented businesses are located along the ground-level façade of the parking structure
 2. Display windows that showcase art, memorabilia, or merchandise not necessarily available on-site
 3. Decorative metal grille-work or similar detailing which provides texture and partially and/or fully covers the parking structure openings
 4. Art or architectural treatment such as sculpture, mosaic, glass block, opaque art glass, relief work, or similar features
 5. Vertical trellis or other landscaping or pedestrian plaza area

Section 4.29. Reserved

Section 4.30. Reserved

Section 4.31. Sidewalk Café

- (a) Shall require approval by the Development Review Committee for outdoor dining.
- (b) If dogs are to be allowed, then compliance with the provisions of Section 8.27 Outdoor Dining, Local Exemption to Allow Dogs in Designated Areas is required.

Section 4.32. Temporary Uses and Outdoor Sales of Seasonal Agricultural

- (a) The establishment of temporary sales lots for farmers markets, Christmas trees, and other seasonal agricultural products, plus related goods, are permitted upon the issuance of a temporary use permit by the Zoning Official. The following

conditions apply:

- (1). Christmas tree sales, produce stands, and similar temporary retail sales are permitted as temporary uses.
- (2). Truck trailers and flat beds are not permitted except for short-term delivery services.
- (3). Temporary uses utilizing a tent or similar canopy shall secure approval from the Punta Gorda Fire Department prior to approval.
- (4). Temporary uses shall be permitted for a maximum of 6 months. An extension may be granted for an additional 6 months upon application to the Urban Design Division.
- (5). Produce Stands may be permitted for a maximum of 6 months but may be re-permitted upon submission of a new application.
- (6). Temporary uses shall present proof of property owner approval prior to the issuance of a Use Permit.
- (7). Any and all uses herein shall be of a non-permanent nature.

Section 4.33. Water Related Structures

See Chapter 6 of City Code of Ordinances.

Section 4.34. Wireless Communication Facilities

- (a) Require City Council approval via special exception process [Section 16.8]
- (b) Wireless communications facilities may not exceed 40 feet in height in the Neighborhood Center (NC) district and 110 feet in height in the Highway Commercial (HC), and Public (P) Districts. Facilities shall be constructed using a monopole design with all antenna installed on the interior of the facility.
- (c) Alternate wireless communications facilities may be integrated into existing or newly developed structures not intended for human occupancy (i.e. church bell towers, steeples, street lights, water towers, electrical transmission towers) in the NC, HC, and P districts. All such facilities shall be disguised, hidden and designed to detract attention of all components using stealth design elements. Alternate facility designs must be presented in full drawing, accompanied by an impact analysis of the proposed alternate facility indicating the structure's visual impact on the surrounding environment prior to review by the City Council.
- (d) Free standing wireless communications facilities in HC and SP Districts shall be setback a distance equal to the total height measured from grade elevation from all adjoining properties of differing designation.
- (e) No wireless communications facility shall be sited within 1 mile of another wireless communications facility except as a component of existing public utility infrastructure.
- (f) All ancillary structures shall be screened with a 6 foot in height opaque screen of landscaping and wood fence, or wall, or any combination thereof.

- (g) All facilities shall be located outside of all front and side yards and shall provide buffering around all ground facilities.
- (h) Each applicant for approval of an alternate facility shall provide the City an inventory of its existing and future facilities that are either within the City or within 2 miles of the City. Information to be shown includes the location, height and design of each facility
- (i) All facilities will permit a minimum of 3 service providers, with all equipment for same built internal to the facility design.

Section 4.35. Reserved

Section 4.36. Reserved

Section 4.37. Reserved

Section 4.38. Reserved

Section 4.39. Permanent Canopy Shade Structures

Permanent canopy shade structures associated with outdoor recreational facilities [Section 4.29]-is a use permitted with conditions in the Environmental Preserve District (EP), Traditional Punta Gorda District (TPG), General Single-Family Residential District (GS), General Multi-Family Residential District (GM), Manufactured Home District (MH), Neighborhood Residential District (NR), Neighborhood Center District (NC), Highway Commercial District (HC), and Public District (P). In addition, permanent canopy shade structures associated with Automotive/Boat/Manufactured Home Sales and/or Service [Section 4.6] or Car Washes [Section 4.9] uses permitted by Special Exception in the Highway Commercial District (HC) and Interchange Commercial (IC).

- (a) Recreational facilities means land, improvements and equipment, whether publicly or privately owned, used for active or passive outdoor recreation by multiple families. It includes, but is not limited to tennis, bocce ball and shuffleboard courts, ball fields and picnic areas. Recreational facilities constructed as an accessory use or structure to single family residences shall not be considered recreational facilities for the purpose of this Section.
- (b) School playground shall include public and private schools or pre-schools which provide a daily curriculum of study with breaks for outdoor recreation.

- (c) Shade structures must meet all Florida Building Code requirements as determined by the Building Official as including but not limited to the following conditions:
 - (1). The frame, fabric, method of attachment, and the anchoring of the frame must meet all applicable Florida Building Code requirements
 - (2). The owner must submit a letter of agreement to remove the fabric covering if winds are forecast to exceed 75 mph or upon the order of the Chief Building Official.
- (d) The canopy providing shade shall be a tensioned fabric top shade which must be UV fade resistant and unaffected by cleaning products and must be replaced when it becomes 25% discolored or unsightly as determined by the Zoning Official or designee. Additionally:
 - (1). Fabric must be kept clean and free of mildew, mold or any other debris.
 - (2). Fabric must be kept taut and not sag or flap in the wind.
 - (3). Fabric must be replaced if it becomes torn or tattered as determined by the Zoning Official or designee.
- (e) Fabric must meet all applicable Florida Building Code requirements. The support structure must be made of corrosion-resistant metals such as galvanized or stainless steel or aluminum and have a powder coated surface. Unfinished support structures are prohibited.
- (f) Shade structure must have a sloped top, angled top, peaked top or be curvilinear. Flat topped structures are prohibited.
- (g) Shade structure must meet all setback requirements.
- (h) Pop-up tents or any structures which do not have a permanently anchored support structure which meets the above standards are specifically prohibited except when approved as part of a temporary special event or temporary business event with required tent permit issued by the Fire Department.
- (i) In addition to paragraphs (c) through (h) above, the following apply to permanent canopy shade structures associated with auto-oriented and auto-dependent when permitted as a use by Special Exception in the Highway Commercial District (HC):
 - (1). Shade structure must be located behind the primary building and not visible from any public right-of-way.
 - (2). Shade structure shall be no taller in height than the primary structure on the property.
 - (3). Shade structure shall be setback a minimum of 50 feet from any side lot line and 50 feet from the rear property line.
 - (4). Canopy shall be square or rectangular in shape and no larger than 1,000 square feet in area.
 - (5). Electrical power and plumbing are not permitted to be installed upon or under any shade structure.
 - (6). No more than one shade structure shall be permitted per property.
 - (7). No text, graphic or other marking shall be on the canopy and no signage

is permitted on or hanging from any shade structure.

Section 4.40. Mobile Food Dispensing Vehicles

- (a) Definitions. Located in Article 19 Section 19.9 Mobile Food Dispensing Vehicles (Section 4.40) Definitions.
- (b) Mobile Food Dispensing Vehicles Allowed. Notwithstanding any provision of the Punta Gorda Code to the contrary, and subject to the requirements of this Section, Mobile Food Dispensing Vehicles with a valid Local Business Tax receipt may be operated within the City of Punta Gorda in the following areas:
- (1). Developed properties in the Neighborhood Center (NC) Zoning District, the Highway Commercial (HC) Zoning District, the Interchange Commercial Overlay District, and the following regulating districts in the Traditional Punta Gorda (TPG) Zoning District: Downtown Core, Village Center, Flex Commercial Corridor, and Maker Village upon the review and approval of the Development Review Committee.
 - (2). Any other zoning district within the City of Punta Gorda if expressly approved as part of a Special Event, Business Event, Grand Opening Event, Temporary Promotional Event, or Temporary Use permit.
 - (3). Public property concession services agreement granted by the City of Punta Gorda.
 - (4). A Mobile Food Dispensing Vehicle may also be operated in any zoning district at an active construction site with a valid building permit provided the duration of selling food and beverages is limited to no more than one hour per day at any one such site.
- (c) Mobile Food Dispensing Vehicle Requirements. Prior to the dispensing of any food or beverage from any mobile food dispensing vehicle within the City of Punta Gorda, Mobile Vendors must have a valid Local Business Tax Receipt from the City of Punta Gorda for each mobile food dispensing vehicle. To obtain a Local Business Tax Receipt, or renewal thereof, Mobile Vendors must submit the following with a completed Local Business Tax Receipt application and annual renewal:
- (1). Proof of a current and valid license for a mobile food dispensing vehicle granted by the State of Florida Department of Business and Professional Regulation, Division of Hotels and Restaurants, the State of Florida Department of Agriculture and Consumer Affairs, or any successor agency, for each mobile food dispensing vehicle to be operated within the City.
 - (2). A site plan for each location the Mobile Vendor will operate a mobile food dispensing vehicle, depicting the specific location on each property where the vehicle will be parked for the purposes of dispensing food and/or beverages. It shall be a violation of this Section to operate a mobile food dispensing vehicle at any location other than as depicted on the site plan approved and made a part of the Local Business Tax Receipt issued by the City of Punta Gorda.
 - (3). A notarized affidavit, on a form to be provided by the City Clerk, signed by

each owner of the property upon which a mobile food dispensing vehicle will be parked for the purposes of dispensing food and/or beverages, indicating that the Mobile Vendor has the owner's permission to operate on the owner's premises in the location depicted on the approved site plan. The owner's notarized affidavit shall also include the following

- a. The property owner shall allow the Mobile Vendor, its employees, and customers access to bathroom facilities on the property owner's property, where available.
- b. The property owner shall allow the Mobile Vendor access to solid waste collection facilities on the subject property, where available. If solid waste collection facilities are not available at the subject property, the property owner will ensure that the Mobile Vendor removes all solid waste generated by its operation from the owner's property daily.
- c. The property owner shall ensure that the owner's property will be continuously maintained in a neat, clean, and orderly manner.
- d. That the location approved by the property owner for the parking of a mobile food dispensing vehicle for the purposes of dispensing food and/or beverages is not otherwise allocated to another tenant of the subject property, and is not an area required for parking, loading or unloading, or vehicular access to such facilities under the provisions of the City of Punta Gorda Land Development Regulations.
- e. The property owner shall notify the City Clerk in writing at any time that the owner revokes his/her authorization given to the Mobile Vendor.
- f. An acknowledgement by the property owner that only mobile food dispensing vehicles which have a current Local Business Tax Receipt issued by the City of Punta Gorda may be allowed to operate on the property and that the property owner will be deemed to be in violation of this Section if mobile food dispensing vehicles are allowed to operate on the owner's premises without a currently valid Local Business Tax Receipt issued by the City of Punta Gorda.
- g. Upon the sale of the property on which the Mobile Vendor has permission to operate, the City's authorization to operate a mobile food dispensing vehicle upon such property shall be suspended until the Mobile Vendor obtains and files with the City Clerk a notarized affidavit from the new owner of the property containing all of the information required in this Paragraph 3.

(4). The make, model and year of each mobile food dispensing vehicle for which a Local Business Tax Receipt is sought.

(d) Exemptions. Mobile food dispensing vehicles which are operated within the City of Punta Gorda only when expressly approved as part of a Special Event, Business Event, Grand Opening Event Temporary Promotional Event, Temporary Use permit, are exempt from the requirements of Section 4.40(c), but shall be required to comply with the requirements outlined within the City of Punta Gorda Event Manual. Any Mobile Vendor operating under a public property concession services

agreement approved by the City of Punta Gorda, is exempt from the requirements of Section 4.40(c), and shall be required to comply with the provisions of said agreement.

- (e) Transfer or Change of Owner. A Mobile Vendor may apply for a transfer or change of ownership of an issued Local Business Tax Receipt when necessary to change the prior approved ownership. The application for transfer or change of ownership shall include all of the information required in Section 4.40(c), together with the required transfer or change in ownership fee pursuant to Chapter 12, Section 12.9, Punta Gorda Code.

- (f) Food Dispensing Vehicle Operating Standards. The following standards shall apply to the operation of all mobile food dispensing vehicles within the City of Punta Gorda:
 - (1). No food or beverages may be dispensed from a mobile food dispensing vehicle unless said vehicle is operating under staff approval and a current and valid Local Business Tax Receipt issued pursuant to the provisions of this Section and Chapter 12, Punta Gorda Code. This requirement shall not apply to mobile food dispensing vehicles that are exempt under the provisions of Section 4.40(d).
 - (2). The current Local Business Tax Receipt must be prominently displayed on the authorized mobile food dispensing vehicle at all times and must be presented for inspection upon the request of any City of Punta Gorda Code Compliance officer or Police officer. This requirement shall not apply to mobile food dispensing vehicles that are exempt under the provisions of Section 4.40(d).
 - (3). Mobile food dispensing vehicles shall only dispense food or beverages at the location(s) specified on the approved site plan which was approved with the Special Exception and Local Business Tax Receipt application. This requirement shall not apply to mobile food dispensing vehicles that are exempt under the provisions of Section 4.40(d).
 - (4). Mobile Vendors shall keep mobile food dispensing vehicles and the premises upon which food or beverages are dispensed in a sanitary, clean, neat, and orderly condition. Mobile Vendors shall be responsible for the removal of all litter in the vicinity of their vehicles.
 - (5). Mobile Vendors shall provide solid waste receptacles on or near mobile food dispensing vehicles when dispensing food or beverages.
 - (6). Mobile food dispensing vehicles shall not be parked in such a location so as to interfere with required parking, loading and unloading zones, no parking zones, or the vehicular access to such spaces.
 - (7). No mobile food dispensing vehicle shall operate upon any premises where the owner thereof has revoked prior authorization to the Mobile Vendor.
 - (8). The use of sound equipment, bells or other devices that produce sound, which is audible outside of a mobile food dispensing vehicle shall be prohibited. This requirement shall not apply to mobile food dispensing vehicles that are exempt under the provisions of Section 4.40(d).
 - (9). Mobile food dispensing vehicles may not dispense food or beverages in

any area that is a public right-of-way or City park or other public property unless expressly authorized by the City. This requirement shall not apply to mobile food dispensing vehicles that are exempt under the provisions of Section 4.40(d).

- (10). Mobile Vendors shall operate mobile food dispensing vehicles in accordance with all terms and conditions specified in the applicable license granted for said vehicle by the State of Florida Department of Business and Professional Regulation, Division of Hotels and Restaurants, the State of Florida Department of Agriculture and Consumer Affairs, or any successor agency.
 - (11). Except for mobile food dispensing vehicles which are operating as part of a "Special Event", "Business Event", "Grand Opening Event", "Temporary Promotional Event", "Temporary Use" permit, or public property concession services agreement granted by the City of Punta Gorda, all mobile food dispensing vehicles must vacate the premises approved for their operation when not actively conducting business.
 - (12). A mobile food dispensing vehicle shall be deemed to be "not actively conducting business" when said vehicle is unoccupied by an employee of the Mobile Vendor. Mobile food dispensing vehicles which are operating as part of a "Special Event", "Business Event", "Grand Opening Event", "Temporary Promotional Event", "Temporary Use" permit, or public property concession services agreement granted by the City of Punta Gorda shall vacate the premises approved for their operation when required to do so in the document authorizing their activity.
 - (13). Mobile food dispensing vehicles are authorized to display a maximum of one (1) City approved sign, no smaller than 1-foot by 1-foot, or larger than 3-foot by 3-foot that is attached to the mobile food dispensing vehicle. Additionally, a single portable sign shall be permitted within the parameters of the Punta Gorda Code regulations for portable signs.
 - (14). The use of any temporary canopies, tents or any other temporary shade structure in conjunction with an approved mobile food dispensing vehicle is prohibited.
 - (15). The sale, dispensing or distribution of intoxicating beverages including but not limited to liquor, wine and beer from a mobile food dispensing vehicle is prohibited.
- (g) Prohibition. It shall be unlawful to operate, or allow to be operated, any mobile food dispensing vehicle within the City of Punta Gorda, Florida except in full conformity with the provisions of this Section.
- (h) Enforcement. shall be made in accordance with the provisions of City of Punta Gorda Code of Ordinances, Chapter 9A Code Enforcement, penalty may include suspension or revocation of outdoor dining permit issuance of an Order to cease and discontinue all mobile food dispensing operations immediately. Said Order may be valid for a period of up to two (2) years; and shall order the City Clerk to revoke all Local Business Tax Receipts authorizing the use of mobile food dispensing vehicles within the City of Punta Gorda held by said Mobile Vendor for a period of two (2) years.

Section 4.41. Warehouse/Distribution Centers

- (a) Except for development in the Maker Village within the Traditional Punta Gorda (TPG) zoning district, a warehouses/distribution center shall be separated at least 200 feet from any residential development, measured from the closest point of the lot occupied by the warehouse/distribution center to the closest point of lots in residential development.

Article 5

Planned Development

These regulations are intended to promote and enhance the public health, safety, and welfare by providing comprehensive regulations and requirements for unified planning and development of tracts of land held in common ownership or control. Planned Development (PD) provides for the development of new neighborhoods and the revitalization or extension of existing neighborhoods, structured upon a fine network of interconnecting pedestrian oriented streets and other public spaces. In considering petitions for concept plan approval, the City Council shall consider the extent to which the proposed planned development fulfills the following objectives:

- (a) To promote a harmonious mixture of land uses and housing types and housing cost which will allow people to work and shop in the neighborhood in which they live.
- (b) To encourage creative design to complement and enhance the City's visual character.
- (c) To ensure adequate provision and efficient use of open space and recreational facilities.
- (d) To provide for the enhancement and preservation of property with unique features such as historic significance, sensitive environmental resources, and scenic qualities.
- (e) To promote good transportation design to minimize new traffic generation and separate pedestrian, bicycle, local residential and through motor vehicle traffic.
- (f) To reduce public utility maintenance costs by encouraging efficient land use patterns.
- (g) To promote energy-conserving buildings and site designs and land use patterns.

Section 5.1. Applicability

The provisions of this Article apply to Planned Development Districts approved by the City Council for Planned Development Neighborhoods [PDN]; Planned Development Villages [PDV]; Planned Employment Centers [PEC]; and Planned Mixed Use [PMU]; all called "Planned Developments" in this Article. Planned Development Districts are not permissible within the Traditional Punta Gorda (TPG) Zoning District.

Section 5.2. Minimum Site Area

- (a) Each PDN District shall be a minimum of 1 acre and no larger than 40 acres.

- (b) Tracts larger than 40 acres shall be developed as a Planned Development Village (PDV) or Planned Mixed Use (PMU). Each PDV or PMU_District shall be a minimum of 40 acres and no larger than 200 acres in area.
- (c) Tracts larger than 200 acres shall be developed as multiple districts.
- (d) Each Planned Employment Center (PEC) District shall be at least 5 acres in area unless the proposed planned development is a logical extension of an existing commercial or employment area.
- (e) PMU Districts have no minimum or maximum site areas.

Section 5 .3. Development Standards

- (a). The area of the PD shall be divided into blocks, streets, lots, and open space.
- (b). Along existing streets, new buildings shall respect the general spacing of structures, building mass, scale, and street frontage relationships of existing buildings.
- (c). New buildings which exceed the scale and volume of existing buildings may demonstrate compatibility by varying the massing of buildings to reduce perceived scale and volume.
- (d). On new streets, allowable buildings and lot types will establish the development pattern.
- (e). Public streets or private platted, improved streets shall provide access to all tracts and lots.
- (f). Streets and alleys shall, wherever practicable, terminate at other streets within the neighborhood and connect to existing and projected streets outside the development.
- (g). Cul-de sacs shall not exceed 250 feet in length, must be accessed from a street providing internal or external connectivity, shall be permanently terminated by a vehicular turnaround, and are permitted where topography makes a street connection impracticable. Vehicular turnarounds of various configurations are acceptable so long as emergency access is adequately provided.
- (h). No block face should have a length greater than 500 feet without a dedicated alley or pathway providing through access.
- (i). A continuous network of rear alleys is recommended for all lots in a PD.
- (j). Rear alleys shall provide vehicular access to lots 60 feet or less in width.
- (k). Utilities may run along alleys.

- (l). Except in PMU Districts, building height shall be limited to a maximum of 60 feet above Base Flood Elevation (BFE) and Freeboard required by the Florida Building Code except where additional height is approved by City Council based on one or more of the following conditions:
 - (1). Primary building use is a hotel.
 - (2). Land is dedicated to the City of Punta Gorda for uses including, but not limited to public safety facilities, recreational opportunities, Public Park, library, or school.
 - (3). Site plans that exhibit a full integration of residential, shopfront and workplace uses while physical details that enhance the site's level of sustainability or climate resiliency as described within the goals, policies, and objectives of the City's Comprehensive Plan, including the Coastal Management Element. Examples could include meeting the standards for LEED ND, wetland/natural habitat restoration, wildlife corridor protection, among numerous other opportunities.
- (m). In PMU Districts, applicants shall select a regulating district or districts for their property, which will dictate the development standards, as codified in Section 3.2.
- (n). PD districts shall comply with the provisions of Articles 7, 9, 10, 11 and 12 of Chapter 26.
- (o). To prevent the buildup of vehicular speed, disperse traffic flow, and create a sense of visual enclosure, long uninterrupted segments of straight streets shall be avoided.
- (p). Methods designed to calm the speed and disperse the flow of traffic shall be utilized in the internal street network. These methods include, but are not limited to:
 - (1). Special paver and/or raised crosswalks or intersections
 - (2). Roundabout
 - (3). Chicanes
 - (4). Center islands
- (q). Emergency access must be provided.
- (r). A minimum percentage build-out at the build-to-line shall be established on the plan along all streets and public square frontages.
- (s). Civic lots shall be within or adjacent to a square or park or on a lot terminating a street vista.
- (t). Uses on the perimeter of a PD shall be compatible with surrounding development.
- (u). Setbacks for uses on the perimeter shall be consistent with the adjoining land use where such use is developed for single-family residential purposes.

Section 5.4. Lot Size

Except in PMU Districts, no Planned Development shall be approved which contains lots with areas or widths less than provided below for the dwelling types shown:

(a) Single-Family Detached:

- (1). Minimum lot area: 5,000 square feet
- (2). Minimum lot width: 50 feet

(b) Single-Family Attached (development type with attached structures on individual lots):

- (1). Minimum lot area: 2,000 square feet
- (2). Minimum lot width: 20 feet

(c) Duplex:

- (1). Minimum lot area: 8,000 square feet
- (2). Minimum lot width: 75 feet

(d) Multi-Family:

- (1). Minimum lot area: 10,000 square feet
- (2). Minimum lot width: 75 feet

(e) Commercial and mixed-use:

- (1). Minimum lot area: No minimum
- (2). Minimum lot width: No minimum

In PMU Districts, lot sizes shall be as provided by Section 3.2 for the approved regulating district(s); see Section 5.9.

Section 5.5. Calculation of Density

The maximum number of dwellings permitted in a Planned Development shall be calculated by multiplying the applicable Comprehensive Plan density limit expressed in dwellings per acre by the gross total acreage of the planned development. All lands included within the calculations must be under the ownership or control of the applicant.

Section 5.6. PDN, Planned Development Neighborhood District

Planned Development Neighborhood [PDN] Districts are intended to encourage the development of a mixture of housing types and price ranges and to promote the organization of residential development into efficient neighborhoods with appropriate supportive community facilities and services.

(a) Permitted Uses. The following uses are permitted in a PDN District:

- (1). Single-family, two-family, and multi-family.
- (2). Government/Office.

- (3). Neighborhood commercial/shopfront.
- (4). Cemetery.
- (5). Fire and/or rescue facility.
- (6). Group homes.
- (7). Park, public.
- (8). Place of worship.
- (9). Recreation facility.
- (10). School, general education.
- (11). School, public.
- (12). Essential services 1, 2 and 3.
- (13). Any other uses designated in the PD application with City Council approval.

(b) Open Space.

- (1). Community recreational sites shall be provided at a rate of 0.25 acres for each 100 dwelling units minimum.
- (2). Recreational areas and facilities such as playgrounds, tennis courts, basketball courts, swimming pools and community buildings shall be provided to meet the anticipated needs of residents and occupants of the planned development.
- (3). All open space including public recreational facilities shall be included in the development schedule and be constructed and fully improved by the developer at a rate equivalent or greater than the rate of construction of dwellings.

Section 5.7. PDV, Planned Development Village District

Planned Development Village [PDV] Districts are intended to promote the development of self-sufficient communities which are organized around a mixed-use center of commercial, employment, community facility and high density residential uses.

The intent of the PDV District is to encourage efficient land use patterns which conserve energy and natural resources and provide a variety of living and working environments integrated with adequate open space and recreational facilities.

(a) Permitted Uses. The following uses are permitted in a PDV District:

- (1). Single-family, two-family and multi-family.
- (2). Civic uses.
- (3). Neighborhood commercial/shopfront.
- (4). Mixed Use Center, see (b) below.
- (5). Office.
- (6). Cemetery.
- (7). Fire and/or rescue facility.
- (8). Group homes.

- (9). Library.
- (10). Museum.
- (11). Nursing home.
- (12). Park, public.
- (13). Place of worship.
- (14). Recreation facility.
- (15). School, general education.
- (16). School, public.
- (17). Essential Services 1, 2 and 3.
- (18). Any other uses designated in the PD application with City Council approval.

(b) Mixed Use Centers required. In PDV Districts, a mixed used center is required.

- (1). A minimum of five percent of the gross area of a PDV shall be designated for shopfront or workplace buildings. The City Council may eliminate the requirement for lands used for shopfronts and/or workplaces subject to a finding that the proposed alternative arrangement more fully integrates the project into an existing neighborhood.
- (2). Mixed use centers are a cluster of residential, commercial, employment and community facility uses designed to serve as the focus of a residential village.
- (3). Uses shall be supportive of and compatible with surrounding residential development.
- (4). Non-residential uses shall be confined to the first two floors when located in the same building as residential uses.
- (5). Residential uses shall be provided with separate entrances.
- (6). The negative effects of employment facilities, such as noise, dust and fumes, shall be completely contained within individual buildings.
- (7). The transportation system shall not create conflicts between local and regional uses or generate through traffic in residential areas.

(c) Open Space.

- (1). Open space shall be provided and maintained as required by this Article.
- (2). Community recreational sites shall be provided at a rate of 0.25 acres for each 100 dwelling units.
- (3). A minimum of 0.25 acres for each 100 dwelling units shall be dedicated for open space. City Council may eliminate or reduce this

requirement subject to a finding that the proposed development plan offers additional development benefits to the public.

- (4). Recreation areas and facilities, such as playgrounds, tennis courts, basketball courts, swimming pools and community buildings should be provided to meet the anticipated needs of residents of the planned development.
- (5). All common open space, including public recreational facilities, shall be included in the development schedule and be constructed and fully improved by the developer at a rate equivalent to or greater than the construction of residential units.

Section 5.8. PEC, Planned Employment Center District

The Planned Employment Center [PEC] District is intended to encourage innovative and creative design of retail, office, and industrial development. The PEC District regulations are designed to promote attractive employment areas which complement surrounding land uses through high quality layout, design, and construction techniques.

(a) **Permitted Uses.** The following principal uses are permitted in a PEC District:

- (1). Convention center.
- (2). Hotel and motel, Inn.
- (3). Office [business, professional or government].
- (4). Commercial, retail uses.
- (5). Recreational facilities.
- (6). Light intensity industrial so long as use is rendered unobjectionable because noise, heavy truck traffic, odor, fumes, and other potential nuisances are effectively mitigated by performance standards set out in the ordinance establishing the use.
- (7). Fire and/or rescue facility.
- (8). Group homes.
- (9). Park, public.
- (10). Recreation facility.
- (11). Hospitals, schools, technical and special instruction.
- (12). Essential services, classes 1, 2 and 3.
- (13). Any other uses designated in the PD application with City Council approval.

(b) **Support Uses.** The following support uses are permitted in a PEC District when subordinate to principal office or industrial uses:

- (1). Service station.
- (2). Service and supply establishments.
- (3). Convenience retail food stores.
- (4). Bank, with drive-in facility.
- (5). Health club or spa.

- (6). Parking structure, private.
- (7). Service, personal.
- (8). Pharmacies, retail pharmacies.
- (9). Repair service establishments.
- (10). Eating establishments and fast food.
- (11). All principal and accessory residential uses intended as living quarters for employees or owners of establishments within the District if located and designed in a manner appropriate to the character and function of the District.

(c) **Use Limitations.** The following limitations apply to uses of land in a Planned Employment Center in addition to any limitations provided in the ordinance establishing the District.

- (1). All operations shall be conducted within a fully enclosed building unless the City Council finds that outdoor operations are compatible with the planned employment center.
- (2). The gross land area of all residential uses shall not exceed 15 percent of the total land area of the district. Land where residential uses occur over non-residential uses shall not be included in the calculation of this percentage.
- (3). Automobile service stations may include accessory uses such as vehicle or tool rental; however, shall not include the outdoor storage of any inoperable, wrecked or abandoned vehicles on the site for more than 72 hours.

(d) **Open Space.**

- (1). At least 30 percent of the gross area of a Planned Employment Center shall be open space.
- (2). Any common open space provided shall be maintained as required by this Article.
- (3). All open space shall be included in the development schedule and be fully improved by the developer at a rate equivalent to or greater than the construction of all structures.

Section 5.9. PMU, Planned Mixed Use District

Planned Mixed Use [PMU] Districts are intended to encourage a mixture of housing types and price ranges and may include the thoughtful integration of community facilities and/or business uses.

Permitted uses and development standards shall be based on standards in Section 3.2 of this code for the Traditional Punta Gorda (TPG) District:

- (a) An applicant for the PMU District shall propose a TPG regulating district for the PMU site. Larger sites may include two or more contiguous but not overlapping regulating districts.
- (b) The Concept Plan and Planned Development [PD] Plan shall identify where each TPG regulating district would apply and shall follow the standards for that regulating district to establish the proposed locations of streets, blocks, lots, and other physical features.
- (c) If any code modifications are requested, the PD Plan shall include a detailed and complete listing of each proposed modification of an TPG standard or an otherwise applicable code requirement, and shall identify where on the site each modification would be used. Requests for code modifications may include a request for a special exception.
- (d) Land in an approved PMU District shall be regulated by the terms and conditions of the ordinance approving PMU zoning including the approved PD Plan and approved code modifications, and by standards in the designated regulating district in Section 3.2 other than those modified or restricted by the PMU ordinance. Allowable uses shall be those shown as permitted uses for the regulating district, except as may be restricted by the terms and conditions of the PMU ordinance, plus any uses approved by the City Council as special exceptions.

Section 5.10. Procedures

Planned Development Districts shall be established in accordance with the following standards and procedures:

- (a) **Concept Plan.** A concept plan of the proposed development shall be submitted to the Zoning Official or their designee. The Concept Plan application shall include a map of the property and land area within 200 feet showing:
 - (1). The general location and arrangement of proposed uses, including open space and recreational uses.
 - (2). The general alignment of major arterials or primary thoroughfares, minor arterials, or major thoroughfares, through collector roads and general alignment of pedestrian ways.
 - (3). The location of sensitive and critical environmental features as defined in the Comprehensive Plan [floodplains and wetlands].
 - (4). The approximate number of dwellings by type and the approximate floor area of non-residential uses.
 - (5). Such other information as is necessary and appropriate to show compliance with Comprehensive Plan policies.

If a concept plan is determined to be consistent with the Comprehensive Plan by the Zoning Official, a Planned Development Plan [PD] may be prepared. If the Zoning Official determines that the concept plan is not consistent with comprehensive plan, the applicant may appeal the decision to the City Council under the provisions of

Section 16.2.

- (b) **Planned Development [PD] Plans.** A PD Plan is the detailed development plan for the proposed planned development and must cover all of the land area to be included in the planned development.
- (c) **Application Filing.** PD Plan applications shall be filed with the Urban Design Department. The required application form must be completed and signed by the applicant and owner/s of the property. Upon receipt of an application, the Zoning Official or their designee shall acknowledge acceptance or rejection of the application in writing within ten working days from the date of submittal. Upon acceptance of a completed application, the application shall be forwarded to the Development Review Committee (DRC) and review and comment. Once all comments have been received by the Urban Design Department, comments generated shall be forwarded to the applicant.
- (d) **Developer's Statement.** Each PD Plan application shall contain a statement by the applicant describing how the proposed development departs from the otherwise applicable [conventional district] standards of this code with citations referencing the specific code requirement for each deviation proposed. The Developer's statement should explain how the proposed development, on balance, will benefit the City as a whole more than would a development approved under otherwise applicable standards.
- (e) **Submittal Requirements.** PD Plan applications shall include all of the following information:
- (1). The proposed classification of the planned development, the existing district classification of the subject property and the property adjacent to the subject property.
 - (2). Proposed maximum numbers and types of dwellings.
 - (3). Proposed non-residential uses by category.
 - (4). Proposed maximum floor area of non-residential buildings by type of use.
 - (5). Proposed location and types of all uses, including open space.
 - (6). Proposed public facility sites, areas, and locations.
 - (7). Concept plan delineating the general location of major features of including but not limited to blocks, lots, streets, sidewalks, paths, bicycle facilities, landscape buffers, park/recreational areas, stormwater management areas, environmentally sensitive features, wetlands, buildings, and/or parking. Zoning Official shall determine the adequacy of features included based on the developer's statement of the Planned Development.
 - (8). Proposed maximum building heights.
 - (9). Proposed minimum lot areas, depth, and width.
 - (10). Proposed minimum yard requirements.

- (11). Proposed limitations and requirements on buildings and land uses including accessory buildings and uses, ~~such as home occupations.~~
 - (12). Deed, legal description and survey of the boundary and existing easements made and certified by a certified land surveyor.
 - (13). Names and mailing addresses of owners of the planned development.
 - (14). Proposed name of the planned development.
 - (15). The names of all abutting subdivisions and the names and mailing addresses of owners of record of abutting property.
 - (16). Location, names and width of existing and proposed streets, parks, and other public open spaces within and immediately adjacent to the proposed planned development.
 - (17). All parcels of land and easements [existing or proposed to be dedicated] for public use and the conditions of each dedication.
 - (18). Date, true north point, scale, and a key map showing the general location of the proposed planned development.
 - (19). The proposed plan for development phasing indicating the time schedule for submittal of final development plans for the planned development.
 - (20). Supporting calculations and documentation to support findings of additional benefit to the public health, safety and welfare that justify additional residential density or floor area ratio of non-residential buildings.
 - (21). Conceptual architectural plans and elevations for any proposed multi-family, non-residential, or mixed-use buildings proposed as part of the PD. This provision does not apply to Planned Mixed Use (PMU) as all PMU developments are subject to the specific requirement of Section 3.2 including building types and Article 7 Architectural Provisions.
- (f) **Code Modifications.** The PD Plan shall include a detailed and complete listing of all proposed modifications of otherwise applicable code requirements. For proposed code modifications in the PMU (Planned Mixed Use) district, also see Section 5.9. The request for code modifications shall be processed concurrently with the PD Plan and Zoning Amendment.
- (1). The regulations of the PD District sought shall apply after the amendment is approved unless the City Council approves a modification to the requirements that would otherwise apply.
 - (2). No modification shall be approved unless the City Council finds that such modification to the regulations are consistent with the goals, objectives, and policies of the adopted City of Punta Gorda Comprehensive Plan.

(g) **PD Plan Approval Criteria.** No PD Plan shall be considered unless the City Council finds the proposed planned development is consistent with the goals, objectives and policies of the adopted City of Punta Gorda Comprehensive Plan. To this end an applicant for approval of a planned development shall show and the City Council shall find that a proposed planned development:

- (1). Is in conformity with the Comprehensive Plan.
- (2). Is compatible with the surrounding neighborhood.
- (3). Mitigates conflicts of use with adverse impacts on existing and planned development.
- (4). Provides adequate public facilities and amenities.
- (5). Adequately accommodates anticipated motor vehicle traffic volumes, including minimizing potential vehicle traffic impacts and providing emergency vehicle access.
- (6). Preserves ecologically sensitive areas to the extent practical.
- (7). Mitigates unfavorable topographic and geological conditions.
- (8). Includes appropriate buffering of non-compatible uses within or surrounding the proposed PD.
- (9). Maximizes bicycle and pedestrian connectivity

(h) **Planned Development Map Amendment.** Final approval for a Planned Development comes in the form of a Zoning Map Amendment using the process delineated in Section 16.11 Zoning Map Amendments as supplemented by the requirements of this Article. The coding the subject property shall be to the applicable Planned Development District.

(i) **Planned Development Map Amendment Approval.**

- (1). No ordinance approving a Planned Development Map Amendment shall become effective until the owner of the tract of land involved has signified acceptance and agreement to the terms and conditions of the ordinance.
- (2). To the extent authorized by this article, the ordinance approving a Planned Development Map Amendment may supersede specific provisions of this code to the contrary.
- (3). Any changes proposed in an approved planned development shall be by amendment of the ordinance in accordance with procedure provided herein for adoption of such an ordinance.

Article 6

Application of Regulations

Section 6.1. Use or Occupancy

No building, structure, land, or water shall hereafter be used or occupied, and no building, structure, or part thereof shall hereafter be erected, constructed, reconstructed, located, moved or structurally altered except in conformity with the regulations of this Ordinance or amendments thereof for the district in which it is located or as otherwise specified in this Article. The regulations herein set out within each district shall be minimum or maximum limitations, as the case may be, and shall apply uniformly to each class or kind of structure, use, or land or water.

Section 6.2. Height and Density

No building or structure shall hereafter be erected or altered so as to exceed the height limits, or the density regulations of this Ordinance in any manner contrary to the provisions of this Ordinance.

Section 6.3. Lot Size

No lot or combination of lots held in single ownership nor yard existing at the effective date of these regulations shall thereafter be reduced in size, dimension, or area below the minimum requirement set out herein, except by reason of a portion being acquired for public use in any manner, including dedication, condemnation, purchase and the like. Lots or yards created after the effective date of this Ordinance shall meet at least the minimum requirements established herein. No permit shall be issued for any lot having an area less than 5,000 square feet or a width less than 50 feet, unless otherwise provided for in these regulations.

Section 6.4. Yard Limitations

No part of a required yard or other required open space, or required off-street parking or off-street loading space, provided in connection with any building, structure or use, shall be included as meeting the requirements for any other building, structure or use, except where specific provision is made in the provisions of this Ordinance:

Section 6.5. Forms of Ownership

These regulations shall be construed and applied with reference to the nature of the use of such property and without regard to the form of ownership.

Section 6.6. Deed Restrictions

No public agency shall be responsible for enforcing any deed restrictions or restrictive covenants.

Section 6.7. Erection of More than One Principal Structure

In any district, more than one structure is permitted, provided on a non-residential lot that each structure is a permitted or permissible principal use on the lot and provided that yard, area and other requirements of these regulations shall be met for each structure as though it were on an individual and separate lot. This individual-lot requirement shall not apply in the Traditional Punta Gorda (TPG) zoning district.

Section 6.8. Building Separation

Interior side yard setbacks for multiple structures on a single property must be one-half the building height but not less than ten feet. This interior side yard setback requirement shall not apply in the Traditional Punta Gorda (TPG) zoning district.

Section 6.9. Permit Requirements

- (a) Survey Required. All new construction, including, but not limited to, additions, swimming pools, sheds, lanai extensions, concrete slabs [regardless of size], garages or other accessory structures shall require submittal of two original signed and sealed boundary surveys, that are less than one year old that show the location and setbacks of all existing improvements and/or structure(s) on the building site or lot as part of the building permit application. Said survey shall be prepared by a qualified surveyor, licensed in the State of Florida. If the lot or building site is vacant, the survey shall so state.
- (b) Foundation Location Survey Required. No building or structure shall be constructed beyond the stemwall stage or foundation stage until such time as the foundation location has been inspected and approved by the Zoning Official or his/her designee. Any construction done prior to receiving approval as to location and setback from the Zoning Official is at the contractor's risk.
- (c) General Site Plan or Plot Plan. All permit applications shall include two (2) copies of a "to scale" plot plan, as determined by the Zoning Official, indicating setbacks to property lines at the closest points on all proposed construction or reconstruction.
 - (1). For all new construction such as, but not limited to, building additions, swimming pools, sheds, lanai extensions, concrete slabs, sidewalks, driveway additions and the like, the total impervious area calculation must be included on the plot plan.
 - (2). Impervious area includes all areas of the property that are covered with an

impervious surface, or partially impervious surface, such as, but not limited to, the house footprint, concrete or paver or other partially impervious surface driveways, walkways, equipment pads, swimming pool and deck, stairs, etc.

- (d) Additional Data. The Zoning Official may require details, computations, dimensioned diagrams and other data necessary to describe the construction or installation and the basis of calculations. All drawings, specifications and accompanying data required by the Zoning Official shall be prepared by an architect or engineer and shall be affixed with their official seal, unless specifically exempted by the Zoning Official.

Section 6.10. Inspections

- (a) A Certificate of Occupancy shall not be issued for any property until a final inspection has been completed by the Zoning Official or his/her designee and the site is found in compliance with Chapter 26 of the Punta Gorda Code, also known as the Land Development Regulations, the approved building permit, site plan, landscape plan, photometric plan, and architectural elevations as applicable.
- (b) The Zoning Official or designee may examine or cause to be examined any building site for which an application has been received to enlarge, alter, repair, move, demolish, install or change the occupancy of any existing construction and for all new construction.
- (c) The Zoning Official or designee shall inspect all buildings, structures and appurtenances upon completion of the work for which a permit has been issued to verify compliance with the City's Land Development Regulations. A written record of every such examination and inspection, and all violations of the Punta Gorda Code shall be kept.
- (d) The initial zoning inspection shall be included as part of the original permit fee.
 - (1). If the site is found to be out of compliance with the City's Land Development Regulations, the approved building permit or site plan, the owner agent shall be notified of the deficiency and the necessary action required to bring the site into compliance.
 - (2). Once the deficiency has been corrected, a re-inspection may be requested by the owner/agent.
 - (3). A re-inspection will be required in the event that any work, including the requested repairs or corrections, is incomplete at the time the inspection or re-inspection is made, when any prior inspection has been turned down due to faulty construction, and for just cause as determined by the Zoning Official.
 - (4). The fee for each re-inspection shall be \$50 per site visit.

Article 7

Architectural Provisions

The architectural elements of building type, definition, style, and character serve as essential elements of City design. This Article serves as the framework for the architectural and building design requirements in Chapter 26.

Section 7.1. Applicability and Modifications

All new construction within the Traditional Punta Gorda Zoning District shall conform to the architectural provisions of Sections 7.2, 7.3, 7.4 and 7.5 of this Article except as follows:

Section 7.1. Applicability and Modifications

- (a). All new construction within the Traditional Punta Gorda Zoning District shall conform to the architectural provisions of Sections 7.2, 7.3, 7.4 and 7.5 of this Article except as follows:
 - (1). Buildings in the Flex Commercial Corridor Regulating District are not required to comply with Architectural Style Standards Article 7.5.
 - (2). Single-family and duplex homes outside the Community Redevelopment Area (CRA) are not required to comply with Article 7.
- (b). All new construction within the following Zoning Regulating Districts are subject to the provisions of Section 7.7:
 - (1). Neighborhood Center District
 - (2). Highway Commercial District
 - (3). Interchange Commercial Overlay District
- (c). The Zoning Official or their designee may approve minor variations to this section provided similar materials, configurations, and/or techniques are used that fulfill the intent of this Code. Major variations to building facade requirements due to unique building use requirements may be approved by the City Council, provided the overall pedestrian nature of the street is maintained in accordance with all other standards. All variations shall be noted on the final approved plan.

Section 7.2. Architectural Standards

- (a). Façade Composition. The façade, or front, of a building, should be designed with an intentional rhythm of openings and solids that creates a sense of

harmony and helps differentiate buildings that are attached or close to one another (see Figure 1).



Figure 1: Example of Façade Compositions

- (b). Balance. To achieve a better balance of openings and solids it is important to avoid duality, which means the distribution of similar or identical elements in even numbers along a façade. The 2-bay example in Figure 2 demonstrates how duality creates a façade without any obvious focal point. In general, an odd number of bays and a central bay that is wider than those on either side help to prevent duality and achieve a more balanced façade composition (see Figure 3).

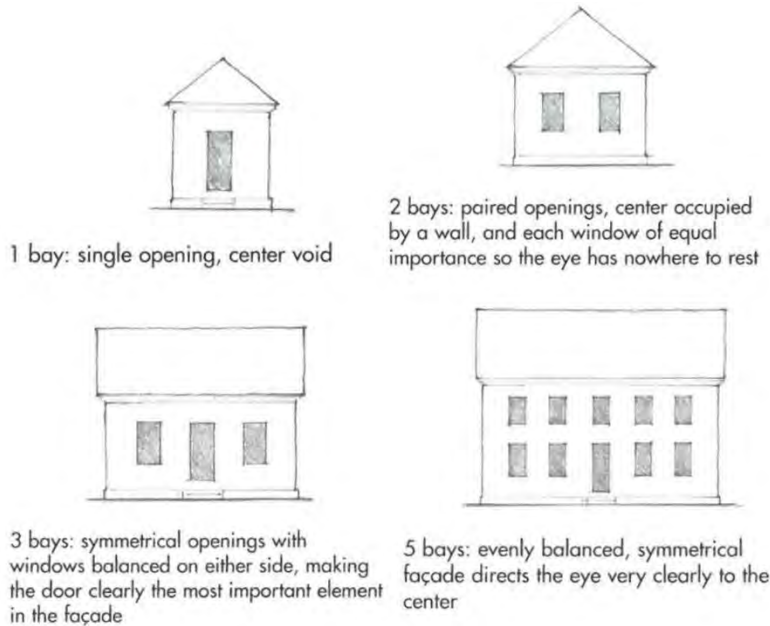


Figure 2: Understanding Bays.

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 24, fig. 2.8 'Unity and Duality'.

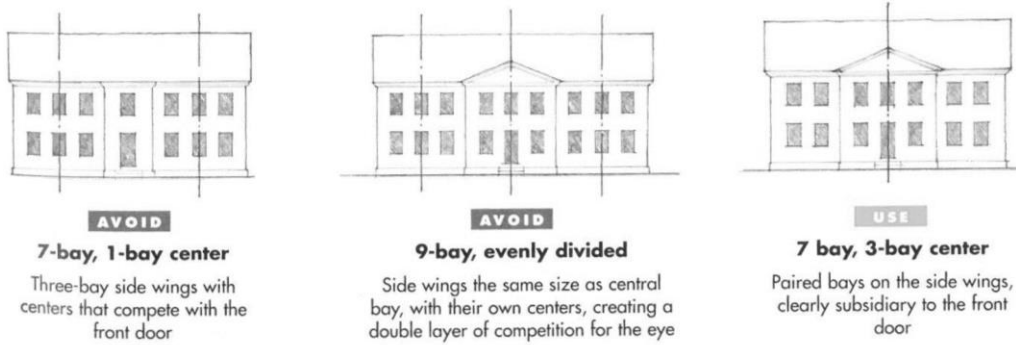


Figure 3: Do's & Don'ts of Façade Composition.

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 25, fig. 2.10 'Applying Unity and Duality'.

- (c). Building Articulation. Building articulations that respond to the site's unique urban condition, such as but not limited to locations on corners, near public open spaces, terminating the visual axis of a street, and/or that emphasize main building entries, shall be clearly expressed in the design (Figure 4).

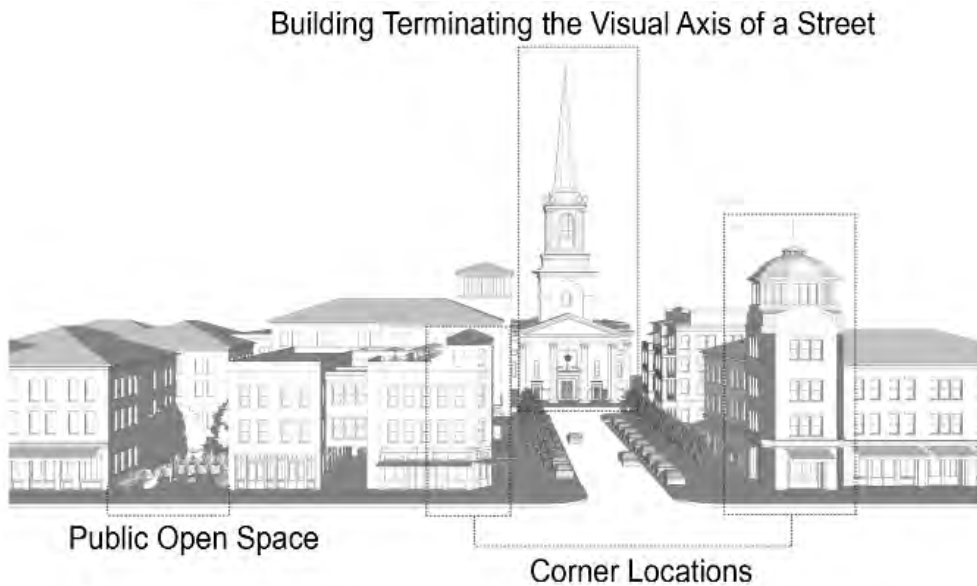


Figure 4: Example of Building Articulation

- (1). Building articulations shall be reinforced by changes in roof design, fenestration patterns, or architectural elements.
- (2). In the Main Street Overlay, building facades longer than 50' shall be varied with at least one change of architectural expression. This may be a vertical element running from the ground plane to the roof, a change in color or texture, or a break in the building façade plane or roof line. Strive for an appearance of authenticity when subdividing a large façade

into multiple smaller facades resembling distinct buildings (Figure 5).



Figure 5: Breaks in the Building Façade

- (3). For any buildings outside of the Main Street Overlay with a principal building use that has not been designated as Industrial per Table 4 of Subsection 3.2(e), each façade longer than 100 feet in length abutting a public street or open space shall incorporate at least one of the following for each 100 feet of linear building frontage or part thereof
1. A change of building material and texture (not just color) at least ten (1) feet in width
 2. A recess into the wall plane at least six (6) inches in depth and one (1) foot in width
 3. A projection at least six (6) inches from the wall plane and extending at least one (1) foot in width (Figure 6)
 4. A window extending at least ten (1) linear feet, inset into the building wall plane at least four (4) inches
 5. A pedestrian entrance to the building, together with surrounding architectural recesses, projections, or foundation plantings to emphasize the visibility of the entrance, which together extend at least ten (10) linear feet (Figure 6).



Figure 6: Façade Variation

- (d). Centerlines. The vertical centerlines of structural columns and walls, as well as windows (fenestration) shall be used to better the building facade (Figure 7).

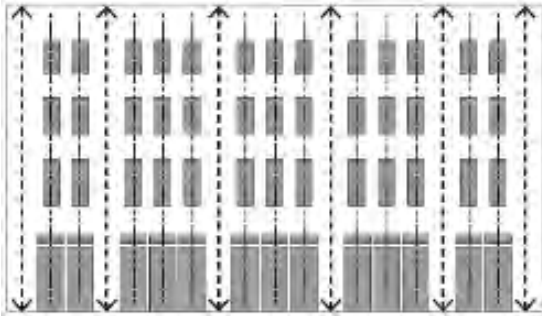


Figure 7: Structural & Window Centerlines

- (1). Facades should feature alternating structural centerlines and fenestration centerlines.
 - (2). These centerlines should extend from the top of a mass to the bottom of a mass.
 - (3). Multiple windows and/or doors may be grouped symmetrically around a single fenestration centerline.
 - (4). The spacing of centerlines may be identical across a façade, or may vary.
 - (5). Dormers do not have to be aligned with structural centerlines.
- (e). Cornices. A projecting cornice may be used to visually establish a top for a building facade (Figure 8).

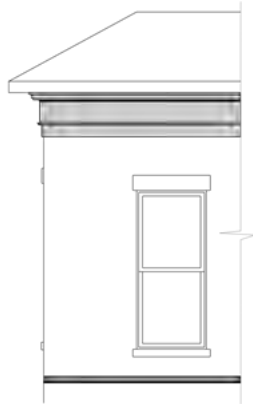


Figure 9: Cornice with a Pitched Roof

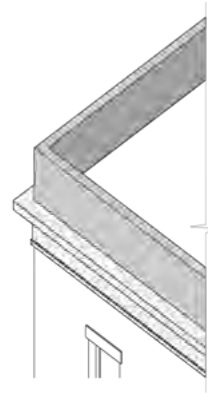


Figure 10: Wall extending above cornice

- (1). The top of each primary and secondary mass should be emphasized with a projecting cornice. This cornice should feature a deeper projection and therefore a stronger shadow line than any other expression line on a façade.
- (2). Cornice may be used to visually support a pitched roof (Figure 9).

(3). Wall plane may extend above a cornice to form a parapet (Figure 10).

(f). Expression Lines. In addition to cornices, horizontal architectural elements shall create expression lines that visually divide a façade into layers (Figure 11).

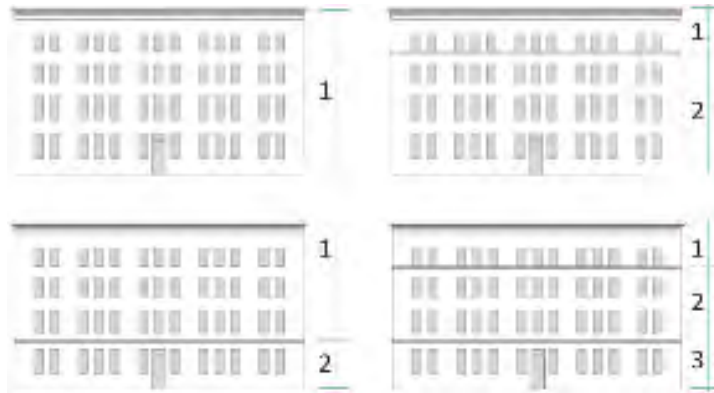


Figure 11: Facades divided by horizontal expression lines

(1). Expression lines are formed by horizontal molding which project minor shadow lines.

(2). Facades may feature a change of colors, materials, or textures at an expression line.

(3). Building mass may feature one of the following subdivisions by expression lines into horizontal layers: two layers, or three layers.

(4). Expression line shall always be used at the top of shopfronts. This expression line may incorporate a band for signage.

(g). Material Changes. In addition to projecting elements like cornices and moldings, material changes can add visual interest when composing a building façade.

(1). When materials are combined on a façade horizontally, heavier materials most naturally occur below lighter materials (Figure 12).

(2). For buildings three (3) stories of greater, the ground floor should be differentiated from those floors above in order to reinforce the pedestrian space (Figure 12).

(3). Changes from one material or color to another along the horizontal direction should occur at “inside corner” transitions (Figure 12).

(4). Changes in material or color along the vertical direction should occur at hard-edge “bump-out” transitions, which gives materials a surface to terminate into (Figure 12).

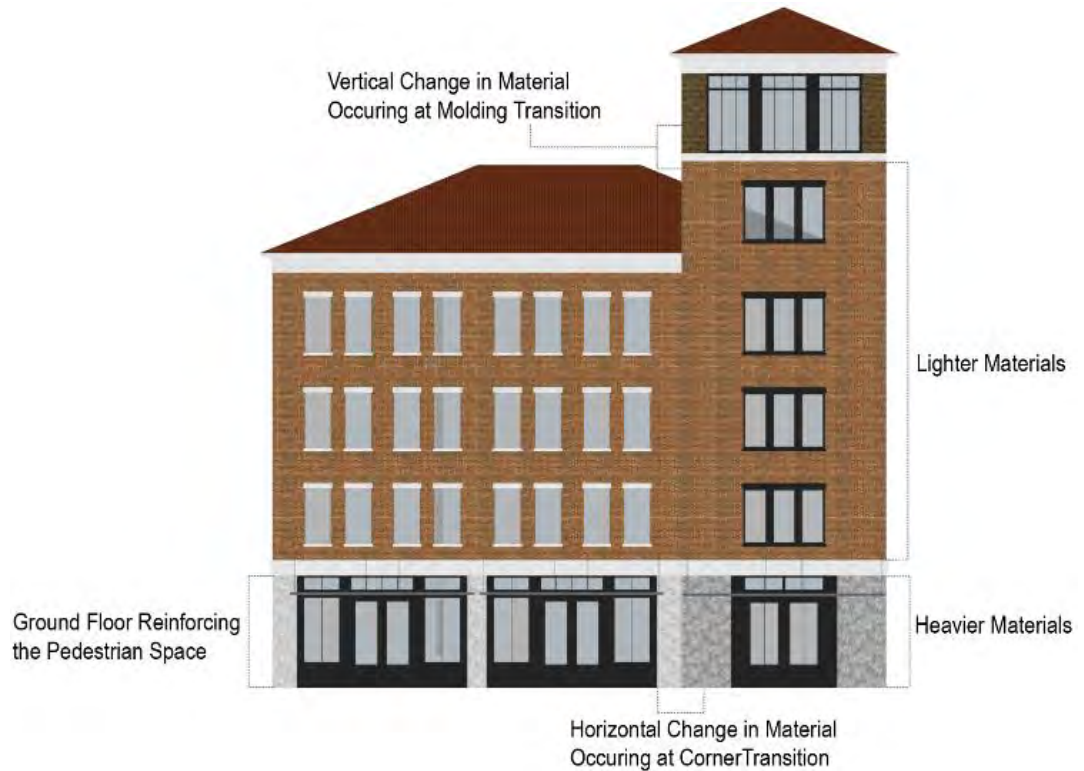


Figure 12: Material changes

- (5). Facades with more than 3 primary finishes listed in Section 7.2(a)(7) Building Materials are discouraged.

(h). Windows and Transparency.

- (1). Windows shall not be flush with the plane of the wall, but shall be recessed (Figure 13).

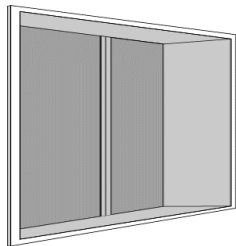


Figure 13: Recessed Window

- (2). All windows shall be vertically proportioned. Window openings may be horizontally proportioned, but only if composed of vertically proportioned windows. Horizontally proportioned clerestory and transom windows are permitted, as well as circular, square, octagonal, and oval windows, so long as they fit the buildings overall Architectural Style, Subsection 3.2(f)(3).
- (3). Windows shall be located no closer to the corner of a building than a dimension equal to the width of the window. Exceptions are permitted for

storefront windows and corner windows, which may be appropriate for the 'Masonry Modern' and 'Mid-Century Modern (20th)' Architectural Styles, Subsection 3.2(f)(3).

- (4). On upper floors, a minimum of 25% of glazed window area per floor must be operable and openable, in order to allow for natural ventilation. Buildings with more than one façade with windows shall distribute the operable windows amongst the facades so that cross-ventilation is possible. Ground-floor storefront windows may be fixed.
- (5). Operable windows may be casement, single-hung, double-hung, sliding or transom (Figure 14).

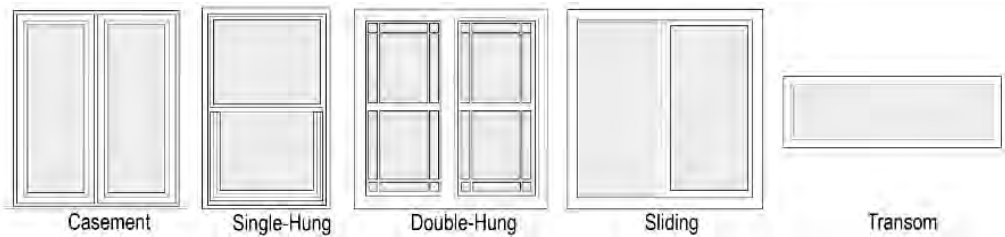


Figure 14: Operable Window Types

- (6). Shutters shall be sized and placed so as to equal the width that would be necessary to cover the window opening. Operable shutters are preferred (Figure 15).

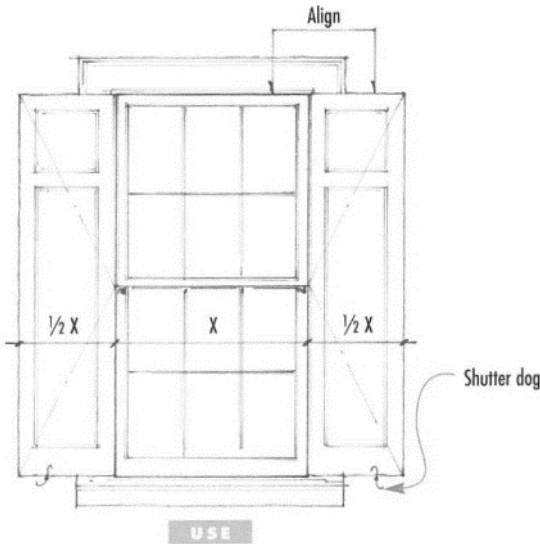


Figure 15: Shutter Sizing.

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 110, fig. 5.36, 'Shutters to use'

- (7). All new windows should have mullion profiles consistent with the style of the structure. If single hung or double hung windows are placed in grouping, a four to six inch trim piece should separate the windows.

- (8). Muntins, if provided, should be true divided lites, unless they are for impact/hurricane resistant windows and doors.
- (9). Unless as specified otherwise in the Building Type Standards, Subsection 3.2(d), all building facades which face onto a street or public open space, shall meet the following minimum transparency requirements:
 - a. Buildings with Shopfronts (Figure 16)
 - 1. Minimum building façade transparency for ground story: 70% and should allow a view of at least 5' of interior space
 - 2. Minimum building façade transparency for upper stories: 40%
 - b. Building without Shopfronts (Figure 17)
 - 1. Minimum building façade transparency for ground story: 30%
 - 2. Minimum building façade transparency for upper stories: 20%

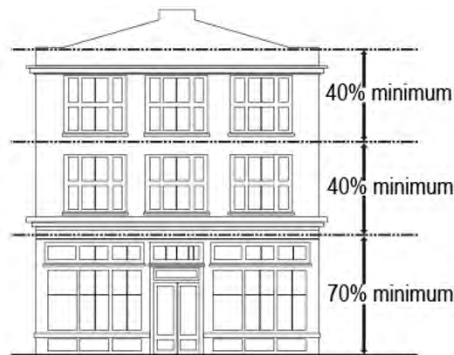


Figure 16: Buildings with shopfront

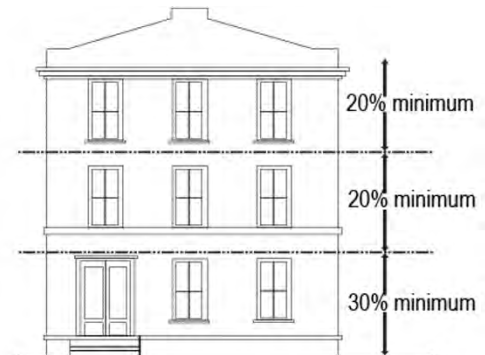


Figure 17: Buildings without shopfront

- (10). Property owners and developers may request an exemption to the façade transparency requirements for the provision of public art and murals, according to the requirements and process outlined in Subsection 7.2(a)(9).
- (11). Windows and doors that face onto streets or public open spaces shall be glazed in clear glass with no more than ten (10) percent daylight reduction.
- (12). If glass is tinted, it should be transparent enough for those outside the building to see building occupants.
- (13). Tinting should not be the primary strategy to reduce solar transmittance,
- (14). Reducing solar transmittance should be accomplished through the articulation of building facades with awnings, wall thickness, shutters, eyebrows, or other architectural features.
- (15). The use of reflective glass or reflective film is prohibited for all buildings.

- (16). Glass areas on storefronts and lobby entrances shall not be blocked with opaque materials or the back of shelving units, signs, or any other large object. Objects within a storefront display shall be there intentionally for the public to view.
- (17). Stained glass and art glass installations may be used, provided they are in character with the style of the building (see Subsection 3.2(f)(3) for additional specifications regarding Architectural Styles)

(i). Entrances and Access.

- (1). All new buildings should have the main entrance oriented to and in full view from a street or public open space. Main entrances shall have design details that enhance the appearance and prominence of the entrance so that it is recognizable from the street and parking areas. Building on corner lots shall use design elements that emphasize the importance of both streets (Figure 18).



Figure 18: Primary Entry Examples

- (2). For buildings longer than 100', there shall be a minimum of one (1) usable entrance every full 50' of frontage along the primary street and sidewalk.
- (3). The use of fire escaped or exit-only doors as primary entrances is explicitly prohibited.
- (4). Public entry and exit doors which swing outward shall be recessed into the façade a minimum of 3' where the sidewalk abuts the building.

(j). Roofs.

- (1). Roof types and materials must blend in with the architectural style of the building.
- (2). Where pitched roofs exist, primary roofs shall have a slope between 4:12 and 12:12.

- (3). Permitted roof forms include gabled, hipped, shed, barrel vaulted, flat, mono-pitch, and domes, though the selected roof form must be consistent with the architectural style of the building. Applied and partial (less than 3 sides) Gambrel roofs are not typically permitted but may be allowed at the discretion of the Administrator or Design Review Body based on compatibility with the surrounding context (Figure 19).

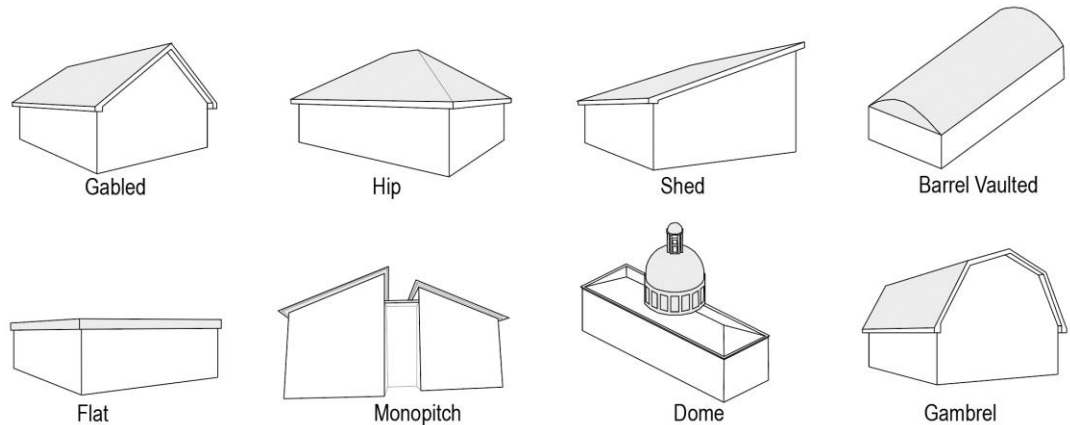


Figure 19: Roof Forms

- (4). Flat roofs shall be screened from adjacent properties and streets with decorative parapets. The maximum height of the parapet wall shall be six feet (Figure 20).

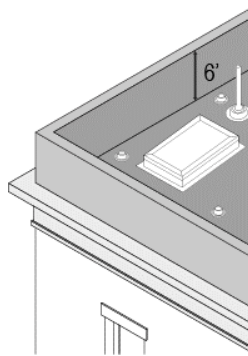


Figure 20: Parapet

- (5). Downspouts and gutters should be galvanized steel, aluminum, or copper and shall match in materials and finishes.
- (6). Roof penetrations shall be hidden or painted to match the color of the roof.

(k). Garages & Accessory Structures

- (1). Attached garages and accessory structures including detached garages shall be subordinate in overall footprint to the primary structure and shall be compatible with the primary structure in terms of roof form, materials, and color (Figure 21).
- (2). Garage doors visible from the street or adjacent properties must be visually consistent with the architectural style of the structure and new garage doors shall not exceed a maximum width of 12' for a single door (Figure 21).
- (3). Garages with more than two bays shall be turned such that the bays are not visible from the street.
- (4). At no time shall the width of an attached garage exceed 40% of any street-facing building façade.

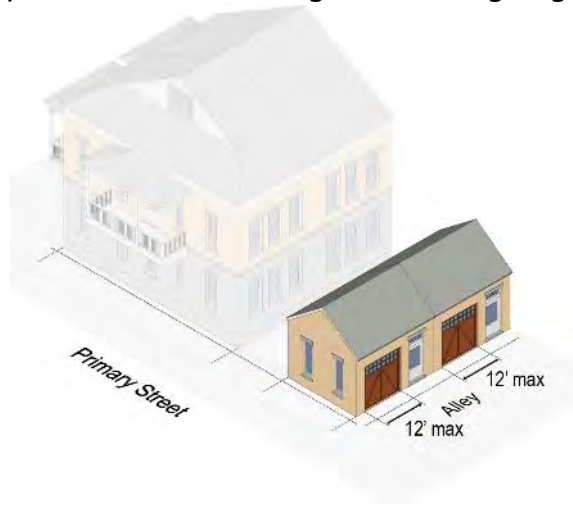


Figure 21: Garage & Accessory Structures

- (l). Architectural Elements. All architectural elements and detailing, including but not limited to cornices, moldings, columns, pilasters, balconies, chimneys, railings, exterior lighting, arches, and awnings, shall be consistent with the buildings architectural style (Figure 22).

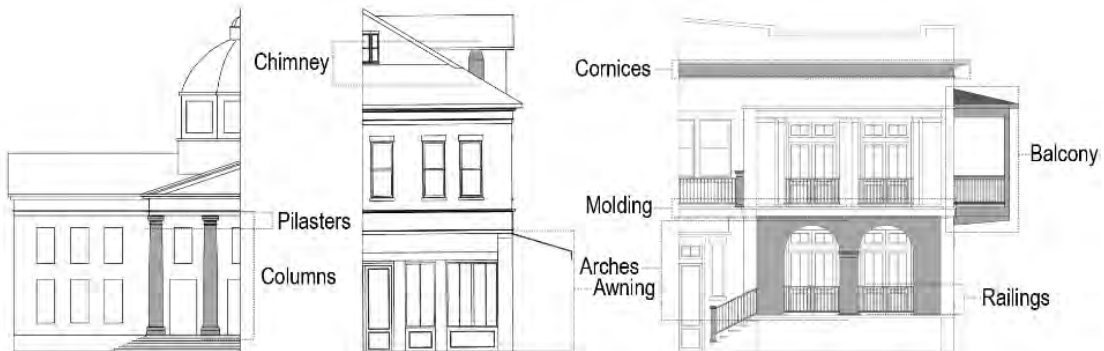


Figure 22: Architectural Elements

- (1). Moldings shall:
 - a. Extend a minimum of two inches from the surface plane of the building.
 - b. Not be covered by awnings or signs if said moldings are used as a continuous façade element.

- c. Shall not be interrupted by significant architectural elements such as columns, pilasters, and towers.
- (2). Cornices shall project a minimum of six (6) inches from the building face.
- (3). Columns, pillars, and posts shall:
 - a. Be spaced at regular intervals not exceeding 24 feet from centerline to centerline, creating openings with a height to width or width to height ratio of 1:1, 2:1, or 2:3.
 - b. Always support a structural spanning element, such as a beam, arch, or entablature and shall always be positioned so that the outside edge of the spanning element above aligns with the neck of the column (Figure 24).

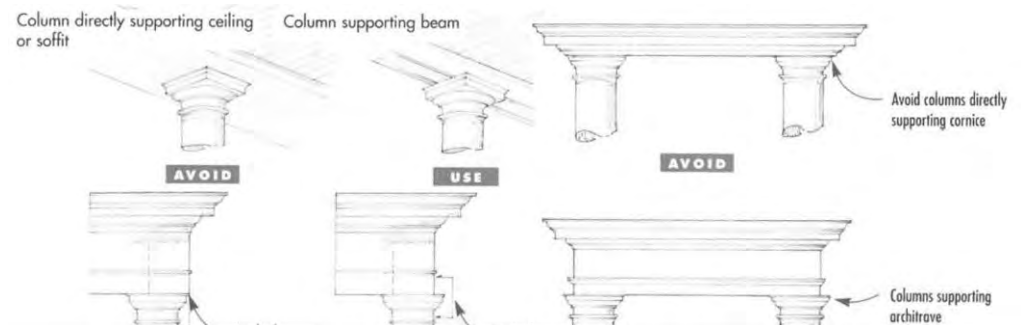


Figure 24: Column Alignment.

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 52, fig. 3.23.

- c. Be either round or square in section with a minimum width and depth of 12 inches for masonry columns or pillars.
- d. Be a minimum six (6) inches in width and depth for wood posts.

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- e. Be positioned on two consecutive stories such that the column centerlines align vertically and scaled such that the base diameter of the second-floor column is more or less equal to the neck of the first-floor column (Figure 25).
- f. Pilasters and engaged columns shall also be positioned so that the outside edge of the arch or entablature above aligns with the neck of the column and so that they project out farther from the building wall than the arch or entablature above. Though pilasters and engaged columns are decorative, they should appear to bear the weight of a structural spanning element.
- g. Arches over columns that are part of an arcade shall have no less than eight (8) inches in depth.

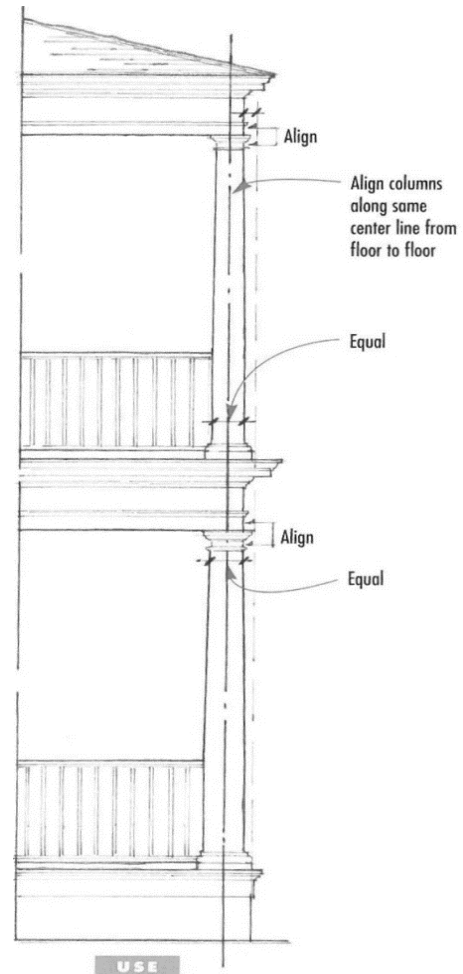


Figure 25: Columns on Two Stories.
 Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 177, fig. 8.9.

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- (4). Balconies shall:
- Fit in with overall character and architectural style of the building.
 - Project at least two (2) feet to create a standing or “Juliet” balcony, and no more than six (6) feet from the building wall.
 - Be deeper than six (6) feet only if it is partially or wholly inset within the main body of the building.
 - Be visually supported from below, if projecting more than two (2) feet, by brackets or another structurally implicit mechanism, which must extend a minimum of 85% of the depth of the balcony, or else be supported by adjacent side walls (Figure 26). Exceptions may apply for the Mid-Century Modern and Masonry Modern architectural styles.

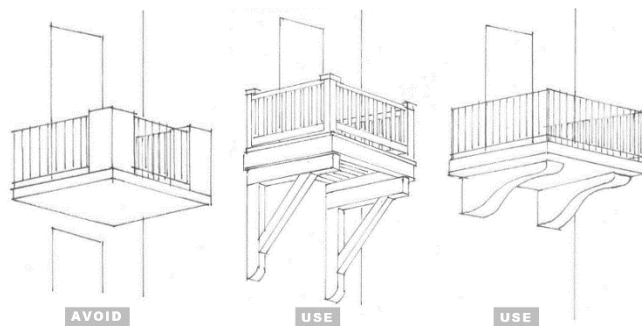


Figure 26: Visible support for balconies that extend more than two feet from building

- Have a minimum underside clearance of nine (9) feet.

- (5). Railings shall:
- Be constructed of wood or metal, though exceptions for glass railings may be granted by the administrator.
 - Be permitted within the rough opening (jamb to jamb) of a window or door balcony, rather than affixed to the façade.
 - Be comprised of a top and bottom rail, between which balusters and rungs are affixed. Balusters should never be affixed directly to the floor.
- (6). Bay windows, including bow and box (Figure 27) windows, shall:
- Provide habitable interior space and include at least three (3) windows.
 - Not project more than three (3) feet from the building façade, nor exceed 16 feet in width.

- c. Fit in with the overall character and architectural style of the building.

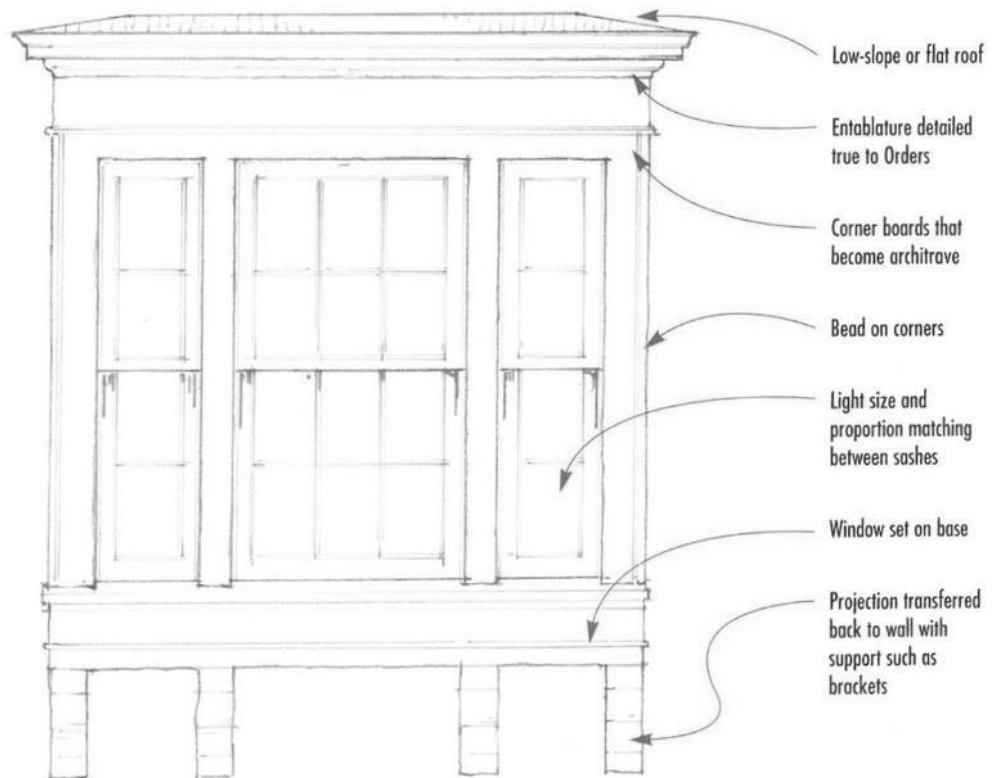


Figure 27: Bay/Box Window Design Elements

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 123, fig. 5.57.

- (7). Dormers shall:
- Provide light to the habitable space of a half story.
 - Be sized in relation to the windows below, not to exceed a maximum width of the window plus 16 inches (Figure 29).
 - Be limited in number so as not to look like an additional full story, with a cumulative width of multiple single and/or attached dormers that is less than 50% of the eave length of the roof below (Figure 29).



Figure 29: Dormers

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 115. fig. 5.45.

- d. Be spaced a minimum of 50% of the width of a single dormer .
- e. Be at least one (1) foot from the side wall of the building (the wall parallel to the dormer window) if the roof does not have an eave. For roofs with an eave, the dormers do not have to setback at all from the side wall.
- f. Be set back at least one (1) feet from the walls perpendicular to the dormer window (Figure 30).

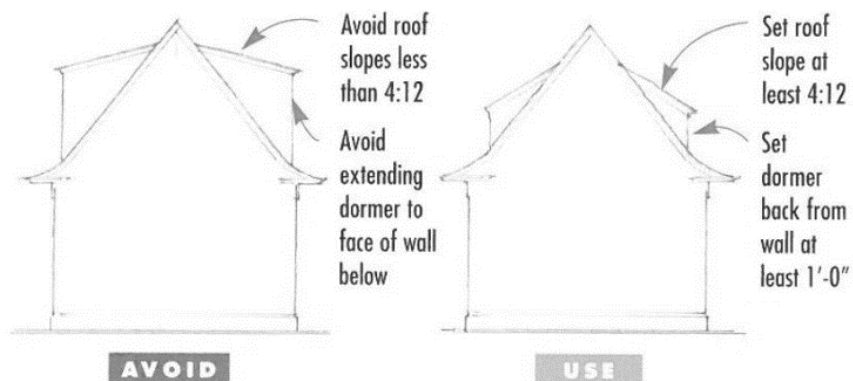


Figure 30: Dormer Standards

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 120, fig. 5.52.

- g. Not project beyond the exterior wall of the building below (Figure 30).
- h. Have a minimum roof slope of 4:12 (Figure 30).
- i. Shed dormers shall comply with the same standards as dormers, except that they shall not exceed the window plus 36 inches in width.

- (8). Chimneys shall:
- a. Have a minimum width of 5' at the ground floor level.
 - b. Have a dimension of 1.5' in either direction above the roof line with a tapered transition.
 - c. Have brick, stone, or stucco finishes on any exterior surfaces.

(m). Building Materials.

- (9). Building walls shall be finished in one (1) or more, but not more than three (3) of the following materials:
- a. Wood
 - b. Fiber cement board siding
 - c. Concrete masonry units with stucco
 - d. Cast and/or reinforced concrete with stucco
 - e. Brick
 - f. Stone
 - g. Corrugated metal, pending approval by the Administrator based on the surrounding context
 - h. Other materials as approved by the administrator, based on visual compatibility with listed approved materials
- (10). Visible foundation walls, piers, and/or pilings shall be finished in either brick, stucco, or stone.
- (11). Columns may be built out of the following materials, though depending on the structural demand placed on the column these may be further restricted per requirement in the Florida Building Code:
- a. Wood
 - b. Wood or fiber cement clad
 - c. Steel
 - d. Concrete with smooth stucco finish
 - e. Brick
 - f. Cast stone with smooth finish
 - g. Other materials as approved by the administrator, based on visual compatibility with the character and architectural style of the building
- (12). Railing and balustrades may be constructed of the following materials:
- a. Painted wood
 - b. Wrought iron
 - c. Aluminum

- d. Other materials as approved by the administrator, based on visual compatibility with listed approved materials
- (13). Roofs with visible pitches shall be constructed of the following materials:
- a. 25-year architectural dimension or asphalt shingles
 - b. Tile (clay, cement, natural or manufactured stone)
 - c. Non-reflective pre-finished metal, including standing seam-metal, 5V metal crimp, and corrugated metal
 - d. Slate
 - e. Other materials as approved by the administrator, based on visual compatibility with the character and architectural style of the building
- (14). Doors shall be made of wood, metal, glass, or fiberglass and shall be of a design and material compatible with the architectural style of the building.
- (15). Lighting, Fencing & Screening.
- a. Standards and regulations for exterior lighting can be found in Section 8.4.
 - b. Standards and regulations for the use and appearance of walls and fences can be found in Section 8.5.
 - c. All rooftop equipment must be completely screened from view at the street from a minimum distance of 600 feet. Equipment may be screened by a parapet wall or a decorative screen that shall complement the overall architecture of the building. Additional regulations regarding the placement and screening of mechanical equipment, utilities, and other appurtenances can be found in Sections 8.3 and 12.4.
- (n). Public Art and Murals. Public art that is incorporated into building designs, whether as wall murals, fountains, or statuary, should exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
- (1). Murals, which are paintings, mosaics, frescoes, or other permanent artwork attached or applied directly to the outside of a structure, shall comply with the following:
 - a. No more than five (5) percent of the mural can display the name or logo of the sponsoring organization/business.
 - b. Professional mural paint/materials required.
 - c. Mural must be sealed to prevent fading of the original paint.
 - d. Maintenance must be completed as needed, or at a minimum every five (5) years, at the expense of the property owner.
 - e. Limited to one mural per structure.
 - (2). To promote the inclusion of public art in building design, wall art features such as murals and fountains may exempt property owners

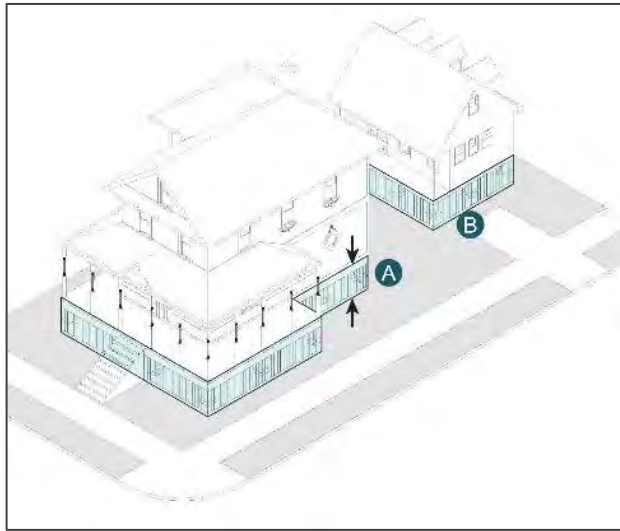
and developers from the window and transparency requirements in subsection 7.2(a)(2), subject to review and approval by the Urban Design Manager or Designee.

- (3). Public art permit application. Applicants looking to incorporate public art into their property or building shall be required to apply for a public art permit. This application shall include:
 - a. Letter of authorization from the property, building and/or unit owner.
 - b. Visual mock-up of the art piece with descriptions of the proposed materials, colors, and overall dimensions.
 - c. For murals and wall art, an architectural elevation drawing of the building façade drawn to scale showing the proposed location and size of the piece.
 - d. For murals and wall art, a description of requested window and transparency standards exemption, if applicable.
 - e. Method of lighting, if applicable.
 - f. Landscaping plan, if applicable.
- (4). Public art permit review and approval. The Zoning Official or designee shall review the complete application for a public art permit within ten (10) business days of receipt for completeness and compliance with the provisions in this section. Applicants that do not meet all the necessary requirements shall be denied and notified in writing about the deficiencies in their application.
- (5). Appeals. An applicant may appeal City staff's denial of a public art permit request per Chapter 26, Section 16.2, Appeal of Administrative Decision.
- (6). Expiration of approval. A public art permit application must be submitted, approved, and the art piece installed within six (6) months of the application approval. If the art piece is not installed within six (6) months of the approved permit, the public art permit approval will expire.

Section 7.3. Elevated Building Standards within Flood Zones

This section sets forth standards applicable to development within flood zones which must elevate the first finished floor beyond the requirements set forth in the Regulating District Standards, Section 3.2(d), in order to comply with the FEMA's Base Flood Elevations. The following standards relate to specific types of elevated buildings for residential and commercial/mixed-use development. All frontage standards per Section 7.2(d) apply unless otherwise noted in this section.

(a). Residential - Elevated Structure Finished Floor Elevation (FFE) \leq 7'



Standards

(1). Dimensions

First Finished Floor Elevation	Per Base Flood Elevation Requirements
--------------------------------	---------------------------------------

(2). Additional Standards

Structures elevated on piers less than or equal to 7' from grade shall completely screen crawlspaces with wood, masonry, or vinyl lattice. A

Front-facing stairs must align with entry doorways. All stairs shall comply with requirements set in the Florida Building Code

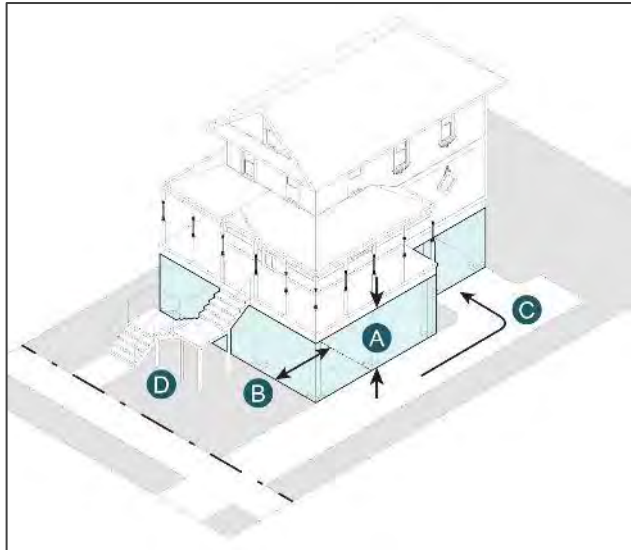
All raised exterior mechanical equipment shall be located to the rear of the structure or be completely screened from public view

Habitable accessory units shall also be raised per Base Flood Elevation requirements B

(3). Examples



(b). Residential - Elevated Structure Finished Floor Elevation (FFE) > 7'



Standards

(1). Dimensions

First Finished Floor Elevation	Per Base Flood Elevation Requirements	(A)
--------------------------------	---------------------------------------	-----

(2). Additional Standards

Front-facing garage doors shall be inset a min. of 10' from the facade (B)

Side-facing garages and parking shall be located towards the rear of the lot (C)

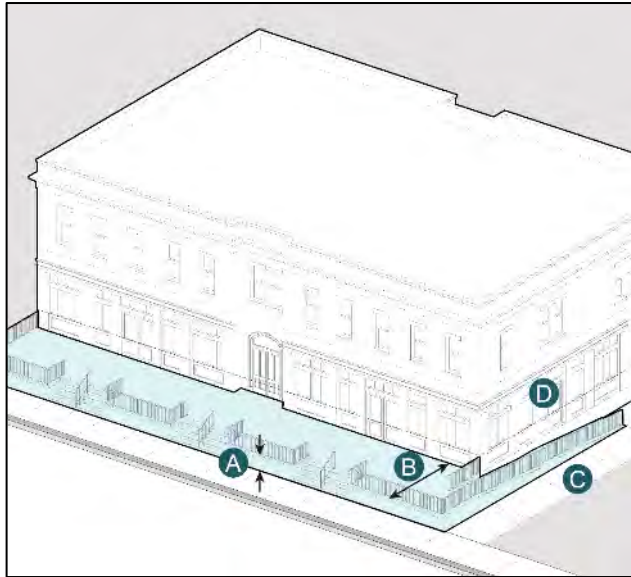
All front-facing stairs shall align with entry doorways at the top and include a max. of 2 landings and quarter turns. Only straight, split, and L-shaped staircases are permitted. (D)

All raised exterior mechanical equipment shall be located to the rear of the structure or be completely screened from public view.

(3). Examples



(c). Mixed-Use & Multifamily Residential – Elevated with Single Terrace

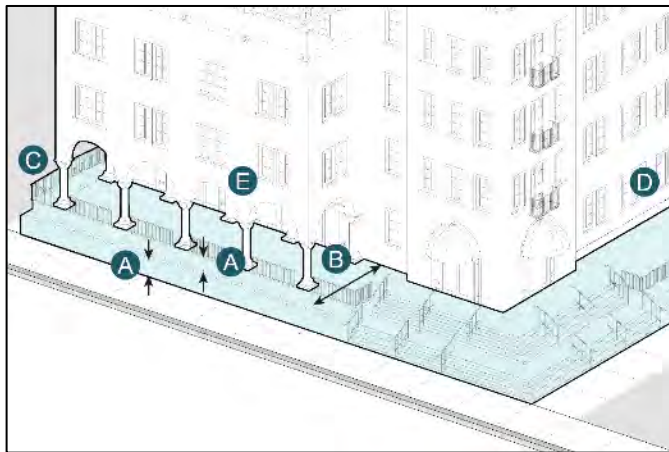
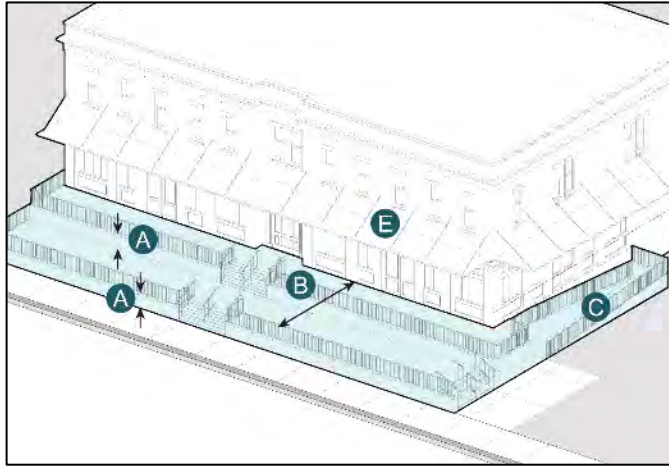


Standards	
(1). Dimensions	
Terrace Elevation	Max. 48" total height A
First Finished Floor Height	Max. 12" above highest terrace level
Terrace Setback	Per Regulating District, Subsection 3.2(c) B
(2). Additional Standards	
All ramps and/or accessibility lifts shall be located on the sides or rear of the structure. C	
Front-facing stairs must align with entry doorways and comply with all requirements set in the Florida Building Code	
Dry floodproofing may be used in combination with terraced height elevations to meet Base Flood Elevations D	

(3). Examples



(d). Mixed-Use & Multifamily Residential – Elevated with Double Terrace



Standards

(1). Dimensions

Terrace Elevation Max. 42" per terrace level with a max. of 2 terraces total **A**

First Finished Floor Height Max. 12" above highest Terrace level

Multi-Level Terrace Setback Exception Front setback shall be extended to 12' max. and 1 additional terrace level is permitted. **B**

(2). Additional

All ramps and/or accessibility lifts shall be located on the sides or rear of the structure. **C**

Dry floodproofing may be used in combination with Terraces to meet Base Flood Elevation requirements **D**

Multi-Level Terraced Structures shall provide shaded cover for the uppermost terrace level. Awnings, Arcades, or Overhead Balconies are permitted. **E**

Front-facing stairs must align with entry doorways and comply with all requirements set in the Florida Building Code

Café seating is permitted and strongly encouraged for terraced structures with ground floor uses.

Elevated planters are acceptable for first-level terraces only

(3). Examples



Section 7.4. Frontage Standards

This section sets forth the standards applicable to the development of private frontages. Private frontages are the components of a building that provide an important transitions between the public realm (street and sidewalk) and the private realm (yard or building). For each frontage type, a description, dimensional standards, and additional standards are provided.

- (a). **Applicability.** These standards work in combination with those set forth in Section 3.2(c): Regulating Districts, and Section 3.2(d): Building Types. Unless otherwise specified in the following subsections beginning in 3.2(f)(2)-b, all frontage elements must be contained within the encroachment areas described in Section 3.2(c).

Table 5 below describes the permitted and required frontages for each Building Type and for the Flex Commercial Corridor regulating district:

- R** Required: At least one of these is required along the primary frontage. The Architectural Style standards in Section 3.2(g) may have additional specifications regarding which of these types is permitted for each style.
- CR** Conditionally Required: At least one of these may be required in combination with the Storefront, Lobby, or Terrace to provide shade.
- O** Optional: These frontages are permitted, but not required.
- Prohibited: These frontages are not permitted.

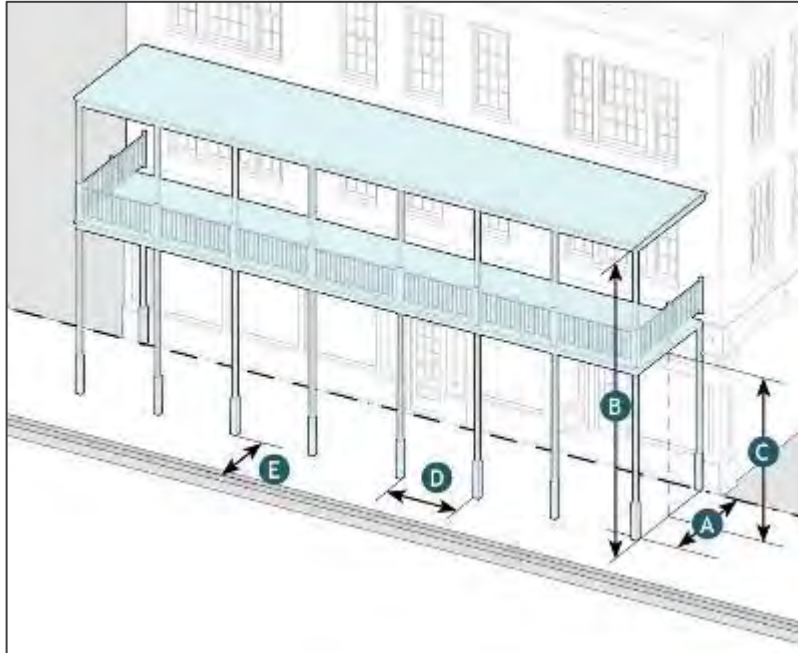
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Table 5 – Permitted and Required Frontage Elements

	Gallery	Arcade	Storefront	Lobby Entrance	Awning	Entry Canopy: Large	Overhead Balcony: Large	Forecourt Terrace	Portico	Stoop	Porch: Projecting	Porch: Engaged	Porch: Integral	Overhead Balcony: Small	Entry Canopy: Small	
Accessory Cottage	-	-	-	-	-	-	-	-	O	O	O	O	O	O	O	
House	-	-	-	-	-	-	-	-	R	R	R	R	R	O	O	
Cottage Court	-	-	-	-	-	-	-	-	R	R	R	R	R	O	O	
Rowhouse	-	-	-	-	-	-	-	-	R	R	R	-	-	O	O	
Duplex	-	-	-	-	-	-	-	-	R	R	R	R	R	O	O	
Triplex/Fourplex	-	-	-	-	-	-	-	-	R	R	R	R	R	O	O	
Multiplex	-	-	-	-	-	-	-	-	R	R	R	R	R	O	O	
Courtyard Apartment	-	-	-	R	CR	CR	CR	R	-	R	R	-	-	R	O	O
Live/Work	CR	CR	R	-	CR	CR	CR	-	O	-	-	R	R	R	O	O
Small Footprint Mixed-Use	CR	CR	R	R	CR	CR	CR	-	O	O	O	-	-	-	O	O
Medium Footprint Mixed-Use	-	CR	R	R	CR	CR	CR	O	O	O	O	-	-	-	O	O
Neighborhood Shopfront	-	-	R	-	CR	CR	CR	-	O	-	-	R	R	R	O	O
Main Street Shopfront	CR	CR	R	-	CR	CR	CR	O	O	-	-	-	-	-	-	-
Liner	CR	CR	R	O	CR	CR	CR	-	O	R	R	-	-	-	O	O
Loft	-	-	R	R	CR	CR	-	-	O	-	O	-	-	-	-	O
Warehouse	-	-	R	R	CR	CR	-	-	O	-	-	O	-	-	-	-
Civic/Institutional	-	CR	O	R	CR	CR	-	O	O	-	-	-	-	-	-	-
Flex Commercial Corridor	CR	CR	R	R	CR	CR	CR	O	O	-	-	O	O	O	-	-

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- (b). Gallery. A Gallery is a one to two-story colonnaded structure attached to the front of a building that projects out over the sidewalk providing shade and protection from the elements. It is typically used for ground floor commercial frontages on buildings set close to or at the right-of-way line.



a. Standards

Dimensions		
Depth	10' min.	A
Height	1-2 stories	B
Vertical Clearance	11' min.	C
Column Spacing	10' min.	D
Clearance to Street Curb	2' min.	E

Additional

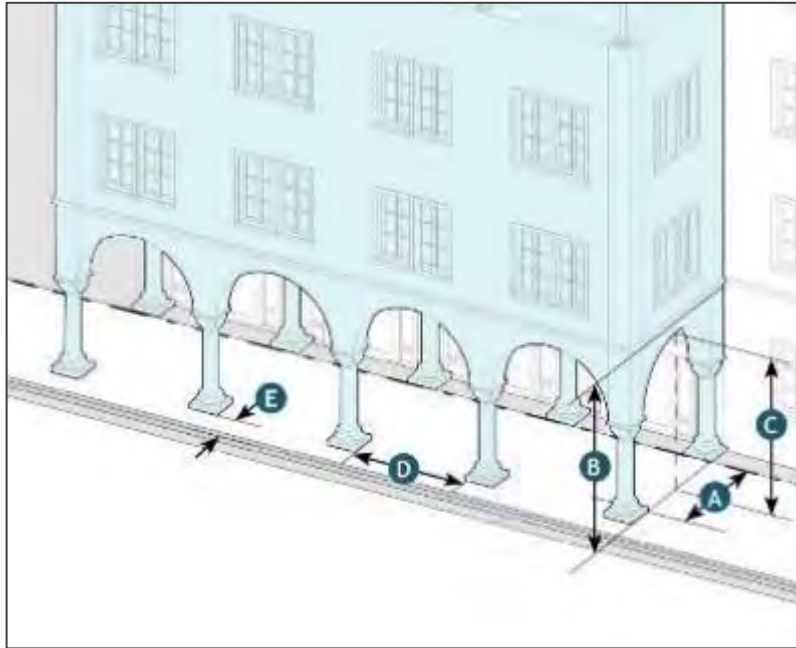
Must extend the full length of the building façade and must have a consistent depth

May only be combined with Storefront Frontage Type

May encroach beyond the right-of-way line up to 10' in the Downtown, Village Center, and Neighborhood Transition districts to cover part/all of the sidewalk. FDOT approval may be required.

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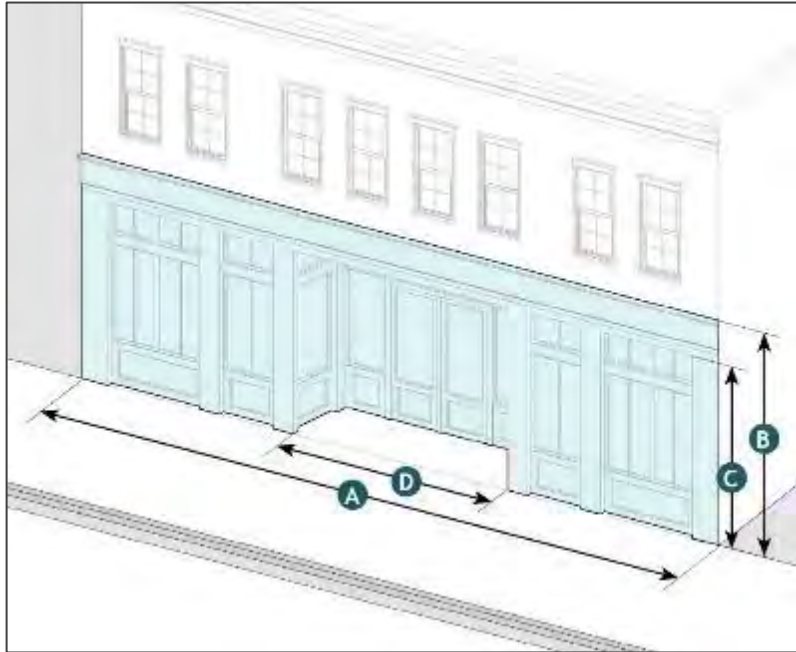
- (c). Arcade. An Arcade is a colonnaded pedestrian walkway covered by the upper floors of a building. The ground floor façade is set back while the upper floors project out over the walkway. It is typically used for ground floor commercial or institutional frontages on buildings set close to or at the right-of-way line.



a. Standards		
Dimensions		
Depth	10' min.	A
Height	1 story	B
Vertical Clearance	11' min.	C
Column Spacing	10' min.	D
Clearance to Street Curb	2' min.	E
Additional		
Must have a consistent depth		
May encroach beyond the right-of-way line up to 10' in the Downtown, Village Center, and Neighborhood Transition districts to cover part/all of the sidewalk. FDOT approval may be required.		

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- (d). Storefront. A Storefront is an assembly of commercial entry doors and windows that provide access and light into a commercial space, as well as space to display goods, services, and signage.



a. Standards

Dimensions

Length 15' min. **A**

Height

Overall 18' max. **B**

Display Window 8' min. **C**

Recessed Entry Width 15' max. **D**

Additional

If the sidewalk is less than 8' wide, a recessed entry at least 3' deep must be provided to accommodate the door swing

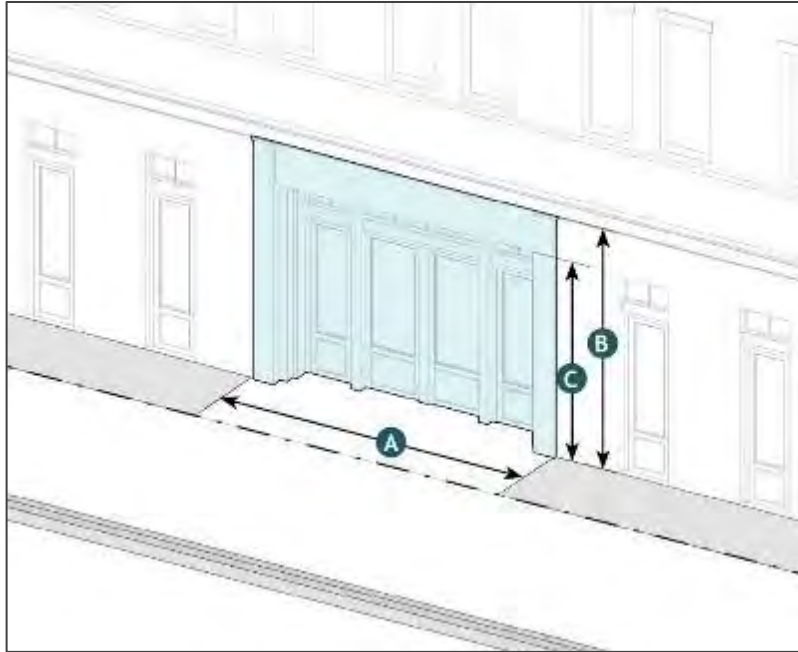
Must provide an unobstructed view of the interior or a lighted and maintained display(s) area

Must be combined with either a gallery, arcade, awning, entry canopy, or overhead balcony

Exterior security grilles, gates, and roll-downs are prohibited

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- (e). Lobby Entrance. A Lobby Entrance is an assembly of entry doors and windows providing access and light to the lobby of a building. It is appropriate for lobbies such as those found in office, civic/institutional, and multifamily residential buildings, to name a few.



a. Standards

Dimensions

Length 15' min., 30' max. **A**

Height

Overall 18' max. **B**

Glazing/Window 8' min. **C**

Additional

If the sidewalk is less than 8' wide and there is no front setback, a recessed entry at least 3' deep must be provided to accommodate the door swing

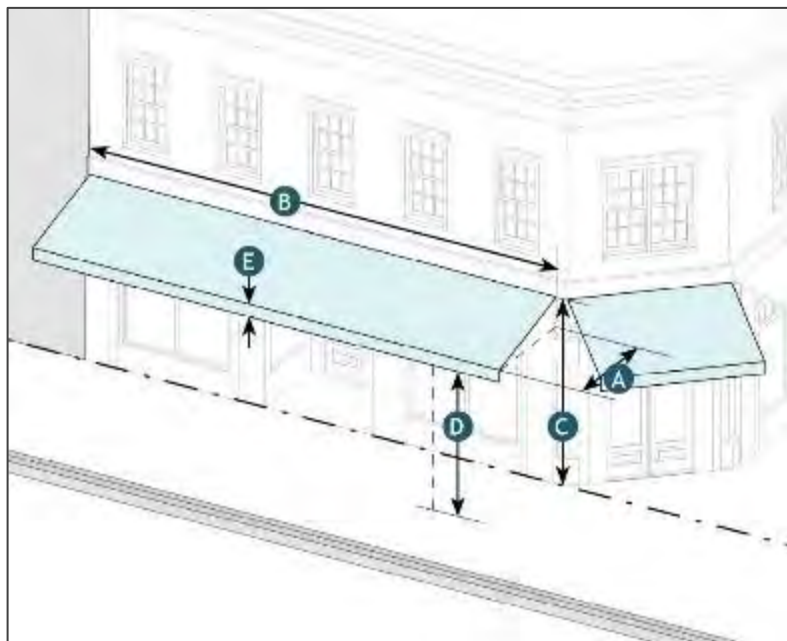
Must provide an unobstructed view of the interior

Unless recessed a minimum of 3', a lobby entrance must be combined with either a gallery, arcade, awning, entry canopy, or overhead balcony

If set back from the lot line, the frontage area must be paved

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- (f). **Awning.** An Awning is a wall-mounted frame covered with fabric or other material that provides shade and protection over a storefront, lobby, or other entrance.



a. Standards

Dimensions		
Projection	3' min.	A
Length	4' min.	B
Height	15' max.	C
Vertical Clearance	8' min.	D
Valance Height	12" max.	E

Additional

Must be securely attached and must fit the full length of the door/window it is attached to

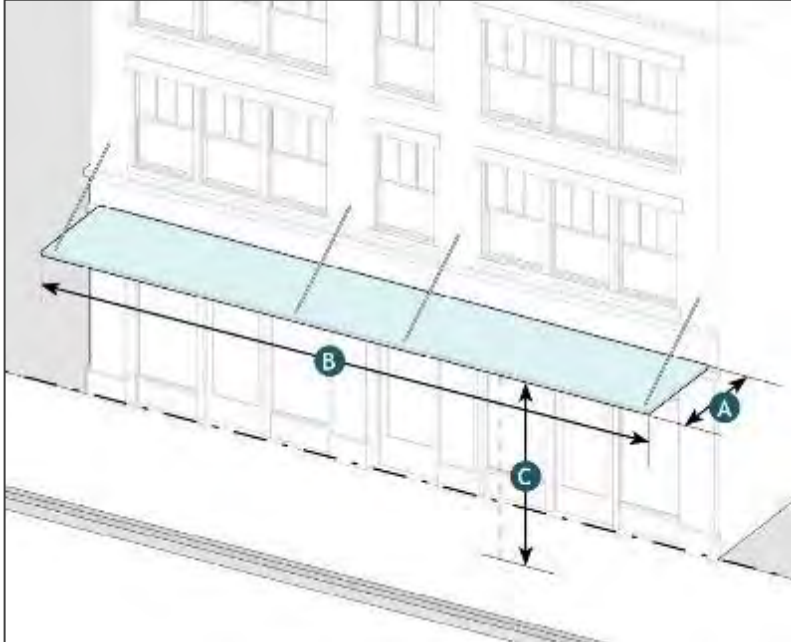
Must be made of durable, weather-resistant material

Internally illuminated or backlit awnings are prohibited

May encroach beyond the right-of-way line up to 10' in the Downtown, Village Center, and Neighborhood Transition districts to cover part or all of the public sidewalk. FDOT approval may be required.

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- (g). Entry Canopy - Large. An Entry Canopy is a solid wall-mounted structure that provides shade and protection from the elements over a storefront, lobby, or other building entrance.



a. Standards

Dimensions	
Projection	3' min. A
Length	4' min. B
Vertical Clearance	8' min. C

Additional

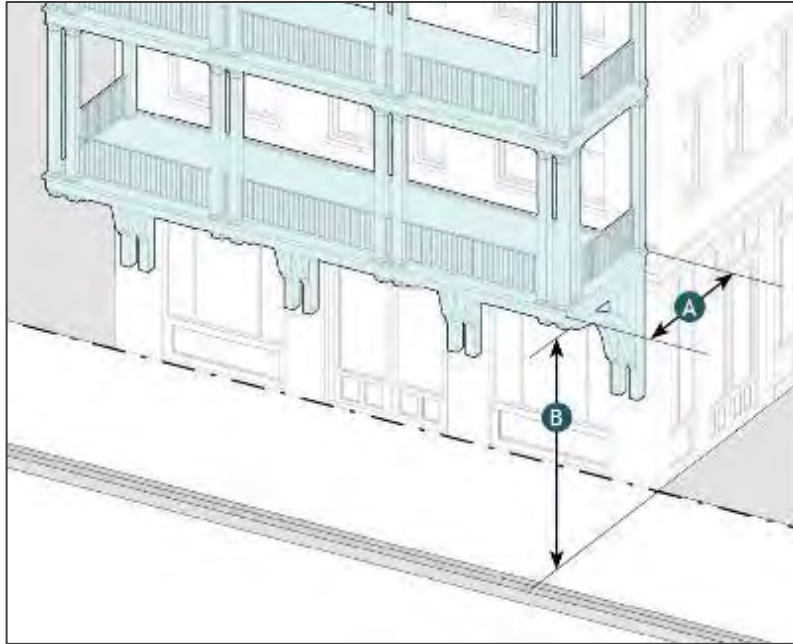
Must be securely and visibly attached to the façade with brackets, cables, or rods

The length of the canopy must be equal to or greater than the width of the doorway and/or window surround or exterior casing it is mounted over

May encroach beyond the right-of-way line up to 10' in the Downtown, Village Center, and Neighborhood Transition districts to cover part or all of the public sidewalk. FDOT approval may be required.

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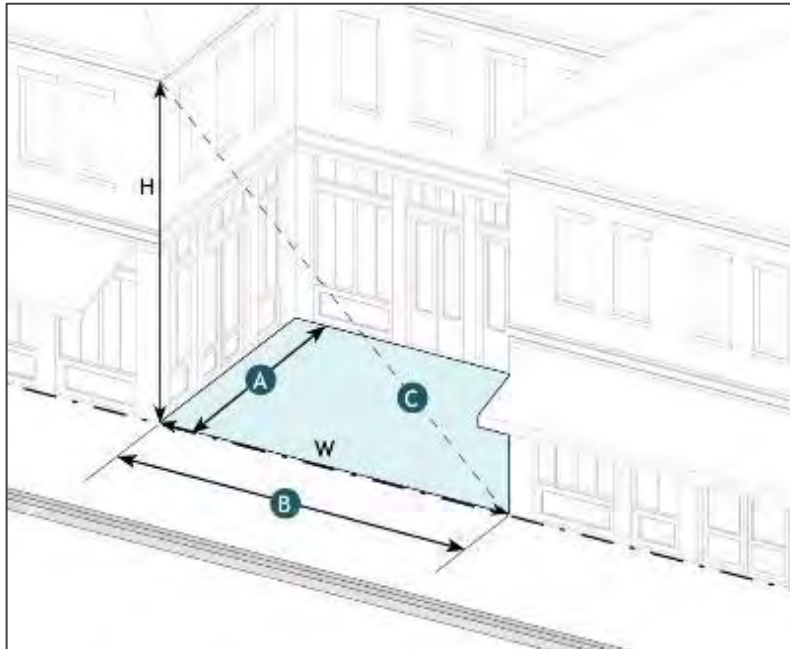
- (h). Overhead Balcony - Large. An Overhead Balcony frontage is essentially a cantilevered gallery. Like the gallery, this structure projects out over the sidewalk providing shade and protection from the elements. It is typically used for ground floor commercial frontages on buildings set close to or at the right-of-way line.



a. Standards	
Dimensions	
Depth	6' max. A
Vertical Clearance	8' min. B
Additional	
Visible brackets or structural supports must be adequately spaced so as to be well integrated and harmonious with the windows and doors below	
May only be combined with Storefront and Lobby Frontage Type and must extend at least the full length of those frontages	
May encroach beyond the right-of-way line up to 10' in the Downtown, Village Center, and Neighborhood Transition districts to cover part/all of the sidewalk. FDOT approval may be required.	

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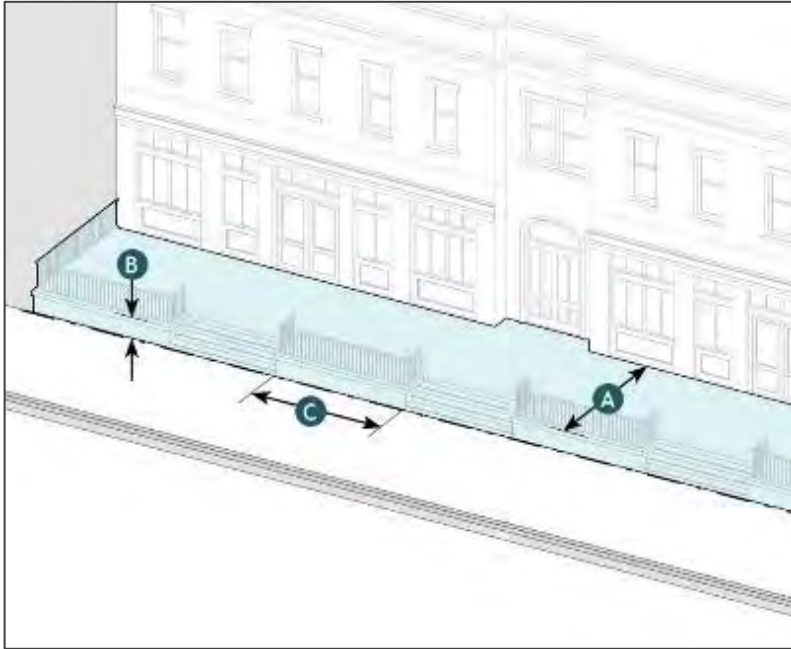
- (i). Forecourt. A Forecourt is a frontage type wherein a portion of the building façade is on or close to the minimum setback line and the central portion of the façade is pushed back to creating a small court space. This centered court space can be used as an entry court or shared garden for multifamily residential buildings, or as an additional shopping or restaurant seating area in commercial and retail service areas.



a. Standards		
Dimensions		
Depth, Clear	12' min.	A
Width, Clear	12' min.	B
Ratio, Height to width	2:1 max.	C
Additional		
Entry into the building is required along the primary frontage parallel to the sidewalks and encouraged along each of the three frontages within the forecourt		

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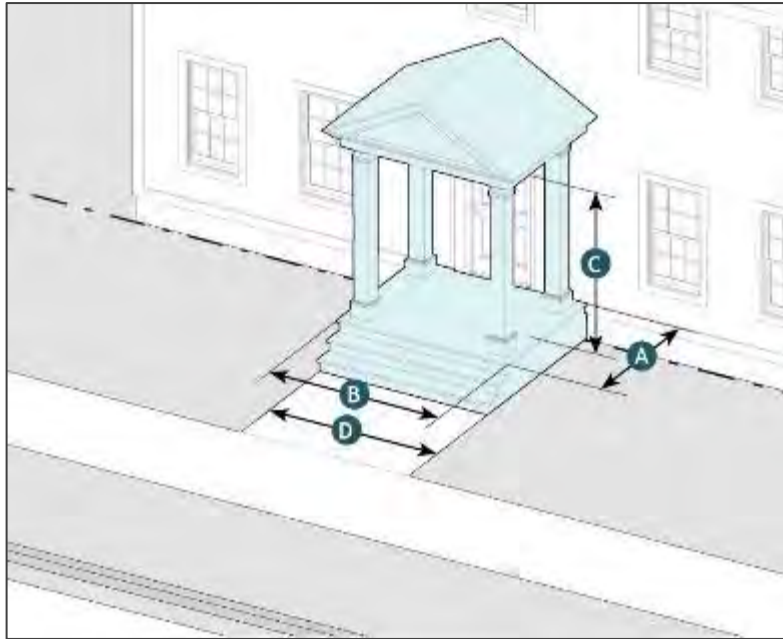
- (j). Terrace. In a Terrace frontage the main façade of the building is at or near the minimum setback line with an elevated terrace providing public circulation between the building entrances and the public right-of-way. This type is typical along streets with slopes or grade changes, but is also a useful for mixed-use and commercial buildings that must address changing flood elevation requirements and sea level rise.



a. Standards		
Dimensions		
Depth, Clear	8' min.	A
Finish Level Above sidewalk	3'6" max.	B
Distance between stairs	50' max.	C
Additional		
Low walls, which can be used as seating are encouraged		
If railings are used they must allow pedestrians on the sidewalk to see through the posts and rails		

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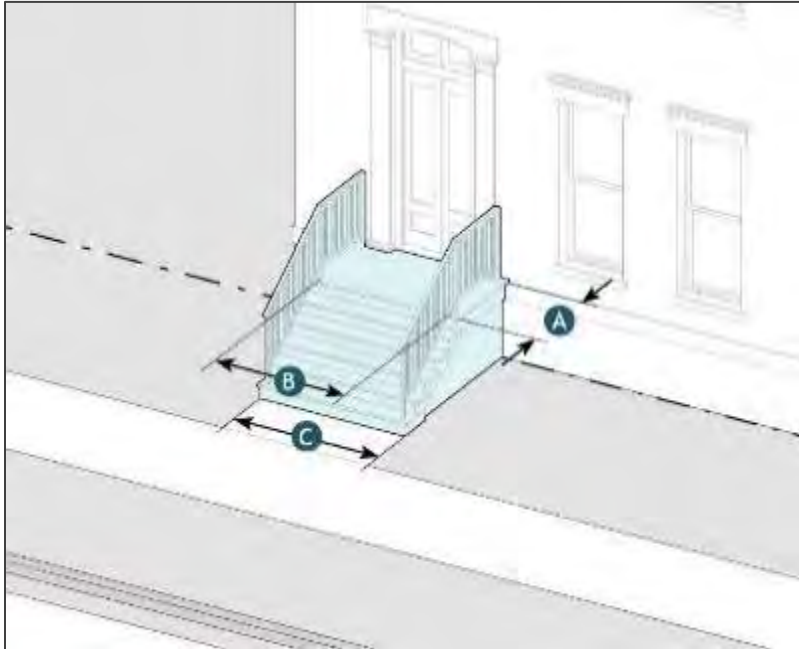
- (k). Portico. A Portico is a small projecting porch at the entrance of a building that features a set of stairs leading to a covered landing with a roof structure supported by columns, piers, or posts. It is not meant to accommodate outdoor furniture like a porch is. Porticos are appropriate for ground floor residential frontages.



a. Standards		
Dimensions		
Landing Depth	4' min., 6' max.	A
Landing Width	4' min., 8' max.	B
Clear Height	8' min.	C
Path of Travel, Width	3' min.	D
Additional		
Stairs may be perpendicular or parallel to the building façade, but must lead directly to an abutting sidewalk		
Stairs may extend beyond the permitted encroachments and all the way to the right-of-way line if necessary		

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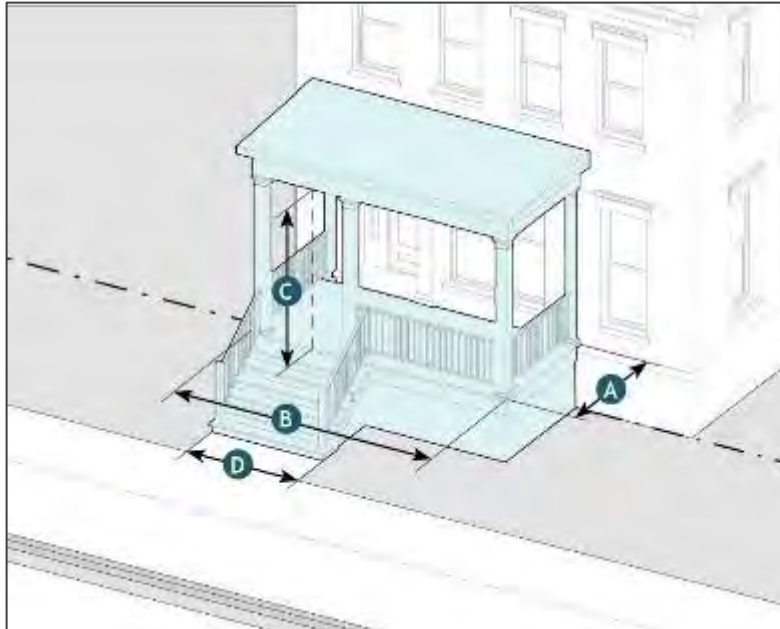
- (l). Stoop. A Stoop is a small projecting landing at the entrance of a buildings that features a set of stairs leading to a front door. Landings are elevated off the ground with stairs or ramps that may be front or side-loaded, though in either case leading to a paved path connected to the sidewalk. It is appropriate for ground floor residential buildings with small front setbacks.



a. Standards		
Dimensions		
Landing Depth	4' min., 6' max.	A
Landing Width	4' min., 8' max.	B
Path of Travel, Width	3' min.	C
Additional		
Unless entry doors are recessed more than 3', stoops must also include an overhead balcony or entry canopy for shade		
Stairs may be perpendicular or parallel to the building façade, but must connect directly to an abutting sidewalk		
Stairs may extend all the way to the right-of-way line		
Gates are not permitted		

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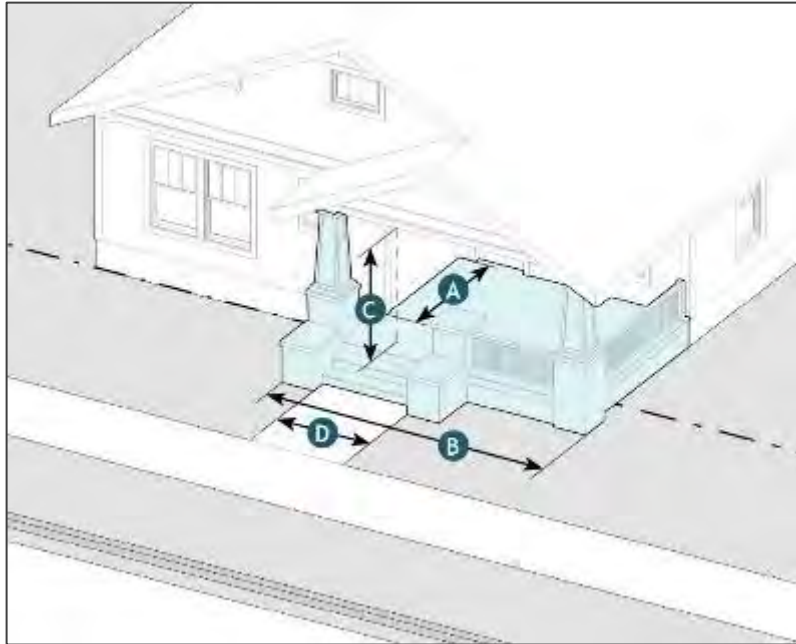
- (m). Porch - Projecting. A Projecting Porch is a medium-sized structure attached to a building façade that features a set of stairs leading to a covered platform with a roof structure supported by columns, piers, or posts and enclosed by railings. It is appropriate for residential buildings with small to medium setbacks.



a. Standards	
Dimensions	
Depth, Clear	6' min. (A)
Width, Clear	40% of front façade min. (B)
Clear Height	8' min. (C)
Path of Travel, Width	3' min. (D)
Additional	
Must be open on three sides and have a roof	
Must have a minimum 4' x 6' clear floor area for furniture	
Porch railings must allow pedestrians to see through the posts and rails	
Stairs may extend beyond the permitted encroachments and all the way to the right-of-way line if necessary	
Porches may be screened but cannot be permanently enclosed	

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- (n). Porch - Engaged. An Engaged Porch is a medium-sized structure attached to a building on two sides that features a set of stairs leading to a covered platform with a roof structure supported by columns, piers, or posts and enclosed by railings. It is appropriate for residential buildings with small to medium setbacks.



a. Standards

Dimensions

Depth, Clear 6' min. **A**

Width, Clear 40% of front
façade min. **B**

Clear Height 8' min. **C**

Path of Travel, 3' min. **D**

Additional

Must be open on two sides

Must have a minimum 4' x 6'
clear floor area for furniture

Porch railings must allow
pedestrians to see through the
posts and rails

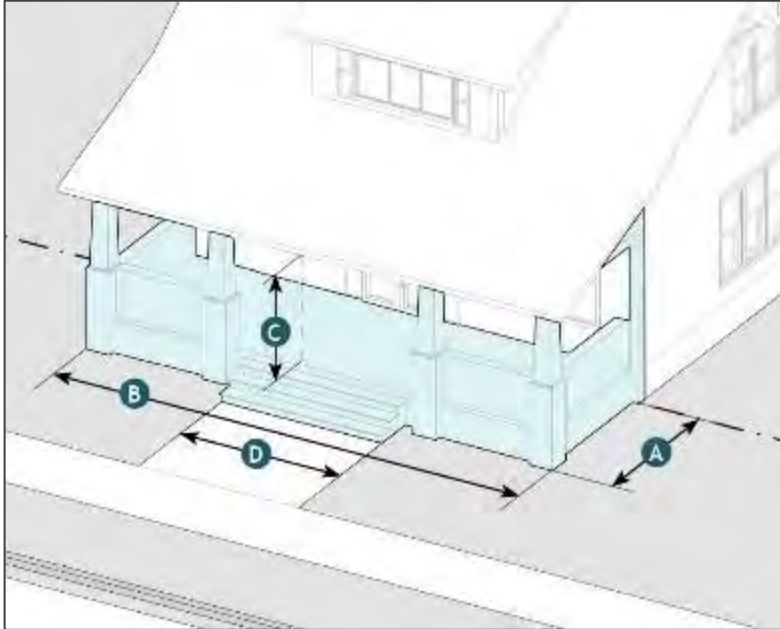
Stairs may extend beyond the
permitted encroachment area
up to 3', provided they do not
enter the public right-of-way

Porches may be screened but
cannot be permanently
enclosed

Only permitted at the first story

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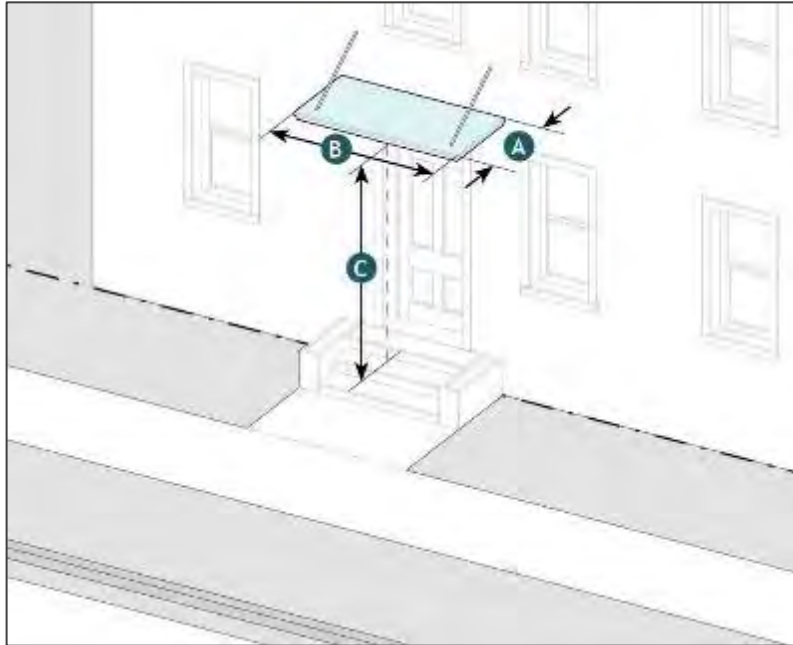
- (o). Porch - Integral. An Integral Porch is a medium-sized outdoor space that features a set of stairs leading to a covered platform enclosed by railings or a low wall. Unlike projecting porches, the floor and roof are set within the main structure instead of being attached to it. It is appropriate for buildings with small to medium setbacks.



a. Standards		
Dimensions		
Depth, Clear	6' min.	A
Width, Clear	Width of façade	B
Clear Height	8' min.	C
Path of Travel, Width	3' min.	D
Additional		
Must be open on three sides		
Must have a minimum 4' x 6' clear floor area for furniture		
Porch railings must allow pedestrians to see through the posts and rails, though a low wall up to 2.5' in height can be used		
Stairs may extend beyond the permitted encroachment area up to 3', provided they do not enter the public right-of-way		
Porches may be screened but cannot be permanently enclosed		

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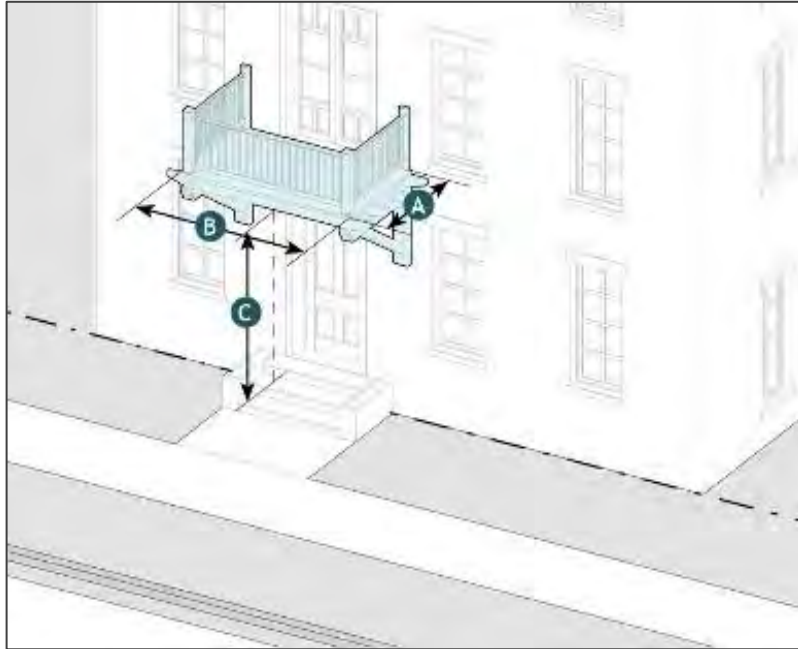
- (p). Entry Canopy - Small. An Entry Canopy is a solid wall-mounted structure that provides shade and protection from the elements over a ground floor residential entryway. It is appropriate for residential buildings with small to medium setbacks.



a. Standards		
Dimensions		
Projection	2' min., 4' max.	A
Length	3' 6" min.	B
Vertical Clearance	7' min.	C
Additional		
Must be securely and visibly attached to the façade with brackets, cables, or rods		
Length of canopy must be equal to or greater than the width of the doorway surround, trim, or exterior casing		
Should be implemented in conjunction with the Stoop frontage type		

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- (q). Overhead Balcony - Small. A small Overhead Balcony frontage is an attached second story balcony centered over a front entry way that provides shade and protection from the elements. It is typically used for ground floor residential frontages on buildings with small front setbacks.



a. Standards	
Dimensions	
Depth	2' min., 4' max. (A)
Width	3' 6" max. (B)
Vertical Clearance	8' min. (C)
Additional	
Width of balcony must be equal to or greater than the width of the doorway surround, trim, or exterior casing	
Should be implemented in conjunction with the Stoop frontage type	

Section 7.5. Architectural Styles

- (a). Applicability. The following Architectural Style provisions shall apply to all new development within the Traditional Punta Gorda (TPG) zoning district, with the following exceptions:
- (1). Single-family houses and duplex outside of the Community Redevelopment Area (CRA) boundary
 - (2). Development in the Flex Commercial Regulating District, Section 3.2
 - (3). Table 2 found in Section 3.2.(c) describes which architectural styles are allowed in each regulating district and overlay district in the TPG zoning district. If a property is in an overlay district, the allowable architectural styles for the overlay district apply instead of those for the regulating district.
- (b). Permitted Architectural Styles within TPG Zoning District.
- (1). Table 5 below describes the defining characteristics of each allowable architectural style, with each style described in more detail on the following pages:

Table 5 -- Architectural Styles Summary

Architectural Styles	Defining Characteristics			
	Frontage	Windows	Building Materials	Roof Form
Florida Wood Frame Vernacular	Porch Gallery	Wooden Surrounds Sills Double-Hung	Horizontal Lap-Siding Vertical Board and Batten Wood Shingles	Gable Hip
Folk Victorian	Porch Stoop & Portico (Rowhouse Only)	Bay Single-Pane Sash	Wood Clapboard Siding	Cantilevered Gable L-Shaped Gable
Craftsman	Porch	Ribbon Craftsman	Hand Crafted Stone Wood Clapboard Siding	Low Pitched Gable Wide Overhanging Eaves
Queen Anne Revival	Porch Stoop & Portico (Rowhouse Only)	Bay Single-Paned Sash	Patterned Shingles Wood Siding	Cantilevered Gable Shingle-Style Gable Tower turret
Colonial/ Georgian Revival	Stoop Portico Broken Pediment Over Door Colonnade Porch	Palladian Sash	Clapboard Shingle Brick Wood Siding	Hip Side Gable
Neo-Classical Revival	Stoop Pedimented Portico Colonnade Porch	Palladian Pediment	Brick Stone Faux Stone Treatment	Squared Off Symmetrical Portico Triangular Pediment
Mission	Porch Awning/Canopy Recessed Entry	Arched Casement Sash	Stucco Masonry/Concrete Block Hollow Clay Tile	Curved Parapet Tower Gable
Mid-Century Modern (new)	Recessed Covered Entry	Casement Double-Hung Fixed-Pane Picture Horizontal Sashes Floor to Ceiling	Stucco Wood Stone Brick Masonry/Concrete Block	Clean Straight Lines Butterfly Low Flat Roof Long Gable Single Slope Overhanging Eaves
Masonry Modern (new)	Arcade Gallery Canopy Stoop Recessed Covered Entry	Casement Fixed-Pane Picture Single/Double Hung Recessed	Stucco Masonry/Concrete Block Stone Wood Details	Flat Geometric
Main Street Vernacular	Arcade Gallery Awning/Canopy	Fixed-Pane Storefront Windows	Stucco Brick	Flat with Parapets

(2). Florida Wood Frame Vernacular

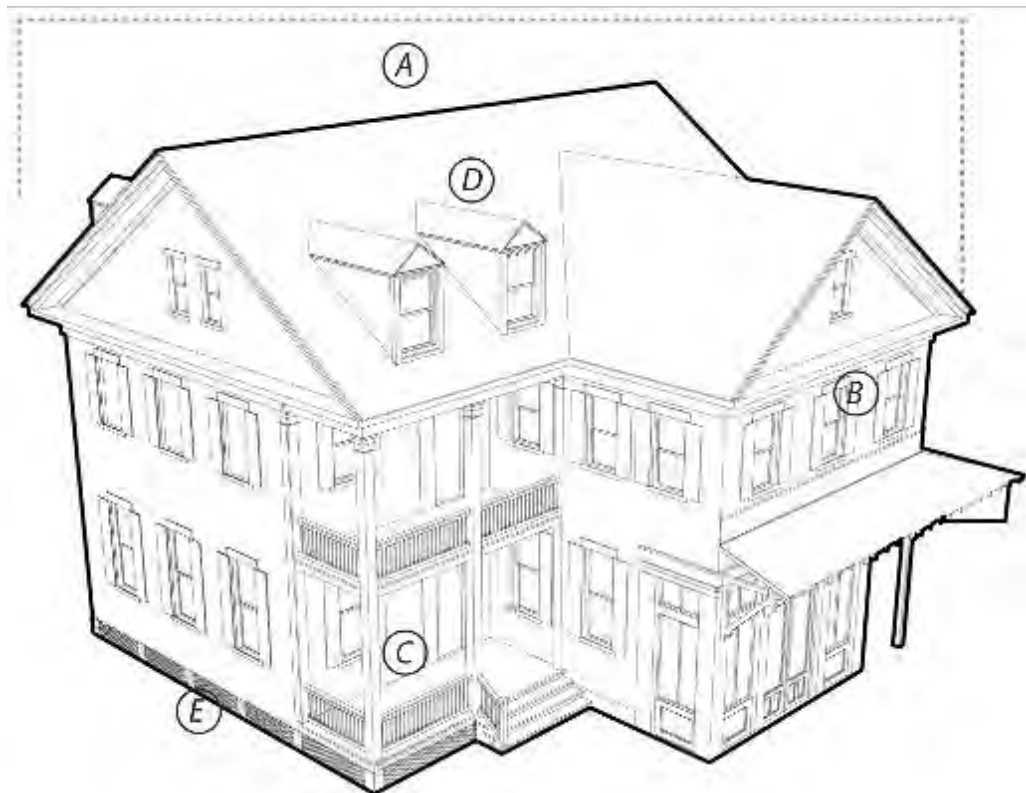


Example: 115 Duval Street in Key West, FL

a. Introduction	
Description	Primary Characteristics
The Florida Vernacular is a style of architecture native to Florida, most typically constructed with wooden frame and finished wood siding. The front façade is often composed of double height or stacked porches.	One to three volumetric components
	Appropriate for smaller free-standing buildings
	Building base always incorporates a porch or arcade
	Regular rhythmic pattern to the building face

b. Building Composition and Components

Component	Standards
A-Plan & Form	Simple building forms; Rectangular and L-shaped floor plans
B-Façade Composition	Vertically proportioned following a three-bay or five-bay pattern
C-Entry/Porch	Simple entry; Porches can be full width, wrap around, or fill-in between the “L” formed by the main body and the front gable; Porches can be single or multi-story and can be either projecting, engaged, or integral; Porches must be a minimum of 6’ in depth
D-Roof	Front, side, or cross gable with roof pitch between 6:12 or steeper; Shed roof for engaged and projecting porches with roof pitch between 2:12 and 4:12; Dormers must be evenly spaced and centered along the gable face
E-Foundation	Brick or concrete block pier foundation; Spaces between piers can be left open or filled with lattice work



c. Detailing

Element	Standards
A-Exterior	Permitted materials include horizontal lap-siding, vertical board and batten, and wood shingles; Exterior decoration is sparse, limited to ornamental trim/woodwork
B-Doors	Doors should contain recessed wood panels; Window and door trim should project out from wall cladding at least 3/4", jamb trim should be at least 4" wide, and lintels should be at least 6" wide; French doors permitted and encouraged;
C-Windows	Should be single, tall, and narrow; Multi-pane double-hung sash windows (6/6, 3/1, 2/2, or 1/1); Upper story windows must align with first floor windows and all windows must be evenly spaced along the façade; Transom, fanlights, and attic louvers are permitted and encouraged; Shutters are encouraged and if used should be paneled and either operable or proportioned to be operable
D-Porch	Columns/posts should be narrow and spaced evenly along the porch; Railing and columns/posts should be simple with little to no ornamentation, and made of wood



d. Examples

Photo	Description
	<p>Mixed-Use Building in Key West, FL</p> <p>Characteristics: Commercial use at the corner to ensure visibility and access from two streets, gable end, elevated two-story porch setback from the sidewalk, habitable roof space, naturally lit with dormer windows.</p>
	<p>Residential Building on Gill St in Punta Gorda, FL</p> <p>Characteristics: This two-story wood frame home is perfectly symmetrical with a full length front porch. It has a few more decorative wood elements on the smaller cross-gable roof and on the porch columns than is typical of this style.</p>
	<p>Residential Building on Gill St in Punta Gorda, FL</p> <p>Characteristics: This hip-roofed frame vernacular home features a symmetrical façade and projecting front balcony that provides shade over the entrance, supported by brackets.</p>
	<p>Commercial Buildings in Key West, FL</p> <p>Characteristics: These mixed-use and commercial buildings in Key West all feature two-story or second-story porches with ground floor storefronts, wood siding, metal roofs, gabled roofs, and simple wood ornamentation. One of the buildings also features two pairs of dormers.</p>

(3). Folk Victorian



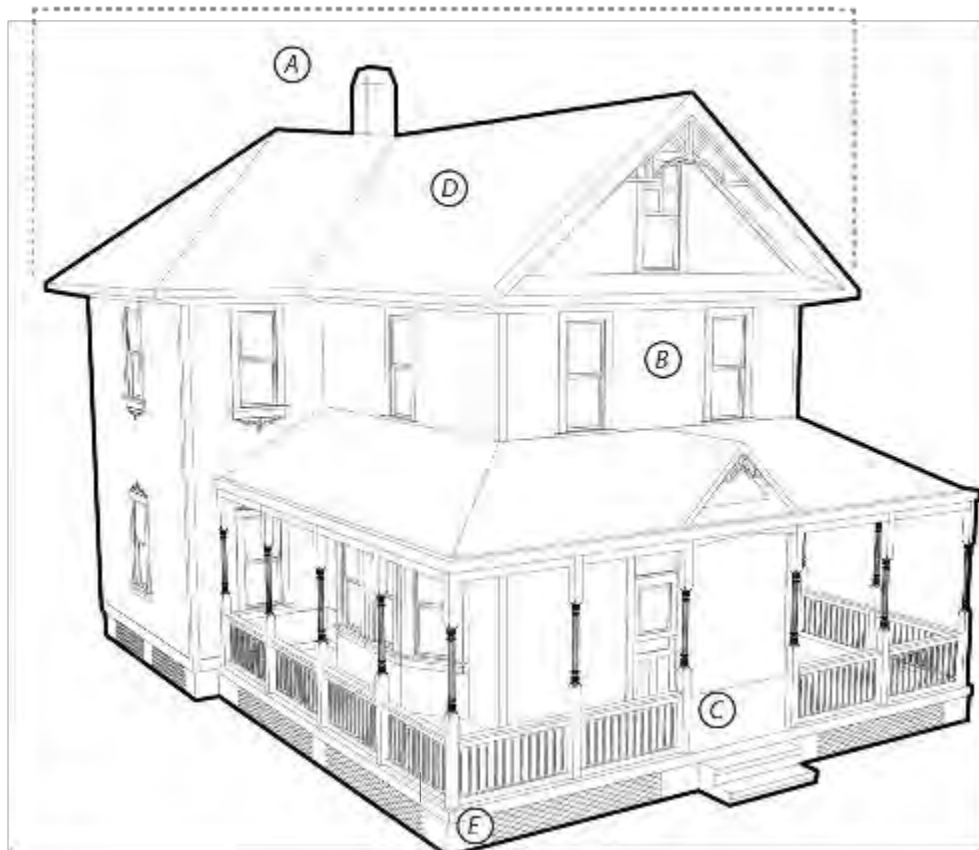
Example: Folk Victorian Home in Celebration, FL

a. Introduction

Description	Primary Characteristics
The Folk Victorian is a style of architecture made possible by railroads expanding into smaller cities. Folk is basically a middle-class version of Queen Anne with simpler details and basic asymmetrical floor plans.	Porches with spindle work detailing
	L-Shaped floor plan
	Porch with latticework
	Miniature version of Queen Anne Style plans.

a. Building Composition and Components

Component	Standards
A-Plan & Form	Rectangular and L-shaped building plans
B-Façade Composition	Vertically proportioned following a three bay or 5 bay patterns on the front elevation. Symmetrical facades, except for the L-shape plan houses. One to two stories.
C-Entry/Porch	Wide front porches. Porches can be full width, wrap around, front facing gable, or fill in between the “L” formed by the main body and the front gable. Railings consisting of turned spindles and lace-like spandrels, or square posts with beveled corners (chamfered).
D-Roof	Gabled, hip, or pyramidal roof types with a primary pitch of 8:12 or steeper. Wood shingles were often used to cover the roofs in early homes. Brick or stucco chimney, normally on the outside of the gable end walls. Decorative trim used in gables and on cornice as an architectural accent.
E-Foundation	Brick or concrete block pier foundation. Spaces between piers left open to allow for ventilation and for protection from high water. Lattice infill between piers is common.



b. Detailing

Element	Standards
A-Exterior	Primary exterior material is horizontal wood siding; less common are wood shingles and board and batten. Details based on either Italianate or Queen Anne styles. Primary areas for application of detail are the porch and cornice line.
B-Doors	Window and door trim projects out from wall cladding. Approximately 3/4". Jamb trim is at least 4" wide, and headers (lintel) are normally 6" wide. Doors contain recessed wood panels.
C-Windows	Windows can be single, tall, and narrow. Multi-pane, double-hung sash windows (6/6, 3/1, 2/2 or 1/1). Second floor windows align with first floor windows. Jalousie windows, French doors and simple balconies are used occasionally.
D-Porch	Wide front porches with a minimum depth of 6'. Porches can be full width, wrap around front facing gable, or fill in between the "L" formed by the main body and the front gable.



c. Examples

Photo	Description
	<p>Residential Building in Celebration, FL</p> <p>Characteristics: This example features a two stories home with bay and sash windows and a porch with latticework.</p>
	<p>Residential Building in Lake Holden Terrace, Orlando, FL</p> <p>Characteristics: This example features bay windows, a wide front porch with latticework, and a Victorian dormer at the main entrance.</p>
	<p>Residential Building in Celebration, FL</p> <p>Characteristics: This example features an L-shaped floor plan with a corner porch with spindle work detailing.</p>
	<p>Residential Building on Goldstein St in Punta Gorda, FL</p> <p>Characteristics: This example features a cantilevered front facing gable, with a full width porch. The porch features spindle work detailing, board & batten vertical siding, latticework.</p>

(4). Craftsman



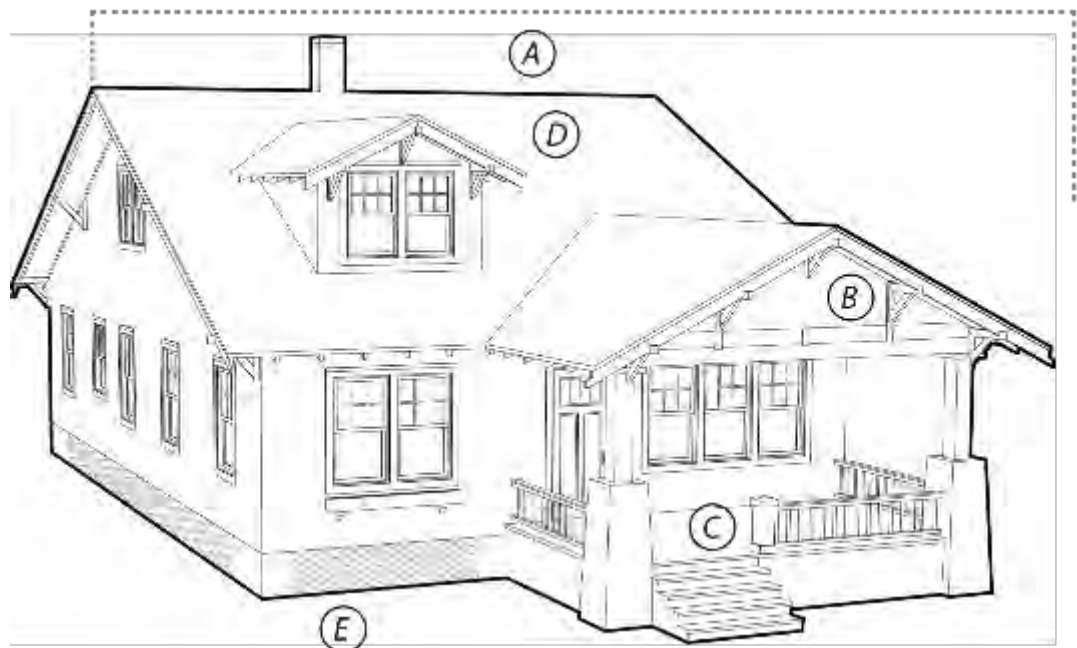
Home in Tampa, FL

a. Introduction

Description	Primary Characteristics
The Craftsman style was popular for smaller houses being built throughout the country from 1905 to 1920. The style originated from California but quickly spread throughout the country. The one-story vernacular examples are often simply called bungalows.	<u>Rectangular plan with the narrow oriented toward the street</u> <u>The front porch is an essential element of the style and the most prominent architectural feature</u> <u>Solid knee walls, matching column bases, are used between the column bases</u> <u>Ornamentation is used to emphasize the structure and construction of the building</u>

b. Building Composition and Components

Component	Standards
A-Plan & Form	Usually rectangular, with the narrow wide side oriented toward the street.
B-Façade Composition	One or one-and-a-half story. In some cases, two stories.
C-Entry	Partial porches are placed at the center of the main body or fully to one side. Columns or pedestals frequently extend to Base flood elevation (without a break at the level of porch floor). Solid knee walls, matching column bases, are used between the column bases.
D-Roof	Low to moderately-pitches roofs, emphasizing the horizontal massing of the style (4:12 to 6:12 pitch in one to two story gabled: 7:12 to 9:12 pitch for one and 1 ½ story). Integral porch roof may match main pitch or break at front wall to a 3:12 or 4:12 pitch. Exposed rafters. Rafter ends extend beyond the face of the wall, often decoratively cut.
E-Foundation	Masonry (often brick) piers, or continuous brick or concrete block. Piers occasionally flared at the bottom. Spaces between piers left open to allow for ventilation and for protection from high water.



c. Detailing

Element	Standards
A-Exterior	Wood siding, shingle and clapboard are the common exterior wall surface materials. Corner trim used with siding. Stucco and brick less frequently used. Different siding on the first and second floors - wooden clapboards on the first floor and wooden shingles on the second - although only one material is also common.
B-Doors	Simple doors, often with panes of glass. No transom or sidelights used.
C- Windows	Windows are large and wide proportioned. Window trim is thick to project out from the wall. Shutters not used; dormer windows do not cover the full width of the dormer.
D-Porch	The front porch is an essential element of all craftsman Style houses. They are often the most prominent architectural feature of the house. Either full or partial width (usually a minimum of $\frac{3}{4}$ of the front façade), with roof supported by tapered square columns. Railings and balusters are occasionally used. Open, heavy wood railings appearing with regular or irregular pattern



d. Examples

Photo	Description
	<p>Residential Building on Olympia Ave in Punta Gorda, FL</p> <p>Characteristics: This picture features a two stories example with a full width porch with tapered columns (column bases continue to ground).</p>
	<p>Residential Building in Deland, FL</p> <p>Characteristics: This example features a low pitch gable roof with eaves overhangs decorative beams and exposed roof rafters. It also features a full porch with tapered columns (column bases continue to ground).</p>
	<p>Residential Building in Jacksonville, FL</p> <p>Characteristics: This 1928 craftsman home is small one-story example with a full width front porch along the front gable of the house. The roof of the porch is supported by tapered square columns.</p>
	<p>Residential Building (The Ashlee House) in Newberry, FL</p> <p>Characteristics: This example features a gable roof with decorative beams and a full front porch supported by tapered square columns.</p>

(5). Queen Anne Revival



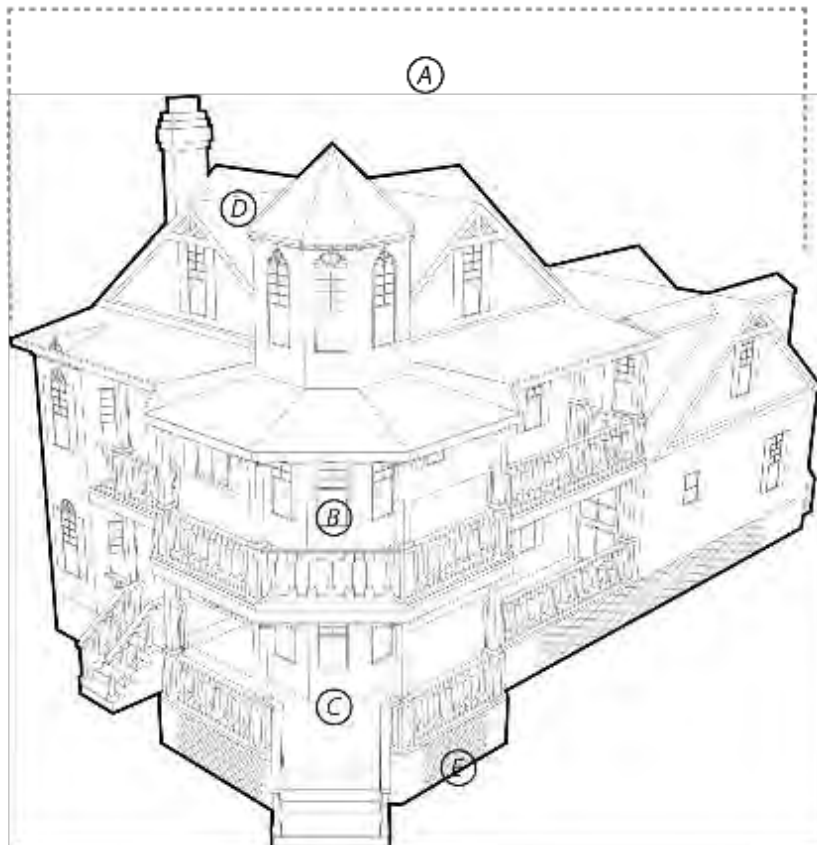
A.C. Freeman House, 311 West Retta Esplanade, Punta Gorda, FL

a. Introduction

Description	Primary Characteristics
The Queen Anne Revival is a highly decorative style of architecture. Initially originated from Britain, early American Queen Anne Homes were built of warm, soft brick enclosing square terracotta panels, with an arched side passage leading to an inner court and back house.	<u>Asymmetrical facade</u> <u>A porch covering part or all the front façade, including the primary entrance area</u> <u>Round, square, or polygonal towers</u> <u>Classical columns</u>

b. Building Composition and Components

Component	Standards
A-Plan & Form	Two to three-and-a-half stories. Rambling, asymmetrical plan. Vertical orientation. Irregular massing of the building and forms.
B-Façade Composition	Picturesque massing, polychromatic and decorative ornamentation. Multiple gables and dormers; occasional towers and turrets, rounded or square.
C-Entry	Main entrance always included in the porch area. Simple, classical columns sometimes grouped and raised to the railing level with pedestals.
D-Roof	Steeply-pitches (8:12 slope or steeper) main hipped roof with one or more lower cross gables; occasionally a pyramidal roof or a small flat deck crowning the main hip roof. Polygonal towers typically placed at one corner of the front façade, with a conical roof. Multiple dormers and gables, metal composition shingles.
C-Foundation	Simple brick or concrete piers. Spaces between piers left open to allow for ventilation and for protection from high water.



c. Detailing

Element	Standards
A-Exterior	<p>Eclecticism is the keynote of the Queen Anne style Varied and decoratively rich, with picturesque and asymmetrical silhouette shaped by turrets, towers, gables, and bays. Horizontal wood siding is most common. May combine several types of siding materials (shingles, clapboard, and decorative wood panels) on one house.</p>
B-Doors	<p>Doors have decorative carvings and details often with glass panes in the upper part of the door.</p>
C-Windows	<p>Typically, double-hung wood sash windows with single and divided panes. Windows may be a mixture of sizes and shapes. Queen Anne window, consisting of a single large pane surrounded by smaller rectangular panes. Decorative glass, such as diamond-shaped panes or stained glass is common.</p>
D-Porch	<p>Porches usually one-story high. Sometimes small second floor balconies. Partial or full width across the front of the home; may wrap either one or both sides of the building. Porch is intended to accentuate the characteristic asymmetrical façade. Simple railings; occasionally, turned spindles.</p>



d. Examples

Photo

Description



Belleview-Biltmore Hotel and Spa, Clearwater, FL

Characteristics: Unique green sloped roof, white wood-sided exterior, and extensive handcrafted woodwork and Tiffany glass inside



Residential Building (Delos A. Blodgett House) in Daytona Beach, FL

Characteristics: Fish Scale Shingles, asymmetrical shapes, and step roof pitches at various elevations.



Residential Building (Bradley-McIntyre House) in Longwood, FL

Characteristics: This example features an octagonal tower and "ginger-bread" trim typical of the flamboyant houses of the Victorian Period.



Mixed Use Building (Southern Market Center) in Lancaster, PA

Characteristics: Decorative brickwork, terra cotta tiles, and a roof shaped by towers.

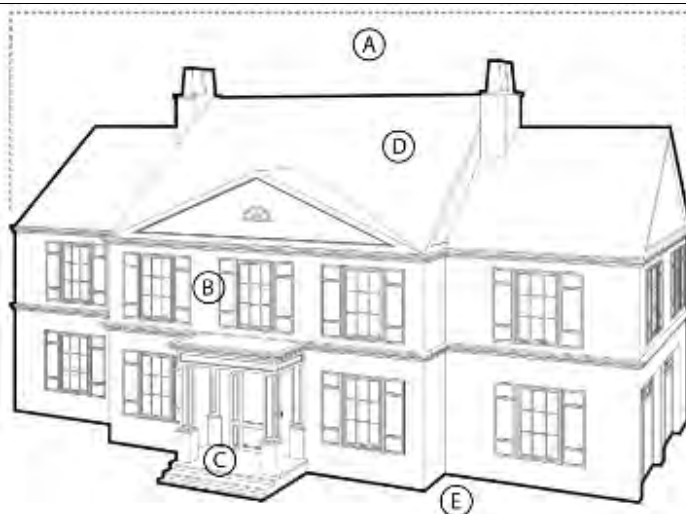
(6). Colonial/Georgian Revival



a. Introduction	
Description	Primary Characteristics
<p>In Florida, the Colonial style exerted a great influence on Vernacular designs. Colonial Revival details are most frequently applied to residential design.</p>	Symmetrical plan
	Classically inspired details such as columns, modillions, and dentils
	Prominent entrance featuring door with sidelights and transom above
<p>The commercial version of this style may also have elements similar to those found in Federal style architecture.</p>	Two to two-and-one-half stories
	Commercial Characteristics
	Symmetrical plan
	Classically inspired details and a side gabled roof
	Less ornate and sophisticated, more delicate and slender details
	Two to two-and-one-half stories

b. Building Composition and Components

Component	Standards		
A-Plan & Form	Plan is regular, rectangular, or nearly square, sometimes with add on elements (additions and wings). The long axis parallels the street. Height is two to two- and one-half stories. Entrance stairs typically centered on the main façade.		
B-Façade Composition	The main body is dissected into 3 to 5 implied bays. The entry is almost always centered on the main body. Simple rectangular volumes are combined creating a main body and side wings.		
	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%; text-align: center;">Residential/Civic</td> <td style="width: 50%; text-align: center;">Commercial</td> </tr> </table>	Residential/Civic	Commercial
Residential/Civic	Commercial		
C-Entry/ Porch	<table border="1" style="width: 100%;"> <tr> <td style="width: 70%;"> Entries are the most dramatic part of the façade, normally contained by a pediment supported by pilasters or protruding out supported by columns. The main body is dissected into 3 or 5 implied bays. The entry is almost always centered on the main body. Simple rectangular volumes are combined creating a main body and side wings. </td> <td style="width: 30%; text-align: center;"> The main body can be 4 bays. </td> </tr> </table>	Entries are the most dramatic part of the façade, normally contained by a pediment supported by pilasters or protruding out supported by columns. The main body is dissected into 3 or 5 implied bays. The entry is almost always centered on the main body. Simple rectangular volumes are combined creating a main body and side wings.	The main body can be 4 bays.
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Residential/Civic	Commercial		
D-Roof	<table border="1" style="width: 100%;"> <tr> <td style="width: 70%;"> Add-ons and wings have their own roof form (a single roof does not encompass all the volumes). Eaves are less embellished than classical eaves. Overhangs in Florida have been broadened to accommodate the climate. </td> <td style="width: 30%; text-align: center;"> A single roof form can encompass all the form. Less ornate. </td> </tr> </table>	Add-ons and wings have their own roof form (a single roof does not encompass all the volumes). Eaves are less embellished than classical eaves. Overhangs in Florida have been broadened to accommodate the climate.	A single roof form can encompass all the form. Less ornate.
Add-ons and wings have their own roof form (a single roof does not encompass all the volumes). Eaves are less embellished than classical eaves. Overhangs in Florida have been broadened to accommodate the climate.	A single roof form can encompass all the form. Less ornate.		
E-Foundation	The foundation is usually of brick piers or continuous brick. Concrete piers used at later times. Spaces between piers left open to allow for ventilation and for protection from high water.		



c. Detailing

Element	Standards
A-Exterior	The primary exterior material is usually brick horizontal wood siding or shingles. The exterior detailing is usually classically derived columns, pediments, broken pediments, and wood shutters.
B-Doors	Doors often flanked by fixed glass sidelights surrounded by simple classical trim.
C-Windows	Paired or grouped double-hung wood sash windows. Typical windows have multiple panes with a 6/1 muntin pattern. Variants include 3/1 and 6/6 patterns. Windows are detailed with simple molding. Group windows are separated by a mullion.
D-Porch	Usually on the entry, almost always centered on the main body, often has classical detailing, pedimented entrance porticos



d. Examples

Photo

Description



Home in Chapel Hill, NC

Characteristics: This is a remodeled 1930s colonial revival home with an open gable roof (gable end facing the street), shutters, and a pedimented portico entrance.



Home in Hudson, OH

Characteristics: This historic example features a 3-bay symmetrical design with a gabled roof, chimney, wood siding, and traditional double-hung grided windows with wood shutters.



Mixed-Use Building on King St in Alexandria, VA

Characteristics: This historic example features exterior red brick, a gabled roof with a pair of dormers, and traditional sash windows with thin muntin's and stone lintels.



Commercial/Mixed-Use Building in Newport, RI

Characteristics: This example features a open gabled roof, traditional sash windows with thin muntin's, a cornice with dentils, and a ground floor storefront.

(7). Neo-Classical Revival



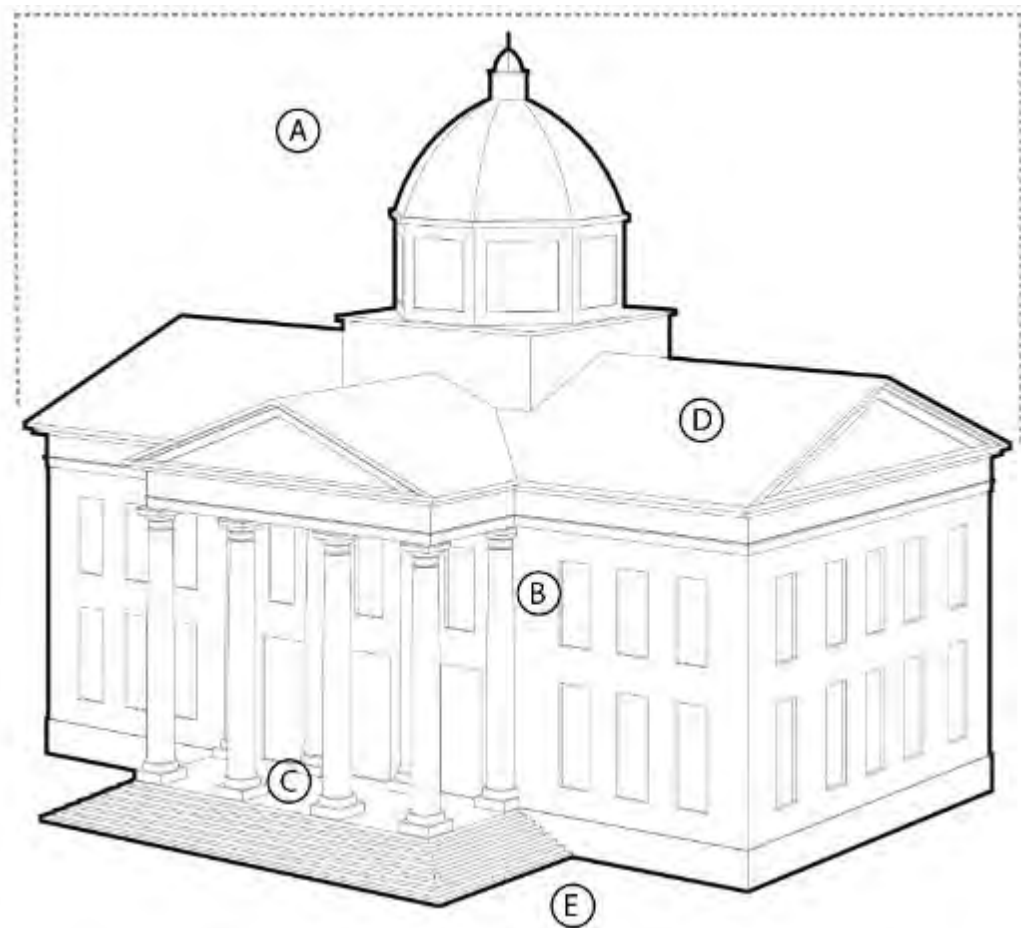
City Hall, West Marion Ave, Punta Gorda, FL

a. Introduction

Description	Primary Characteristics
The Neo-Classical Revival Style typically features full-height porches with classical columns; Ionic or Corinthian capitals; symmetrical facades; centered entrance.	Symmetrical plan based on Greek and Roman architectural orders. The doorway, cornice line and type of column are the three principal distinguishing features of the style. Entry porch dominates the front façade and normally equals it in height, but not the width. Colonnade porch occupies the full width and height of the facade

b. Building Composition and Components

Component	Standards	
A-Plan & Form	Based on Greek and Roman architectural orders. Plan is regular, rectangular, or nearly square.	
B-Façade Composition	The doorway, cornice line and type of column are the three principal distinguishing features of the styles. Entry porch dominates the front façade and normally equals it in height, but not the width.	
C-Entry/Porch	There are several types of porches in this style, occasionally the One or two stories, simple rectilinear houses with side-gable or low-pitched hipped roofs, having the characteristic full-height entry porch	
D-Roof	Residential/Civic	Commercial
	Front or side-gable or low-pitches hipped roofs.	May have a flat, gabled, or hipped roof
E-Foundation	The foundation is usually of piers or continuous, made of brick or concrete. Usually tall foundations, which exaggerate the height of the front façade.	

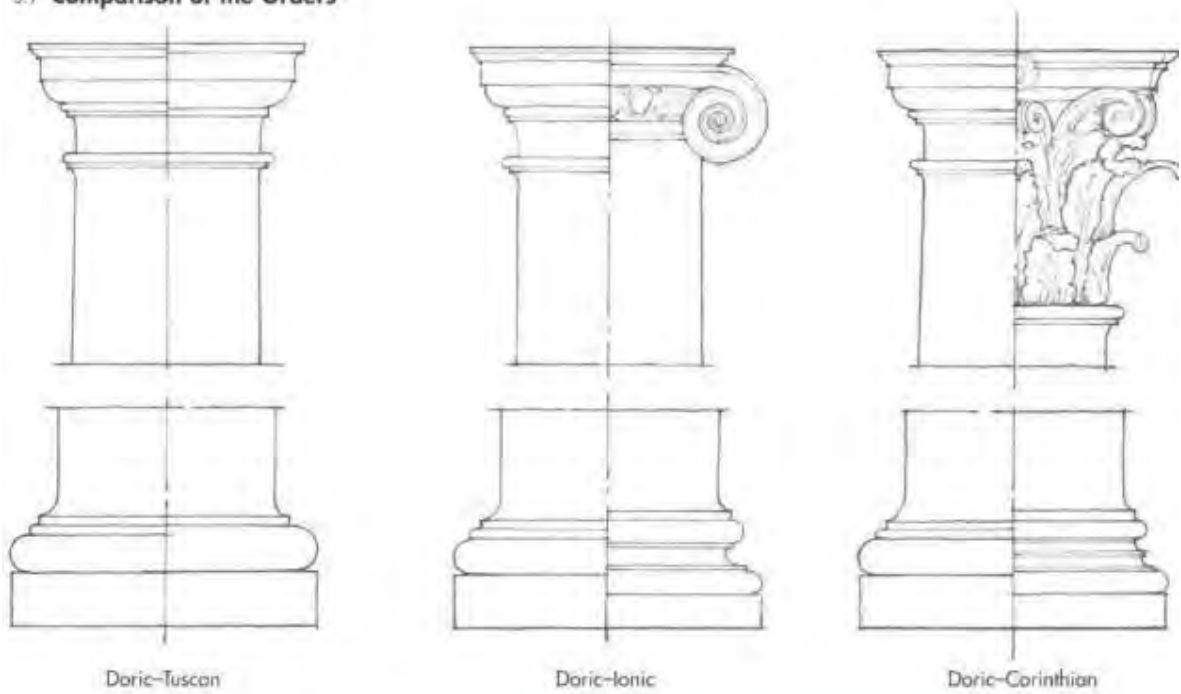


c. Detailing

Element	Standards
A-Exterior	Wall materials may be wood, brick, stucco, or stone, in order of decreasing frequency. The primary exterior material is usually horizontal wood siding, smooth masonry, brick, or faux stone (stucco).
B-Doors	Semi-circular or elliptical fanlight normally occurs above the paneled front door. Elaborate, decorative surrounds found in main entrances.
C-Windows	Double-hung sash windows aligned horizontally and vertically in symmetrical rows, usually five-ranked on front façade, less commonly three-ranked or seven-ranked. Windows sometimes have elaborate crowns placed above them – cornice mold or decorative frieze.
D-Porch	Full-height Entry Porch: Dominant central entry extending the full height, but not width, of the façade. May have a classical pediment and gabled roof, or flat porch roof. Front Gabled Roof: Full façade, colonnaded porch beneath the front-facing gable gives the building the appearance of a miniature Greek temple. Not very common. Full Façade: Colonnade porch occupies the full width and height of the façade. However, the porch is not covered by a traditional pedimented gable, but instead either by the principal side-gabled or hip roof, or by a flat or shed extension from such a roof.



3.4 Comparison of the Orders



3.5 Proportions of the Five Orders

Names of Features		Greek Doric	Tuscan	Doric	Ionic	Corinthian & Composite						
ENTABLATURE 1/10 1/2	Corona <small>CORNICE CORONA MODIOL</small>	2	1/2	1 3/4	3/4	2 1/4	1/6					
	Frieze <small>FRIEZE</small>		1/4		3/4		1/6	2 1/2	1/4			
	Architrave <small>ARCHITRAVE</small>		1/4		1/2		1/2		1/6	1/4		
COLUMN 1	Capital <small>ABACUS EQUIBUS HELMAS ASTRAGAL</small>	4-6	1/2	7	1/2	8	1/2	9	1/2	10	1/4	
	Shaft <small>SHAFT</small>		None		6		7		8		8	8 1/3
	Shaft <small>CINCTURE BASEMOLD FLUTE</small>				1/2		1/2		1/2		1/4	
PEDESTAL 1/2	Cap <small>CORONA MODIOL</small>	No pedestal but three steps the STYLOBATE	The Cap is one ninth the height of the pedestal									
	Die <small>DIE</small>		Pedestal 1/3 (Vignolo)									
	Base <small>BASEMOLD FLUTE</small>		The Base is two ninths the height of the pedestal									

Figure 3.4: Comparison of the Classical Orders.

Source: Marianne Cusato, *Get Your House Right* (Canada: Sterling, 2007), 40, fig. 3.4 - 3.5.

d. Examples

Photo

Description



Civic Building (Old Charlotte County Courthouse), in Punta Gorda, FL

Characteristics: Pedimented portico in the prominent front façade.



Commercial Building

Characteristics: This example features a flat roof, symmetrical facade, and dominant front entry with classical columns and Palladian arched windows.



Commercial Building (The Market Arcade) in Buffalo NY

Characteristics: This example feature a very ornate classical symmetrical façade, monumental arched main entry, ornate columns and arched windows decorated with elaborate stone lintels.



Residential Building in New Orleans, LA

Characteristics: Example of a 5-bay symmetrical composition. Dominant central entry extending the full height but not width, of the façade. Classical pediment and gabled porch roof.

(8). Mission



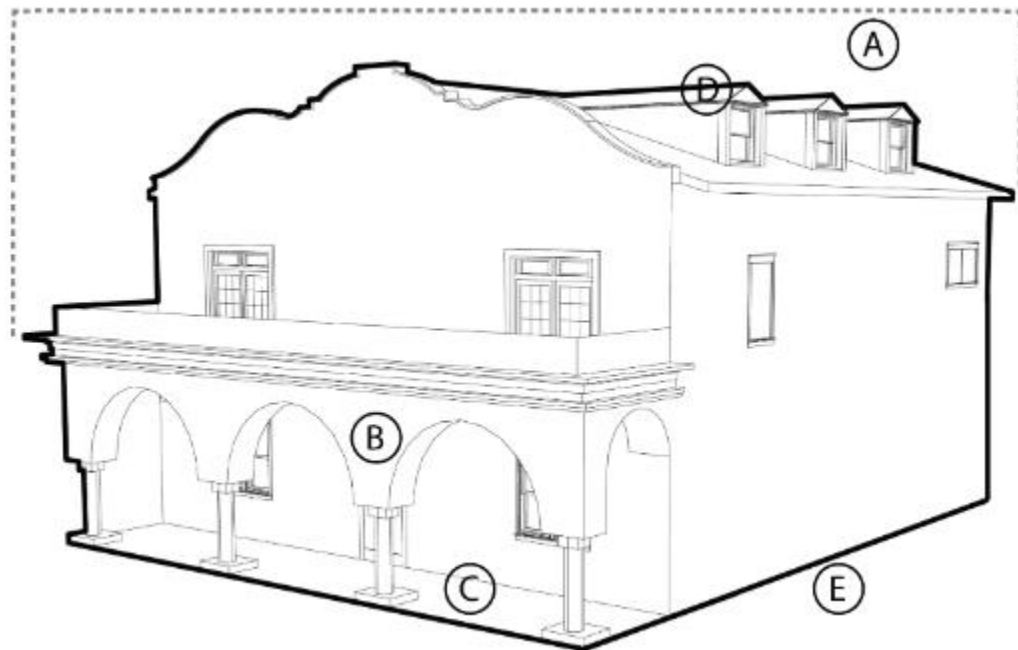
Historic Home in Mount Dora, FL

a. Introduction

Description	Primary Characteristics
The Mission style originated in California during the 1890s, houses and buildings in this style were constructed throughout the western states. As it became more popular, the mission style moved eastward, like California, Florida looked to its Spanish heritage for architectural inspiration.	Asymmetrical plan
	One to two stories
	Residential types frequently include a porte cochere
	Lack surface ornament and much more restrained than the Mediterranean style

b. Building Composition and Components

Component	Standards
A-Plan & Form	Simple square or rectangular plans. Arched loggias or patios.
B-Façade Composition	Two types of façades: Symmetrical: most commonly of simple square or rectangular plans with hipped roofs Asymmetrical: the façade asymmetry is superimposed on a simple square or rectangular plan, though more elaborate, rambling compound plans also exist. Thick adobe or stucco walls with broad unadorned plaster surfaces.
C-Entry	Arched entryway
D-Roof	Flat roofs with curvilinear parapets are most common. Gable and hip roofs also used. Great variety of dormers. Some examples have unusual visor roofs. These are narrow, tiled roof segments cantilevered out from a smooth wall surface. Open eaves are most common, boxed eaves also occur, usually with brackets below.
E-Foundation	Slab, continuous. Masonry; not exposed.



c. Detailing

Element	Standards
A-Exterior	Decorative detailing is generally absent, although patterned tiles, carved stonework, or other wall surface ornament is occasionally used. Stucco is the most common materials used. Shaped parapets, arches, and smooth, flat wall surfaces.
B-Doors	Limited fenestration and door piercing Arched doorways
C-Windows	Quatrefoil windows are common. Arched windows, deep window openings without any framing, except the sill.
D-Porch	Prominent one-story porches either at the entry area or covering the full width of the façade; these sometimes have arches roof supports to simulate the arcades of Hispanic buildings.



d. Examples

Photo	Description
 A photograph of a two-story commercial building with a light-colored facade and a prominent, decorative, curved parapet roofline. The building features a series of arched windows and a central arched entrance. The name 'MAHER BUILDING' is visible on the upper part of the facade.	<p>Commercial Building (Maher building) in Vero Beach, FL Characteristics: Curvilinear roof parapet, arched entry.</p>
 A photograph of a small, single-story commercial building with a white facade and a red-tiled roof. The building has a decorative, curved parapet roofline and large, arched windows. The name 'SOULARD' is visible above the entrance.	<p>Commercial Building in St. Louis, MO Characteristics: This is an example of a 1930s gas station that has been renovated to serve as a restaurant. This small footprint mission style building features Spanish tile roof with decorative parapet walls that extends at each building corner.</p>
 A photograph of a single-story civic building with a white facade and a red-tiled roof. The building features a prominent, decorative, curved parapet roofline with wide overhanging eaves. Large square pillars support a covered arcade over the entrance.	<p>Civic Building (Train Depot) in Punta Gorda, FL Characteristics: Flat roof with curvilinear parapet with wide overhanging eaves. Large square pillars and arched entry with a covered arcade.</p>
 A photograph of a two-story residential building with a white stucco facade and a red-tiled roof. The building features a decorative, curved parapet roofline and a central arched entrance. The building is surrounded by a well-maintained lawn and landscaping.	<p>Residential Building in St Petersburg, FL Characteristics: Smooth stucco siding and curvilinear roof parapets.</p>

(9). Mid-Century Modern



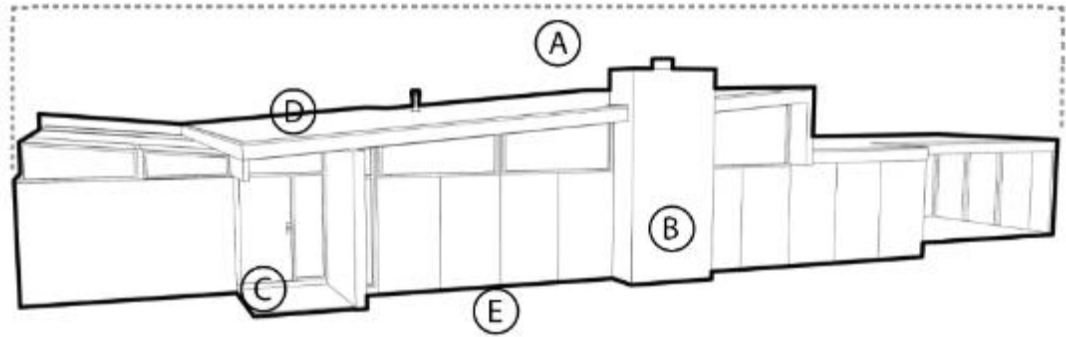
258 Shreve St, Punta Gorda, FL

a. Introduction

Description	Primary Characteristics
The Mid-Century Modern style is known for its sharp, clean lines, minimal decoration, and connection with nature. This style is an American architectural movement that kicked off after World War II. It is inspired by the high prairie style, originally developed by Frank Lloyd Wright and adapted to Southwest Florida, known as the "Sarasota School" of modernism.	Very wide, low footprint homes with large open spaces, floor to ceiling windows
	Simple look and feel with clean lines and Geometric shapes
	Changes in elevation
	Emphasis on bringing the outdoors in

b. Building Composition and Components

Component	Standards
A-Plan & Form	Simple form. Several parts of the house might be asymmetric. Uncluttered and sleek lines with both organic and geometric forms.
B-Façade Composition	Minimal ornamentation, big windows
C-Entry	Recessed into the building, Simple, without ornamentation
D-Roof	Flat roof without ornamentation.
E-Foundation	Concrete foundation, naturally integrated.



c. Detailing

Element	Standards
A-Exterior	Horizontal lines incorporated into every vantage point and flat geometric. Natural integration, asymmetry and elevation changes, geometric detail, and minimalistic aesthetic.
B-Doors	Clean and sleek lines Lite doors Natural wooden appearance
C-Windows	Large floor to ceiling glass windows
D-Balconies	Balconies jutting out from staggered levels of the structure.



d. Examples

Photo	Description
 A photograph of a modern building at night. The building has a flat roof and large glass windows that are illuminated from within, showing an interior with tables and chairs. The exterior is lit up, highlighting the clean lines and flat surfaces.	<p>Civic Building (used to be commercial) in Sarasota, FL Characteristics: This is a good example of the simple look and feel with clean flat lines so popular in Mid Century Modern Architecture.</p>
 A photograph of a modern house with a flat roof and large glass walls. The house is surrounded by trees and a lawn. The architecture is minimalist and geometric.	<p>Home (Umbrella House) in Sarasota, FL by Paul Rudolph Characteristics: This is a good example of the simple look and feel with clean lines geometric shapes so popular in Mid Century Modern Architecture.</p>
 A photograph of a modern house with a flat roof and large glass walls. The house is surrounded by trees and a lawn. The architecture is minimalist and geometric.	<p>Home in Jacksonville, FL Characteristics: This house is a good example of sleek lines and a flat geometric exterior. The house is naturally integrated into the landscape and features minimalistic aesthetics.</p>
 A photograph of a modern building with a flat roof and large glass walls. The building is surrounded by trees and a lawn. The architecture is minimalist and geometric.	<p>Civic Building in Los Angeles, CA Characteristics: This religious center is a good example of sleek lines and a flat geometric exterior. The building is naturally integrated into the site and features minimalistic aesthetics.</p>

(10). Masonry Modern



Aqua, Miami Beach, FL

a. Introduction

Description

The Masonry Modern style of architecture is defined by its rational load bearing construction technique, its system of punched openings and its limited ornament.

Primary Characteristics

Emphasis on the solidity of the mass

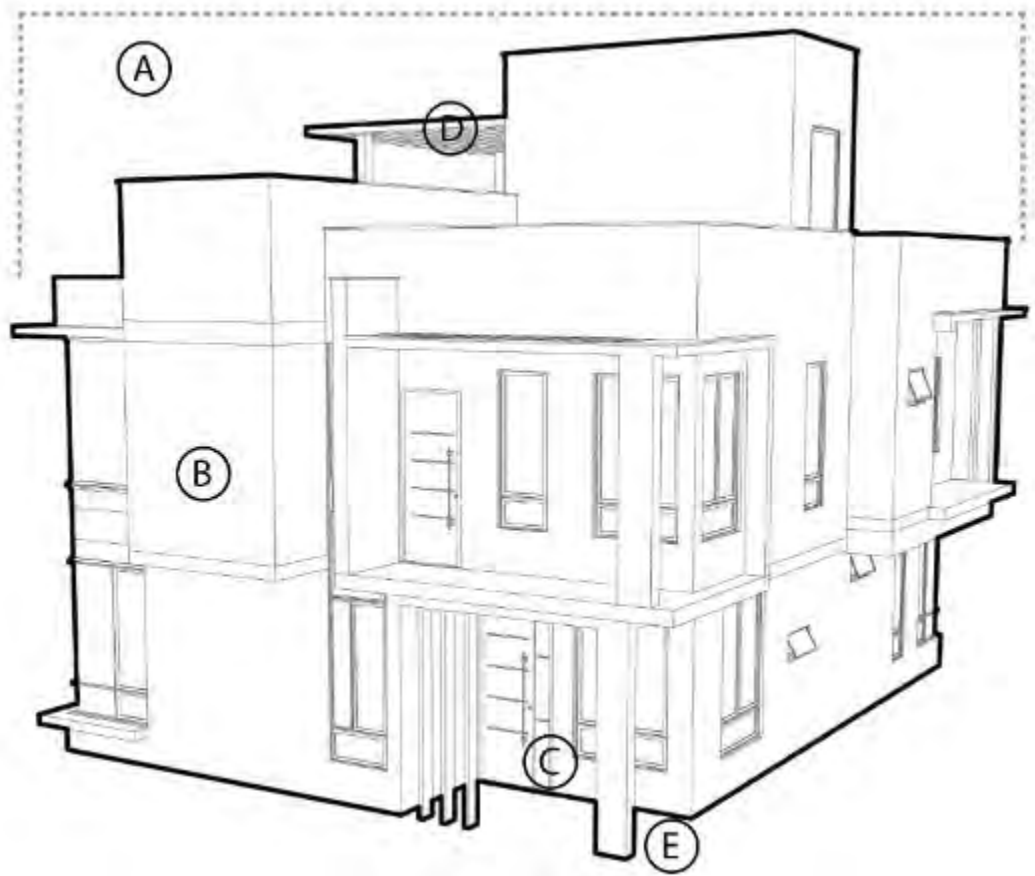
Tripartite composition (lower, middle, upper)

The structural system of the building is clearly expressed in the building's exterior

Stairway access rooms are often embellishing and sculptural in nature

b. Building Composition and Components

Component	Standards
A-Plan & Form	The geometry of the building appears to be carved from a solid volume; the solidity of the mass is emphasized.
B-Façade Composition	The tripartite composition (lower, middle, upper) characteristics of other styles is present in the Masonry modern language. The public nature of the ground floor is emphasized with more glass, middle portions of the building are more solid, and the top often incorporates usable exterior spaces including loggias and terraces.
C-Entry	Spaces are carved from the mass to create entries. Entrance to building is clearly identifiable.
D-Roof	Flat or based on pure geometric form.
E-Foundation	Continuous Concrete slab



c. Detailing

Element	Standards
A-Exterior	<p>Stone and wood details are used to soften the stark modern forms of the building mass.</p> <p>Exterior finishes in the Masonry Modern language are typically stucco.</p> <p>Exterior spaces are frequently incorporated into the façade.</p>
B-Doors	<p>Recessed into the structure</p> <p>Typically recessed back from the exterior face of the building, producing deep shadows, and revealing the thickness of the wall.</p>
C-Windows	<p>Window types are typically casement or fixed-pane with ransom openings, though single or double-hung may be used.</p> <p>Openings can be vertical or horizontal, but the windows themselves should be vertically proportioned.</p> <p>Have simple geometries, can be larger, with fewer dividing lights than found in other styles.</p>
D-Porch/Loggia	<p>Recessed and often at the base of the building</p>



d. Examples

Photo	Description
	<p>Mixed-Use Building in Seaside, FL Characteristics: Exterior spaces incorporated into the façade through recesses into the structure.</p>
	<p>Residential Building in Punta Gorda, FL Characteristics: This example features a recessed entry porch at the base of the structure.</p>
	<p>Multifamily Building in Miami Beach, FL Characteristics: Illustration of a tripartite composition punched openings creating outdoor terraces.</p>
	<p>Mixed-Use Building in Seaside, FL by Steven Holl Architects Characteristics: Continuous arcade, broad mix of uses, retail located along the sidewalk, offices in the second story, and residential uses in upper stories, main roof geometry is curved.</p>

(11). Main Street Vernacular



Historic Marion Avenue, Punta Gorda, FL

a. Introduction

Description

The Main Street Vernacular is a style of architecture that encompasses the traditional commercial and mixed-use-buildings that have shaped successful main streets since the 1900s.

Primary Characteristics

Simple building composition

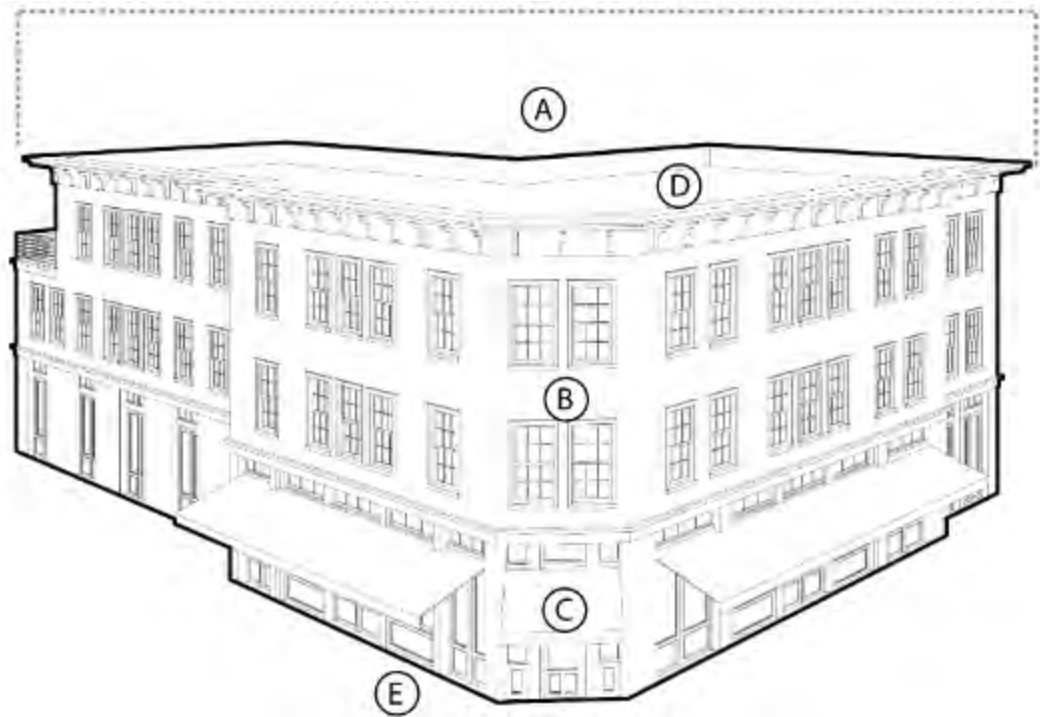
Openings are vertically proportioned with simple sills and surrounds

Storefronts are designed to accommodate shade for pedestrians

Modern day materials occasionally employ a series of doors to open restaurants to the sidewalk.

b. Building Composition and Components

Component	Standards
A-Plan & Form	Rectangular plan.
B-Façade Composition	Narrow front elevation facing the main street. Focus of the design. Provides the building's identifying features. Different framework in upper and lower stories.
C-Entry	Ornamentations are typically incorporated around entries and may be classical in nature or reflective of native flora or fauna. A transition line is incorporated between the first and second stories and entrance to upper story uses is clearly identifiable.
D-Roof	Usually flat with concealing parapets.
E-Foundation	Continuous concrete slab or brick foundation.







c. Detailing

Element	Standards
A-Exterior	Rough textures stucco. Rusticated rock-faced concrete block. Awnings, canopies, cornice, cast concrete detailing, decorative brick work, such as corbeling.
B-Doors	Limited palette of door sizes French doors on the first floors to allow visibility to the shopfronts. Transom windows above the first-floor doors.
C-Windows	Fixed plate glass display windows on the first floor. Double-hung sash windows in the upper floors. Vertically proportioned and aligned; when grouped, the masonry openings may be square or horizontal
D-Porch	Usually on the upper floors, overlooking the street.



d. Examples

Photo	Description
 A photograph of a three-story brick building on a city street. The building features a series of vertically proportioned bays with storefronts on the ground floor and windows above. A red awning covers the entrance, and a Starbucks sign is visible. A white SUV is parked in front.	<p>Main Street Building on Clematis Street in West Palm Beach, FL Characteristics: An example finished in brick, facade composed of a series of vertically proportioned bays containing storefronts and second story offices, same window sizes are used singularly or grouped in two. Ornamentation in the lintels and brick detail of the parapet cornice line.</p>
 A photograph of a two-story building with a symmetrical facade. The ground floor has a storefront with a red awning, and the second floor has arched windows. A large tree and a yellow awning are in the foreground.	<p>Mixed-Use Main Street Building on Park Ave in Winter Park, FL Characteristics: This Main Street Vernacular example has a symmetrical facade comprised of three bays, with the center emphasizing entry to the store. Ornamentation is limited to a simple cornice line between the first and second stories and an articulated parapet. Shade is provided from awnings and street trees.</p>
 A photograph of a row of three-story buildings in a historic district. The buildings have decorative facades with arched windows and awnings. The colors are light pink, yellow, and orange.	<p>Main Street Buildings in Cairo, GA Characteristics: These mixed-use buildings are good examples of the American Mercantile architectural style which is found in many historic main streets and commercial centers. The facades are typically three bay compositions. Ornamentation includes decorative brick work, an articulated parapet wall, and traditional storefronts with awnings.</p>
 A photograph of a two-story building with a simple facade. The ground floor has a storefront with a red awning, and the second floor has windows with shutters. A red Jeep is parked in front.	<p>Main Street Building on Clematis St in West Palm Beach, FL Characteristics: These two-story buildings contains stores on the first story and residences and offices on the second story. These more modern facades feature simple materials, a series of storefronts and regularly spaced, vertically proportioned windows with shutters and/or awnings on the second story</p>

Section 7.6. Allowances to Regulatory Height Limits

The regulatory height of the habitable portions of buildings is controlled by the building types and height limitations listed in Articles 3 Zoning Regulating Districts and 5 Planned Development. The allowances to regulatory building heights are measured from the regulatory building height, are not additive, and shall be permitted as follows:

- (a). Rooftop Equipment Areas. Equipment and enclosures for equipment necessary for the operation of the building including mechanical attics, elevator/stair towers, chimneys, ventilators or other similar equipment or enclosures shall be permitted under the following conditions:
 - (1). Maximum height: 10 feet
 - (2). Minimum setback from building street façade(s): 10 feet
 - (3). Materials for any enclosure or equipment must be consistent with the building façade or roof.

- (b). Architectural Features. To ensure a varied skyline the following architectural features shall be permitted under the conditions specified:
 - (1). Parapet Walls. Decorative parapet walls typically extending above a flat (low slope) roof are limited to:
 - a. Maximum height: 10 feet
 - b. Minimum setback from any building façade: 0 feet
 - (2). Pitched Roof Forms. Decorative pitched roofs including mansard roofs typically extending above a flat (low slope) roof are limited to:
 - a. Maximum height: 12 feet
 - b. Minimum setback from any building façade: 0 feet
 - (3). Rooftop Amenities. Rooftop amenities shall be permitted under the following conditions:
 - a. Open areas, such as patios, pools and similar features:
 - 1. Maximum height: 10 feet
 - 2. Minimum setback from any building façade: 0 feet
 - b. Open air roofed structures, such as pergolas, outdoor kitchens, and similar structures:
 - 1. Maximum height: 10 feet
 - 2. Minimum setback from building street façade(s): 0 feet

- 3. Maximum roof area coverage: 40 percent
- c. Associated enclosed (indoor) spaces, such as elevator/stair lobbies, restroom facilities, and other similar indoor spaces not intended for habitation shall be permitted under the following conditions:
 - 1. Maximum height: 10 feet
 - 2. Minimum setback from building street façade(s): 0 feet
 - 3. Maximum roof area coverage: 40 percent
- (4). Tower Features. Architectural tower features including spires, belfries, turrets and other similar spaces not intended for habitation shall be permitted under the following conditions:
 - a. Maximum height: 20 feet
 - b. Minimum setback from building street façade(s): 0 feet
 - c. Maximum roof area coverage: 20 percent

Section 7.7. Architectural Standards outside of the TPG Zoning District

- (a) Shopfront and Workplace Principles [mixed use].
 - (1) Parking shall be located to the rear and/or side of the building.
 - a. Side yard parking may occupy no more than 45% of the primary frontage line.
 - b. Parking shall not be placed in any yard abutting an intersecting street.
 - c. Parking shall be screened from the street by any combination of two of the following:
 - 1. Pedestrian plazas.
 - 2. Landscaping.
 - 3. Architectural treatments including but not limited to an arcade or colonnade.
 - (2) Trash containers shall be:
 - a. Located in a gated enclosure constructed of materials architecturally compatible with the primary structure.
 - b. Located in a rear parking area.
 - (3) All equipment, including but not limited to mechanical, generators, etc.:
 - a. Shall be located to the rear or side yard and screened from off-site view when viewed from grade by creating an opaque landscape

- screen or architecturally compatible fence materials or wall, or a combination of landscaping and a fence or wall, approved by Urban Design staff.
 - b. All rooftop equipment shall be enclosed in building material that matches the structure or is visibly compatible with the structure.
 - c. No mechanical equipment shall be mounted to a building façade visible from the public right-of-way or adjacent properties.
- (4) Building walls shall be:
- a. Brick.
 - b. Cast concrete.
 - c. Stucco.
 - d. Stone.
 - e. Marble.
 - f. Other materials similar in appearance and durability.
 - g. Regular block may only be used on building walls not visible from a public street.
 - h. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- (5) Pitched roofs shall be clad in one of the following materials:
- a. Standing seam metal.
 - b. Corrugated metal.
 - c. Slate.
 - d. Tile.
 - e. 5V crimp metal.
 - f. Architecturally integrated asphalt shingles or similar material.
- (5) The first floor of street level building facades shall be at least 50% in windows or doorways.
- a. Faux or display casements are permitted in lieu of exterior window treatments only for the secondary frontage elevation, or where actual windows are not technically feasible due to unavoidable interior configuration or design.
 - b. No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
 - c. Blank walls shall be treated with a logical pedestrian scale rhythm of pilasters, colonnades, arcades, trellises or other architectural features in keeping with the architectural style of the structure.
- (6) Street level windows shall be untinted.
- a. Upper level windows may have tinted glass with a minimum visual transmittance factor of 35.
 - b. Mirrored or reflective glass is not permitted in any location.

(b) Highway Commercial Building Principles.

- (1) Pedestrian sidewalks shall be provided from building entries to:
 - a. Surrounding streets.
 - b. Parking spaces.
 - c. External public or private sidewalks.
 - d. Outparcels.
- (2) Organize the site so that pedestrians walk along building fronts rather than along or across parking lots and driveways.
 - a. Shared pedestrian walkways are encouraged between adjacent commercial projects.
- (3) Trash containers shall be located in a gated enclosure constructed of material architecturally compatible with the primary structure located in the rear parking area [see Parking Regulations].
- (4) All equipment, including but not limited to mechanical, generators, etc.:
 - a. Shall be located to the rear or side yard and screened from off-site view when viewed at grade by creating an opaque landscape screen or architecturally compatible fence materials or wall, or a combination of landscaping and a fence or wall, approved by Urban Design staff.
 - b. Roof top equipment shall be enclosed in building material that matches the structure or is visibly compatible with the structure.
 - c. No equipment shall be mounted to a building façade visible from the public right-of-way or adjacent properties.
- (5) Building walls shall be:
 - a. Brick.
 - b. Cast concrete.
 - c. Stucco.
 - d. Stone.
 - e. Other materials similar in appearance and durability.
 - f. Regular block may only be used on building walls not visible from a public street.
 - g. All accessory buildings shall be clad in materials similar in appearance to the principal structure.

- (6) At least 50% of the street level frontages shall be in windows or doorways.
 - a. Street level windows shall be visually permeable.
 - b. Mirrorized glass is not permitted in any location.
 - c. Faux or display casements are permitted in lieu of exterior window treatments only for the secondary frontage elevation, or where actual windows are not technically feasible due to unavoidable interior configuration or design.
- (7) No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
- (8) A change in roof design, doors, window rhythm and articulation, and building materials and textures shall be required every 150 feet along a building's street frontage. Minimum spacing between the same architectural compositions shall be 300 feet.
- (9) Buildings shall incorporate a minimum of eight of the following design treatments:
 - a. Canopies or portico integrated with the buildings massing and style.
 - b. Overhangs a minimum of three feet.
 - c. Arcades a minimum of eight feet clear in width.
 - d. Sculptured artwork.
 - e. Raised cornice or building banding with a minimum of two reliefs.
 - f. Peaked roof forms.
 - g. Consistent pattern of arches.
 - h. Consistent rhythm of display windows.
 - i. Ornamental and structural architectural details, other than cornices; which are integrated into the building structure and overall design.
 - j. Projected and covered entry a minimum of five feet in width.
 - k. Metal or tile roof as the dominant roof material.
 - l. Decorative landscape planters, a minimum of five feet wide, and areas for shaded seating consisting of a minimum of 100 square feet.
 - m. Integration of specialty pavers, or stamped concrete along the building's walkway. Said treatment shall constitute a minimum of 60% of walkway area.
 - n. Water elements must have a minimum of 150 square feet in area.
 - o. Covered short-term bicycle parking as identified in Section 10.13 of this Chapter.

- (c) Interchange Commercial Overlay District Building Principles.
 - (1) Vehicular circulation
 - a. Driveway connections between parking lots on adjacent parcels shall be provided
 - b. Shared access driveways or internal streets shall provide secondary routes for trips between parcels within the Interchange Commercial Overlay district
 - (2) Pedestrian sidewalks shall be provided from building entries to
 - a. Surrounding streets
 - b. Parking spaces
 - c. External public or private sidewalks
 - d. Outparcels
 - (3) Site organization shall accommodate pedestrian movement
 - a. Walkways shall be along building fronts
 - b. Walkways through or along parking lots shall prioritize pedestrian safety above vehicular speed
 - c. Shared pedestrian walkway connections are required between adjacent properties within the Interchange Commercial Overlay district.
 - d. Any internal (private or public) streets and driveways shall be constructed in accordance with applicable provisions of Article 9
 - (4) Parking shall be
 - a. Constructed in compliance with the provisions of Article 10 Parking and Loading
 - b. Constructed in compliance with the provisions of Article 12 Landscaping Standards
 - (5) At least 50% of the ground level building facades shall be in windows, doorways, or other architectural features
 - a. Windows, doorways, and other architectural features shall be arranged on the façade in a pattern in keeping with the architectural style of the structure
 - b. No building façade visible from a public or private street or parking lot shall be uninterrupted by a window, doorway or other architectural feature for a distance of greater than 20 linear feet

- c. Ground level windows shall be visually transparent
 - d. Mirrored glass is not permitted in any location
- (6) Buildings shall incorporate a minimum of eight of the following design treatments
- a. Canopies or portico integrated with the buildings massing and style
 - b. Covered walkways along the building façade(s)
 - c. Sculptured artwork
 - d. Raised cornice or building banding with a minimum of two reliefs
 - e. Peaked roof forms
 - f. Consistent pattern of arches
 - g. Consistent rhythm of display windows
 - h. Ornamental and structural architectural details, other than cornices; which are integrated into the building structure and overall design
 - i. Projected and covered entry a minimum of five feet in width
 - j. Metal or tile roof as the dominant roof material
 - k. Decorative landscape planters, a minimum of five feet wide, and areas for shaded seating consisting of a minimum of 100 square feet
 - j. Integration of specialty pavers or stamped concrete along the building's walkway; treatment shall constitute a minimum of 60% of walkway area
 - m. Water elements must have a minimum of 150 square feet in area
 - n. Covered short-term bicycle parking as identified in Section 10.13 of this Chapter
- (7) Trash containers
- a. Dumpsters shall be
 - i. Located in a gated enclosure constructed of materials architecturally compatible with the primary structure
 - ii. Located in the rear parking area or other similar location on the site
 - b. Cans shall be screened from view from a public right-of-way or adjacent property by:
 - i. A wall architecturally compatible with the primary structure; or
 - ii. Fencing which creates an opaque screen; or
 - iii. Landscaping which forms an opaque screen.

- (8) All equipment, including but not limited to mechanical systems, generators, pool equipment
 - a. Shall be located to the rear or side yard
 - b. Screened from off-site view when viewed at grade, by creating:
 - i. An opaque landscape screen; or
 - ii. Architecturally compatible fence materials or wall; or
 - iii. A combination of landscaping and a fence or wall, approved by Urban Design staff
 - c. All roof top equipment shall be screened from view by:
 - i. A parapet wall; or
 - ii. Mansard roof; or
 - iii. Other building materials that are consistent with the architectural style of the structure
 - d. Façade mounted equipment visible from a public right-of-way, internal private street or driveway, or adjacent property is prohibited
- (9) Building walls shall be either:
 - a. Brick
 - b. Cast concrete
 - c. Stucco
 - d. Stone
 - e. Wood siding [lap, shingle, board & batten or similar]
 - f. Other materials similar in appearance and durability
- (10) Plain concrete masonry units may only be used on building walls not visible from a right-of-way or adjacent property
- (11) Split face or other decorative finish concrete masonry units may only be used for a maximum of 25 percent of any building wall visible from a right-of-way or adjacent property
- (12) All accessory buildings shall be clad in materials similar in appearance to the principal structure
- (13) Pitched roofs shall be clad in one of the following materials
 - a. Standing seam metal

- b. Corrugated metal
 - c. Slate
 - d. Tile
 - e. Metal [5v crimp, 3v crimp, metal tiles, standing seam or similar styles]
 - f. Architecturally integrated asphalt shingles or similar material
- (14) Drive-through customer services, must be located at the rear or side of the building

Article 8

Standards of General Applicability

Section 8.1. Historic Districts and Buildings

- (a). Purpose. Historic and neighborhood conservation districts and historic buildings are designated by the City of Punta Gorda for the following purposes:
- (1). Protecting and conserving the heritage of the City of Punta Gorda and the State of Florida.
 - (2). Safeguarding the character and heritage of the districts and individual historic landmarks by preserving the character-defining elements of the districts and landmarks that embody important elements of their social, economic, cultural, political, or architectural history.
 - (3). Promoting the conservation of the districts and landmarks for the education, pleasure, and enrichment of their residents, the City of Punta Gorda, and the State as a whole.
 - (4). Fostering civic beauty and pride in local culture and heritage.
 - (5). Stabilizing and enhancing property values within historic and neighborhood conservation districts, thus contributing to the improvement of the general health and welfare of the City of Punta Gorda and its residents.
- (b). Designation of Historic and Neighborhood Conservation Districts.
- (1). Historic and neighborhood conservation districts are defined in two manners:
 - a. A physical perimeter around each district.
 - b. The identification within that perimeter of buildings and structures that have been deemed to contribute to the historic or cultural associations or to the architectural qualities of the district, and which are listed on the Local Register of Historic Places.
 - (2). Four districts have been formally established by the City of Punta Gorda, as shown in Section 3.2 of this code:
 - a. The Downtown Historic District, which incorporates and updates the prior National Register (residential) district and small portions of the Downtown district.

- b. The Main Street District, which incorporates and updates portions of the prior National Register District and Downtown District with a focus on commercial and mixed-use properties.
 - c. The Grace Street Mid-Century Historic District.
 - d. The Neighborhood Conservation District, which incorporates and updates the prior Trabue Woods district and Bethel St. Mark district.
- (3). Additional historic and neighborhood conservation districts may be established using the following procedures, which shall also apply to changes to existing districts:
- a. The designation of additional districts and changes to existing districts shall be approved by the City Council using map amendment procedures in Article 16. No designations or changes shall be approved unless they have been found by the Historic Preservation Advisory Board (HPAB) to have special significance in terms of their historical, archaeological, architectural, or cultural importance and to possess integrity of design, setting, workmanship, materials, feeling and/or association.
 - b. The HPAB shall make or cause to be made an investigation and report on the historic, architectural, archaeological, educational, or cultural significance of each building, structure, site, area, or object proposed for designation or acquisition. Such an investigation or report shall be forwarded to the Division of Historical Resources, Florida Department of State.
 - c. The Florida Division of Historical Resources shall either upon request or at the initiative of the HPAB be given an opportunity to review and comment upon the substance and effect of the designation of any district or landmark. Any comments shall be provided in writing. If the Division does not submit its comments or recommendation in connection with any designation within 30 days following receipt by the Division of the investigation and report of the HPAB, the board and the City Council shall be relieved of any responsibility to consider such comments.
 - d. The City Council shall hold a public hearing on the proposed ordinance. Following the public hearing, the City Council may adopt the ordinance as proposed, adopt the ordinance with any amendments it deems necessary, or reject the proposed ordinance.
 - e. Upon adoption of the ordinance, the owners and occupants of each designated district or landmark shall be given written notification of such designation insofar as reasonable diligence permits. One copy of the ordinance and all amendments thereto shall be filed by the HPAB with the Clerk of the Circuit Court of Charlotte County, and the copy shall be made available

for public inspection at any reasonable time. A second copy of the ordinance and all amendments thereto shall be given to the Zoning Official. The fact that a building, structure, site, area, or object has been designated a landmark or within a district shall be clearly indicated on all zoning maps maintained by the City for such period as the designation remains in effect.

(c). Designation of Local Register of Historic Places (Local Register).

- (1). Historic places on the Local Register include buildings and sites of special historic merit that may or may not be within a designated historic or neighborhood conservation district.
- (2). The City of Punta Gorda has designated a Local Register of Historic Places containing all structures to which these provisions apply including but not limited to all existing structures listed as contributing to the Punta Gorda Residential District [National Register] and the following individually listed structures on the National Register of Historic Places:

a. Charlotte High School	1250 Cooper Street
b. Ice Plant	408 Tamiami Trail
c. Atlantic Coast Line Depot	1009 Taylor Street
d. Women's Club	118 Sullivan Street
e. A.C. Freeman House	311 W. Retta Esplanade
f. Smith Arcade	121 E. Marion Avenue
g. First National Bank of Punta Gorda	133 W. Marion Avenue

- (3). Additional structures may be added to the Local Register by the City of Punta Gorda using the procedures described above for designating historic and neighborhood conservation districts.

(d). Effect of Historic Designations.

- (1). Within Traditional Punta Gorda (TPG) district. Historic and neighborhood conservation districts and Local Register listed structures are defined and regulated through special provisions in the Traditional Punta Gorda (TPG) base zoning district; see Section 3.2. Certificates of appropriateness may be required for contributing buildings or structures and for visible public improvements that could affect the character of the district in accordance with Section 16.3.
- (2). Outside Traditional Punta Gorda (TPG) district. Historic and neighborhood conservation districts and Local Register listed structures located outside the Traditional Punta Gorda (TPG) base zoning district will be shown as overlays on the Official Zoning Map. Certificates of appropriateness may be required in accordance with Section 16.3.
- (3). Certificates of Appropriateness Required. A certificate of appropriateness is required for certain alterations to buildings or

structures listed on the Local Register or located in a historic or neighborhood conservation district. Procedures and criteria for certificates of appropriateness are described in Section 16.3.

- (e). Special Exceptions and Variances. Any request for a special exception or variance for a building or structure listed on the Local Register or located in a historic or neighborhood conservation district, shall be reviewed by the HPAB at its next regular meeting after the application has been submitted. The HPAB shall forward its comments and recommendations to the Punta Gorda Planning Commission or Board of Zoning Appeals for their formal consideration.
- (f). General Criteria.
 - (1). Ordinary Maintenance and Repair. Nothing in this section shall be construed to prevent the ordinary maintenance or repair of any exterior architectural features in historic or neighborhood conservation districts or Local Register listed structures which do not involve a substantial change in design, material, or outer appearance thereof (color is not regulated), nor to prevent the construction, reconstruction, alteration, restoration, or demolition of any such feature which the Zoning Official or similar official shall certify in writing to the Historic Preservation Advisory Board is required by the need to protect the public health and safety because of an imminently dangerous condition. Nothing herein shall be construed to prevent a property owner from making any use of his or her property not prohibited by other statutes, ordinance, or regulations. Nothing in this section shall be construed to prevent the maintenance or in the event of an emergency, the immediate restoration of an existing component that is essential to protecting the integrity of the building without approval by the HPAB.
 - (2). Application of Artificial Siding. The application of artificial siding, including aluminum and vinyl siding, shall not be permitted on structures listed on the Local Register due to its potential to damage wood frame buildings. However, vinyl siding may be replaced on historic structures which, as of January 1, 2005, already had it. Vinyl siding may also be used in new buildings within the Historic Districts Overlay, provided it is of high quality and is designed to match the plank sizes and patterns found in historic wood siding for the chosen architectural style.
 - (3). Parking waiver.
 - a. A request needs to be sent to DRC for technical review, and
 - b. HPAB for comment/recommendation, and
 - c. Planning Commission for comment/recommendation, and
 - d. City Council for decision.

- e. Where the HPAB makes a written finding that the number of off-street parking spaces required by this code for a building or structure for which a permit is requested would render the building incongruous with the historic aspects of the district it shall recommend to the City Council a waiver, in part or in whole, of the off-street parking requirements. The City Council may authorize a lesser number of off-street parking spaces provided the Council finds, after public hearing, that the lesser number of off-street parking spaces will not create problems due to increase on-street parking and will not constitute a threat to the public safety.
- (g). Restoration or Reconstruction. Where it is found by the HPAB that an application for a permit covers activity constituting an authentic restoration or reconstruction in the same location as the original location and in the original configuration of a Local Register listed structure, such activity may be approved by the City Council following approval by the HPAB, even though it does not meet dimensional regulations of the underlying code.
- (1). The City Council, in approving such authentic reconstruction or restoration, may attach reasonable and appropriate conditions to the approval, such that the public health, safety and general welfare shall be protected.
 - (2). The City Council shall not be authorized, in action undertaken by this section to approve a use of property which is not a use permitted by right or as a Special Exception within the district in which the property is located.
 - (3). In addition to any other condition the City Council may make regarding such authorization, any items restored, reconstructed, or maintained on, over, or within a public sidewalk, public alley area, or other public way shall be the responsibility of the owner, heirs, and assigns. The owner's restoration, reconstruction, or maintenance of any such item within such area shall constitute the owner's agreement to protect and hold the City of Punta Gorda harmless against any and all liability, cost, damage, or expense suffered by the City of Punta Gorda as a result of or growing out of the restoration, reconstruction, or maintenance thereof. Such items, so approved may be lawfully restored, reconstructed, or maintained. Any such items projecting onto the vehicular travel way of a street or alley shall be, at its lowest point, 12 feet above the travel way.
- (h). Demolition and Relocation. An application for demolition or relocation of a historic building or structure listed on the Local Register of Historic Places shall be referred to the Historic Preservation Advisory Board for review and recommendation. In all instances, the City Council shall have the first right of refusal to purchase or accept for dedication a historic structure prior to issuance of a final demolition permit. See Section 16.5 of this code regarding demolition permits generally.

Illumination levels noted in foot candles shall be provided for all parking areas, walkways, building access points and other areas to be illuminated. Foot candle notations are also required to be provided at the property line.

- (c). Fixture Height. Exterior lighting shall be designed, located and mounted at heights no greater than 18 feet above grade for non-cut-off lights, or 35 feet above grade for cut-off lights.
- (d). Lighting Standards. All outdoor lighting for non-residential, mixed-use, and multi-family development shall conform to the following standards with the exception of public street lighting:
 - (1). Maximum illumination measured in foot candles at the property line shall not exceed .3 for non cut-off lights and 1.5 for cut-off lights.
 - (2). Fixtures should be located to provide uniform distribution of light and to avoid intense lighting that produces excessive glare.
 - (3). Lighting fixtures in scale with pedestrian activities shall provide for uniform distribution of lighting to produce minimal shadows.
 - (4). Quantity of fixtures to be provided shall be based upon the desired level of uniform illumination as established.
 - (5). The level of illumination shall be based upon the primary activity in each area to be lighted.
 - (6). Because of their unique requirements for nighttime visibility and limited hours of operation, the lighting of active recreation areas, such as for ball fields and tennis courts are to follow best practices for such illumination depending on the needs of the specific recreational activity and may exceed the fixture height and foot candle at the property line provisions of this article as well as any applicable style and material requirements of Article 7.
- (e). Additional Lighting Provisions.
 - (1). No flickering or flashing lights shall be permitted.
 - (2). Light sources should not be located within any perimeter-landscaped areas except on pedestrian walkways.
 - (3). Holiday lighting shall be exempt from this section.

Section 8.5. Fences, Privacy Walls, and Hedges.

(a). Definitions. Specific definitions pertaining to this Section see Fence, Privacy Walls and Hedges in Article 19 Definitions, Section 19.7 Fences, Privacy Walls, and Hedges (Section 8.5) Definitions

(b). Regulations. Hedges, Privacy walls and fences are permitted in required yards in accordance with the following restrictions:

- (1). Height of Residential Landscaping. In residential districts, including the Special Residential Overlay District, hedges and other landscaping located in front yards shall be permitted to a maximum height of four (4) feet except within any visibility triangle of any intersection of public or private streets and except as specified below:
 - a. Landscaping shall not be planted in the City right-of-way. Only sod is permitted to be located in the City right-of-way and requires a permit be obtained from the Building Division.
 - b. Landscaping within the visibility triangle shall be maintained at a height of no more than three feet, or shall be removed or trimmed back from the visibility triangle to ensure public safety concerns are addressed.
 - c. Landscaping located near any driveway which creates a visual sight barrier for vehicular or pedestrian traffic shall be maintained at a height of three feet or less for a distance of five feet on each side of the driveway and a distance of ten feet from the street yard property line measured toward the house or structure.
 - d. Individual trees of any height shall be permitted in the visibility triangle or driveway visibility area provided that foliage is cut away between three and eight feet above the average grade of the road as measured at the centerline. The placement of multiple trees in the visibility triangle or driveway visibility area that impair visibility is not permitted.
 - e. Landscaping in side yards may be of any a maximum height of four (4) feet, subject to the limitations for tree location stated in Article 12, Section 12.15. Any conflict or objection from the adjacent property owner shall be a civil matter between the neighbors.
 - f. Landscaping in rear yards of properties abutting a waterway may be of any height but no vegetation other than sod is permitted to be placed or maintained within 6 feet of the seawall.
 - g. On properties abutting a golf course, another lot or green belt, landscaping in the rear yard may be of any height.
 - h. For residential properties adjacent to Burnt Store Road, landscaping or tree row of any height shall be permitted to be placed in the yard closest to the right-of-way to serve as a sound and sight barrier.
 - i. Landscaping on all properties shall be maintained in a neat and healthy condition, pruned, or trimmed on a regular basis and

maintained free from uncontrolled overgrowth and free of debris, weeds, insects, rodents, snakes or other types of pests and vermin.

- j. Failure to maintain any landscaping on any property shall be a violation of this Section.

These restrictions are applicable only to residential buildings on individual lots. All multi-family buildings with five or more units and non-residential developments are subject to an approved landscape plan as part of the required Development Review process.

- (2). Height of Residential Fences and Privacy Walls. In residential districts, the maximum height for fences and privacy walls shall be four feet along waterways, front yards, or side yards; and six feet along rear yards, except as otherwise provided for in the Special Residential Overlay District. Fences placed within the buildable area of the property or for any residential yard which abuts the City's Linear Park may be up to six feet in height.
 - a. Side yard fences may be up to six feet tall under certain conditions:
 - 1. For corner lots within the Neighborhood Residential Zoning District, fences shall be permitted to a height of six feet and shall be permitted to be located on the property line when the fence is located behind the architectural rear of the house on the secondary street frontage, provided that visibility triangles are not obstructed.
 - 2. Fences located in side yards between all properties may be up to six feet in height but must be held back a minimum of thirty-five feet from the primary street frontage. In no case shall a fence six feet in height extend beyond the architectural front of the structure without City Council approval.
 - 3. The primary street frontage shall be defined as the side of the structure that is the architectural front of the house. The secondary street frontage shall be defined as the architectural side of the house.
 - b. Fences along front, side, and street yards shall be finished wood, metal, including welded wire with black or green finish when constructed as part of a post and rail fence, vinyl, or similar material. See also subsection (9) below.
 - c. The use of unfinished or bare wood, chicken wire or agricultural grade fence material is specifically prohibited. The use of chain link fencing along street yards is prohibited, except as specifically permitted herein.
 - d. Vinyl coated chain link fence may be approved in street yards for uses such as school playgrounds and/or outdoor recreation areas, upon review and approval by the Zoning Official or designee. Conditions for such approval include:
 - 1. Removal of said fence upon any change of use or ownership may be placed upon any approval.

2. Fences for recreation areas which exceed 4 feet in height must be set back a minimum of 25 feet from the property line.
 - e. Fences shall be installed with the posts or structural supports inside and the finished surfacing facing the adjacent properties and public rights-of-way.
 - f. All privacy walls and fences shall be maintained in sound condition and good repair no matter when they were constructed. Any fence or privacy wall found to be in disrepair must be repaired or removed within 14 days of written notification to the property owner.
 - g. Residential fences and privacy walls in the visibility triangle must follow the same height limitations that apply to residential landscaping; see Section 8.5 (b). (1). 1. b.
- (3). Height of Non-residential Landscaping, Fences, and Privacy Walls. In non-residential districts and for non-residential uses within residential districts landscaping shall conform to the requirements of Article 12 and the provisions below related to visual sight and including sight visibility. The following shall apply to non-residential Fences and Privacy Walls:
- a. Non-residential fences and privacy walls shall not exceed eight feet in height in rear yards and four feet in height in other applications unless the fence or privacy wall is placed within the buildable area of the property or as required by provisions of Article 4 Uses permitted with Conditions or Section 12.4 (f) Buffer Area. Fences or privacy walls within the buildable area of the property may not exceed six feet in height.
 - b. Non-residential fences along front, side, and street yards shall be brick, stucco, wrought iron, stone, metal, vinyl, finished wood or similar combination.
 - c. Non-residential landscaping, fences, and privacy walls must also meet these visibility requirements:
 1. Non-residential fences, and privacy walls within the visibility triangle shall be not be permitted at a height of more than three feet,
 2. Non-residential fences and privacy walls located near any driveway which creates a visual sight barrier for vehicular or pedestrian traffic shall be at a height of three feet or less for a distance of five feet on each side of the driveway and a distance of ten feet from the street yard property line measured toward the structure.
 3. Zoning Official or designee may, based on a determination that these visibility requirements are inadequate or excessive given site specific conditions or uses may adjust the visibility requirements accordingly with the concurrence of the Public Works Director or designee.
 - d. Non-residential fences, and privacy walls must also meet the screening requirements in Article 12 Landscaping Standards or Article 4 Uses

Permitted with Conditions, as applicable.

- (4). Non-residential Security Fence Materials. Security fencing, when required by the Fire Code, State or Federal laws, shall be vinyl or finished wood solid panel, welded wire, metal mesh or metal picket and may be up to eight feet in height in any yard. Chain link, electrically charged, razor wire, and barbed wire are specifically prohibited. All metal fence types shall have a color finish.
- (5). Measurement.
 - a. The height of a fence, hedge or privacy wall shall be measured from the contour of ground at the fence, hedge, or privacy wall location. However, if the Zoning Official determines that the ground level has been altered so as to provide for a higher fence, hedge or privacy wall, the Zoning Official shall determine the ground level for purposes of measuring the fence, hedge, or privacy wall height.
 - b. In determining whether the ground level has been altered for the purpose of increasing the height of the fence, hedge or privacy wall, the Zoning Official may consider, but is not limited to, consideration of the following facts:
 1. General ground elevation of the entire lot.
 2. In the case of a lot with varying ground elevations, the ground elevation at the fence, hedge, or privacy wall location and at points in the vicinity of the fence, hedge, or privacy wall location.
 3. The ground elevation on both sides of the fence, hedge, or privacy wall location.
 - c. In measuring the fence, hedge or privacy wall height, the ground elevation on the side of the fence, hedge or privacy wall location that is at the lowest elevation shall be used as the point from which the fence, hedge or privacy wall height is to be measured.
- (6). Clearance. All privacy walls, gates, fences, plant material, and all other landscaping improvements shall be placed so as not to block any Fire Department appliances (fire hydrants and Fire Department Connections), when constructed or planted and/or mature. The minimum clearance around all Fire Department appliances shall be seven and one-half feet on each side, seven and one-half feet in front, and four feet in the rear.
- (7). Landscaping Along Fences and Privacy Walls. For any fence or privacy wall in excess of four feet in height, the property owner shall landscape the area between the street side of the fence or privacy wall and the right-of-way line. The required landscaping shall conform to the Landscape Buffer requirements of Section 12.4 (f). (2). a.
- (8). Materials for Wood Fencing. All wood fencing shall be constructed using new decay-resistant or pressure-treated material and shall be finished with either a clear coat wood stain or be painted and maintained without discoloring or rotting wood.

- (9). Materials for Privacy Walls. Masonry, stucco, or similar hard surfaces shall have a decorative finish. Paint only shall not be considered a decorative finish. The decorative finish on a privacy wall shall be maintained in its original permitted condition.
- (10). Drainage. No fence, hedge or privacy wall shall be constructed or installed in such a manner as to interfere with drainage on the parcel. Fences, hedges, and privacy walls shall not be installed in curbing running the length of any property line.

Section 8.6. Live - Aboard Boats, Houseboats, and Other Watercraft

Living aboard is prohibited in any district except within a marina or mooring field as approved by the City Council in accordance with the procedures and standards of Section 16.8 Application for Special Exception

Section 8.7. Manufactured Homes

- (a). Manufactured Homes in MH districts shall be limited to one-story units with customary additions including cabanas, carports and storage units which are manufactured for the specific purpose of combination.
- (b). Recreation travel trailers, as defined in these regulations, shall be allowed only in a MH district.
- (c). Manufactured Homes used for temporary construction offices [not used for a living unit] on a job site shall be permitted in any district during construction under a valid building permit, and shall be removed from the premises before the Certificate of Occupancy is issued.
- (d). Commercial storage of unoccupied travel trailers and manufactured homes shall be allowed only in SP districts:-

Section 8.8. Miscellaneous Structures

Upon approval of the City Council, school bus shelters may be located in any district.

- (a). No advertising sign shall be permitted on such structures in a residential district.
- (b). Locations and setbacks shall be approved by the Development Review Committee.

Section 8.9 Model Dwelling

A model dwelling means a residential structure used for demonstration and sales purposes, not occupied as a dwelling unit, and open to the public for inspection.

- (a). Model dwellings may be permitted in areas coded residential, after obtaining a building permit in accordance with all lot and building requirements and

requirements applicable to the district in which the model is located.

- (b). Model dwellings, shall not be used as a contractor's office, a general real estate office, resale listing office, or any other type non-residential use.
- (c). Parking or loading areas shall be provided in a manner that does not requires vehicles to back out into the public rights-of-way, or that requires vehicles to enter or exit a site in a manner which would require them to make an unlawful maneuver within the public right-of-way.

Section 8.10. Parking of Trucks, Trailers and Recreational Vehicles

- (a). It shall be unlawful for any person, company or corporation to park any truck, trailer, wagon or recreational vehicle on any public right-of-way within any residential district except when such vehicle is being parked temporarily for the purpose of making deliveries or for the purpose of providing services to adjacent residential property. In no case may such vehicles be parked overnight.
- (b). It shall be unlawful for any person, company or corporation to park trucks, recreational vehicles or trailers which have multiple axles (or two rear wheels per side) overnight on public or private property, in other than SP Zoning Districts for which a valid Local Business Tax Receipt has been issued for vehicle storage. Delivery or service vehicles used by local commerce and parked on the business property in a manner which does not violate any other provision of this Code and government vehicles are exempt from the provisions of this Section. This Section shall not apply to pickup trucks of one ton or less with or without two rear wheels on each side. Notwithstanding anything in this Section to the contrary, this Section shall not prohibit the parking of one recreational vehicle and one watercraft trailer with or without multiple axles, or a non-commercial utility trailer with no more than one axle, or a combination of no more than two trailers on the private residential property of the owner of said vehicle and trailer, unless otherwise prohibited elsewhere in this Code. It shall be necessary to obtain a Temporary Use Permit to park a truck, recreational vehicle or trailer at a time or location otherwise prohibited by this Section.
- (c). For the purposes of this Section, a commercial trailer or converted private vehicle, by whatever name designated, include vehicles which have been partially or completely converted from a private vehicle to a vehicle used for transporting goods or articles [such as ladders, wheelbarrows, tools, equipment, supplies or other materials] if such vehicle so converted is used in or incidental to the operation of a business.

Section 8.11. Property Maintenance

The requirements contained herein shall become effective upon adoption of this Ordinance.

- (a). A structure shall have no more than 20 percent of its exterior roofs, or exterior

walls or other elements of the structure covered with dirt or mold, or be disfigured, cracked, or have peeling surface materials for a period of more than 30 consecutive days.

- (b). A structure shall not be maintained with any of the following defects for a period of more than 30 consecutive days:
 - (1). Broken windows
 - (2). Holes in exterior surfaces including screens, or roofs or walls, or ripped awnings, or loose materials, or loose elements or other obvious exterior defects.
 - (3). Exterior materials shall form a weather tight surface with no holes, excessive cracks or decayed surfaces that permit air to penetrate rooms where such rooms are designed, used, permitted or intended for human occupancy or use.
- (c). A yard structure shall not have grass, weeds, vines, or other vegetation growing upon it greater than 12 inches in height in an untended manner for a period of more than 10 consecutive days.
- (d). All site lighting, parking areas, including fences, railings, driveways, curbs, wheel stops, sidewalks, gutters, storm water management areas and systems and other improvements and appurtenances shall be maintained in working order and reasonably free of defects.
- (e). The owner shall maintain all required landscape areas, trees and shrubs in a neat and healthy condition free of diseased, dead, or bare areas and free of debris and weeds.
 - (1). It shall be unlawful to allow or permit dead trees and/or dead vegetation to remain on any lot or parcel.
 - (2). Tree stumps must be cut below existing grade or removed upon tree removal by stump grinding or other appropriate method so that any remaining stump is at least two inches below grade. A tree stump hole must be filled with soil or combination of soil and mulch to match existing grade.
 - (3). If a large area of the property is disturbed and has exposed soils after removal of the dead tree or dead vegetation, sod must be placed over the exposed soils.
 - (4). If the removal is required to prevent or remedy a code violation, no tree removal permit is necessary for the removal of the dead tree or dead vegetation.
 - (5). Replacement of dead trees or vegetation is not required for vacant undeveloped land.

- (f). Dead landscape shall be replaced as necessary to maintain compliance with the regulations contained herein.
- (g). The property owner shall maintain the property and the exterior portions of any structures thereupon free of accumulations of debris, junk, garbage, or trash including but not limited to discarded furniture and other household goods, inoperative appliances, inoperative vehicles, and inoperative equipment except within approved dumpsters or trash enclosures, enclosed storage areas or on land approved for the operation of a junk yard.

Section 8.12. Sales within Public Right-of-Way or Other Public Places and Parks

- (a). Except as otherwise authorized by this Chapter or by the City Council, the sale of merchandise from within the limits and confines of any public roads or street rights-of-way, park or any other public place lying within the jurisdiction of this Ordinance is prohibited.
- (b). As used in this Section, the term “public place” means an area owned by any governmental entity or reserved for the use of members of the public and includes, but is not limited to, streets, roads, rights-of-way, schools, parks and playgrounds.

Section 8.13 Reserved

Section 8.14. Structures and Uses Limited in Yards

No principal building or structure shall be located within any required setback or yard, within any setback or yard established by a recorded plat or recorded easement, nor in any required buffer or screen as of the date of adoption of this Code, except as otherwise provided in the Special Residential Overlay District. Under appropriate circumstances, however, in order to reduce a particular hardship upon a property owner, the City Council may authorize the issuance of an Occupation of Easement to permit limited encroachments within recorded drainage/utility easements. In no instance shall any permanent structures, other than roof overhangs or eaves which are at least eight feet above grade, encroach into any easement in use. In some cases, the Traditional Punta Gorda (TPG) zoning district provides standards that differ from the standards described in this section; in the case of direct conflicts, the TPG standards will apply within the TPG zoning district.

- (a). Off-street parking areas, maneuvering areas for parking, and loading areas are prohibited in the established front building setback, in any established side yard abutting a street, and in any required buffer or screen. This restriction shall not apply to:

- (1). A driveway which crosses a front yard to provide access from the street to a parking area; or
 - (2). An individual driveway, including conventional appurtenances thereto such as basketball goals, designed to also serve as a parking area for a detached or duplex dwelling; or
 - (3). Plazas associated with civic buildings or campus quadrangles that have been designed and approved for occasional use as secondary parking areas.
- (b). No outdoor storage of goods and materials or refuse containers shall be located in any yard, as defined in this Chapter, which is visible from the public right-of-way or adjacent properties (when viewed at ground level), or abutting a street, nor in any required buffer or screen, except for the temporary placement of refuse for scheduled curb side collection.
- (c). Non-permanent structures in required front and rear yards, such as patios and walks made of paver blocks, landscape curbing and concrete curbing and other miscellaneous structures of an accessory nature are permitted with the following requirements:
- (1). Shall not be elevated greater than two feet above existing grade
 - (2). Shall not exceed ten percent of the open space yard requirement
 - (3). Require a no-charge Zoning permit to determine acceptability of the construction.
- (d). Notwithstanding other provisions of this Section, architectural features such as cornices, eaves, bays, awnings and gutters may project ~~up to three feet~~ into an established or required yard under the following conditions
- (1). Up to three (3) feet where the required yard is five (5) feet or greater.
 - (2). Up to one-half the width of the required yard where said requirement is five (5) feet or less. Chimneys, fireplaces or pilasters may project not over two feet eight inches into a required yard.
- (e). Backflow preventers shall be permitted in required yard under the following conditions:
- (1). Where underground backflow preventers or a location outside of the established front yard are technically feasible according to the standards and requirements of the City of Punta Gorda Utility Department.
 - (2). Where there is no reasonable alternative to locating an above ground backflow preventer in a required yard, it shall be from public streets and abutting properties, by a landscaped screen consistent with the requirements of Article 12 Landscaping Standards.

- (f). Fire escapes, stairways and balconies which are unroofed and unenclosed may project not over five feet into a required yard provided that where the yard is five feet or less in width, such projection shall not exceed one-half the width of the yard but may extend into the right of way under the provisions of the Traditional Punta Gorda Zoning District. Balconies in side yards of multiple-family dwellings, hotels and motels, which are unroofed and unenclosed, may project not over four feet unless otherwise specifically permitted.
- (g). Children's play equipment and other customary yard accessories, ornaments, statuary and furniture, excluding decorative columns or walls, are permitted in any yard subject to all applicable provisions of this Code including but not limited to height limitations.
- (h). Man-made water features, such as small ponds and fountains are permitted in front or rear yards, but are required to adhere to the 25 foot rear yard setback when located on a property abutting a canal or waterway. Any such water feature must be maintained with aerators and/or chemicals and not be permitted to become breeding grounds for mosquitoes or become stagnant.
- (i). Boat lifts, davits, walks, and yard lights are permitted subject to the following limitations:
 - (1). Yard lights shall not exceed six feet in height from grade.
 - (2). Walks shall:
 - a. Not exceed six inches above grade
 - b. Not exceed five feet in width
 - c. Be setback at least three (3) feet from any property line.

Notwithstanding the foregoing, a no-charge zoning permit is required to allow a non-permanent paver or brick walkway from the side garage door to the closest point of the driveway that may encroach up to seven (7) feet into the required side yard, provided a minimum of six (6) inches remains between properties as an approved ground cover or sod. The zoning permit shall contain the condition that if any utility or drainage work is needed to be done in this area, the property owner shall bear all costs of removal and replacement of any walk which is located within the utility and drainage easement, or in absence of an easement, within 3.5 feet of the property line.

- (j). Equipment for swimming pools, solar installations, air conditioning units, generators and garbage receptacles are permitted to encroach four feet in side yards provided that where the yard is five feet or less in width, such projection shall not exceed one-half the width of the yard. Equipment for swimming pools, solar installations, generators and air conditioning units are permitted to encroach four feet in rear yards provided that where the yard is five feet or less in width, such projection shall not exceed one-half the width of the yard. For each new construction outside of the Special Residential Overlay district, equipment and garbage receptacles shall be screened from view at grade from the public right-of-way with one of the following screening methods, provided no wall or

fence panel screened area shall exceed six feet in height above finished grade, eight feet in length or the length of the equipment, whichever is less, and four feet in width:

- (1). With 100% landscaping at time of installation and maintained in such condition
 - (2). A combination of landscaping or architecturally compatible fence material or wall
 - (3). A wall architecturally compatible with the structure or an opaque fence panel.
- (k). Rain barrels are permitted under the following requirements:
- (1). May encroach four feet in side or rear yards where the required yard is greater than five (5) feet.
 - (2). In a required yard five (5) or less, such encroachment shall not exceed one-half the width of the yard.
 - (3). Must be covered with a screen to allow the water to get in, but to prevent the breeding of mosquitoes if the top is open and no lid is used.
 - (4). If the barrel has an overflow on the side, it must have screening as well. If the rain barrel lid is fitted to feed directly from a downspout, and there are no other openings, screening is not required.
 - (5). A maximum of four rain barrels are permitted per property. Rain barrels may not exceed 55 gallon in size.
 - (6). No more than two rain barrels shall be placed on any one side of the structure.
 - (7). Rain barrels shall be screened from view at grade of adjacent properties and the public right-of-way by landscaping to create an opaque screen at time of installation and maintained in such condition, or by painting the rain barrel the same color as the structure, or a combination of landscaping and painting.
- (l). Nothing in this Code shall be so construed to prohibit landscaping or gardening on any lot.
- (m). Planters are permitted in rear yards only.
- (1). Planters may encroach a maximum of 2 feet into the required rear yard and may be on a permanent footer as long as the footer is below grade.
 - (2). Planters are limited to a maximum height of 29 inches lower than the

elevation of the adjacent pool deck, patio, or residential structure.

Section 8.15. Swimming Pools

Swimming pools shall meet these regulations and any and all pertinent State or Federal regulations. All swimming pools shall:

- (a). Be completely enclosed by a fence or wall not less than four feet high measured from the pool deck, or a screened enclosure.
- (b). Screened enclosures over and around swimming pools shall comply with the yard and setback requirements of each individual zoning district within which they fall.
- (c). Lights used to illuminate any swimming pool shall be so arranged and shadowed as to reflect light away from adjoining premises.

Section 8.16. Transfer of Development Rights [TDRs]

The Transfer of Development Rights means the transfer of the lawful development rights pertaining to the allowable density and/or intensity of use held by a property owner from one parcel of land which is targeted for limited development to another parcel of land, which can accommodate the added development density/intensity permitted on the first parcel. The protection and preservation of certain areas designated for limited development without denying a property owner reasonable use of his land is a valid public purpose and promotes the general health, safety, prosperity, and welfare of the people of the City. More specifically the intent of this Subsection is to promote the protection and conservation of environmentally sensitive areas of the City including, but not limited to, wetlands, mangrove clusters, aquifer recharge areas, endangered species habitats, etc.; to provide an incentive to property owners of preserve historic structures and to establish an incentive for the dedication and/or discounted sale of property to the City for general public purposes such as parks, road rights-of-way, government services sites, public access to the waterfront, affordable housing, etc.

- (a). Sending Sites. A sending site means any parcel or area worthy of preservation and/or dedication for public use and benefit. A property owner whose land falls into one of the categories of sending sites listed below is entitled to voluntarily apply for City approval to transfer, convey, or sell development rights to a planned unit development receiving site. In no case shall the City be required to approve a request for the transfer of development rights, and in fact may deny such a request without cause.
 - (1). Environmental Preserve. Any property designated EP on the Official Map may be eligible for a transfer of up to one residential dwelling unit per ten acres of land to a receiving site.
 - (2). Historic Structures. Any property listed on the Local Register of Historic Places (see Section 8.1), may be eligible for a transfer of development rights to a receiving site equal to the residential density permitted on the sending site minus the existing density, or equal to the square

footage of the historic structure if its predominant land use is commercial. In order to be eligible for the historic preservation TDR, a property owner must do major rehabilitation work consistent with the provisions of Section 16.3. The property owner must also donate a perpetual conservation easement assuring that the property's historic character will be preserved and restricting the density of the property to the existing density at the time of final TDR approval. The easement must meet the criteria that would make it eligible for a federal tax deduction and must be donated to a recipient qualified and able to enforce the easement. The easement does not need to grant any public access to the property.

- (3). Public purposes. Any property being dedicated or sold to the City, or any other local, State or Federal government agency, at a reduced price for general public use in fee simple title without reverter, may be eligible for a transfer of development rights to a receiving site equal to the residential density permitted on the sending site. If the property being dedicated or sold is zoned for a non-residential use not permitting residential units, then an agreement shall be negotiated as part of the planned unit development process for the amount of commercial square footage to be transferred to the receiving site.
 - (4). Other Environmental Property. Any property not coded EP, but having an environmental conservation problem, may be eligible for a transfer of development rights to a receiving site equal to the density permitted on the sending site. Other environmental problems may include preservation of groundwater recharge areas, mangrove stands, beach areas, endangered species habitats, etc.
- (b). Receiving Site. Receiving site means the parcel or area suitable to accept added development, usually beyond its permitted zoning density, which has been transferred from a sending site. In all cases receiving sites shall have recorded, in the Official Public Records of Charlotte County, Florida, a covenant identifying the parcel as a receiving site and the total net density increase provided for. All property being proposed as a receiving site for the transfer of development rights must apply for, receive approval of, and be developed under an approved final site plan or plat as set forth in the criteria of this Code.
- (c). Application for TDR Approval. In order for a property owner to request approval from the City to transfer development rights from one parcel to another the following procedures should be followed:
- (1). Prior to filing an application for transfer of development rights approval, a property owner shall initiate a meeting with the Urban Design Manager to receive guidance and information for verifying the property owner's eligibility.
 - (2). The property owner should be prepared to provide a sketch plan indicating the owners name, address, and phone number; proposed sending site location and size; proposed receiving site location and size; and proposed use/s to be placed on the receiving site.

- (3). Following the TDR verification conference the property owner shall apply for a final site plan or final plat for the proposed receiving site.
 - (4). Upon final approval of the receiving site, the Zoning Official shall issue a transfer of development rights voucher to the property owner of the sending site. This voucher shall serve as proof of the approval of the transfer, and shall clearly state the sending site location, receiving site location, and the development rights being transferred. The owner of the sending site may be different from the owner of the receiving site. Upon the issuance of a transfer of development rights voucher to the property owner of the sending site, said owner shall immediately record in the Public Records of Charlotte County, Florida a Notice in the form provided by the City, specifying the applicable reduction in zoning density for the sending site.
- (d). Use of Transfer of Development Rights. Upon receipt of a TDR voucher the property owner holding the voucher may dispose of the development rights represented by the voucher in several ways.
- (1). First, if the voucher holder is also the owner or agent of the approved receiving site, then the rights can be transferred directly to the receiving site.
 - (2). Second, if the owner or agent of the approved receiving site is not the holder of the TDR voucher, he or she may acquire or buy development rights held by someone else provided City staff has record of the TDR approval. An example of how this might occur is if several people renovate historic district homes they could be a party to the TDR approval process and then sell their density rights to the owner or agent who received TDR approval for the receiving site. All approved transfer of development rights must be used within five ~~one~~ years of the final approval. The City Council may grant one extension to this time limit upon request by the TDR voucher holder.
- (e). Recording of a Transfer of Development Rights. Upon final approval of a transfer of development rights involving the dedication in fee simple of environmental preserve and/or public purpose lands, the TDR voucher shall be recorded with the transfer of title in order to establish the limits of the future use of the property. When a historic structure receives TDR sending site approval, the Historic Preservation Conservation Easement and the TDR voucher shall be recorded with the Charlotte County Clerk's Office.
- (f). Taxation. For the purposes of taxing a transfer of development rights, a development right shall not be considered intangible personal property subject to ad valorem taxation under Chapter 199, Florida Statutes.

Section 8.17. Underground Utilities

The appearance of the streets in the City of Punta Gorda and adjacent areas is an important part of the image of the City of Punta Gorda. Aerial utilities add to the visual clutter along these streets and thereby detract from the aesthetics of the community. It

is the intent of the City to require all new utility distribution and service lines in the community to be placed underground.

- (a). **Distribution and Service Line Crossings.** All new utility distribution line and service line crossings of public rights-of-way and property shall be placed underground. No new public utility distribution or service line shall cross any public right-of-way within the City without first obtaining a written permit from the Director of Utilities, or designee, in compliance with the provisions of this Ordinance.
- (b). **Distribution Systems.** All distribution systems, whether wire, pipeline, coaxial, fiber-optic cable or other, shall be underground unless unfeasibility of such installation has been documented and the documentation accepted as satisfactory by the Development Review Committee (DRC). In making this decision on the adequacy of the documentation and appropriateness of the request, the DRC shall consider the following factors:
 - (1). Terrain
 - (2). Impacts on other customers
 - (3). Load characteristics
 - (4). Reliability
 - (5). Accessibility
 - (6). System flexibility
 - (7). Equipment availability
 - (8). Safety
 - (9). Timing
 - (10). Excessive conflicts with other utilities
- (c). **On-site Service.** Within any new development, all utilities installed to serve the project shall be placed underground without expense to the City.

Section 8.18. Reserved

Section 8.19. Waterfront Property

- (a). **Waterfront Setbacks.** On any lot abutting any creek, canal, river, lake or other body of natural or navigable water, no building or structure shall be located less than the greater of the distance required by the Zoning Regulating District or

Overlay from any seawall, bulkhead or bulkhead line, except that marine business and waterfront industrial uses shall be permitted to build up to a seawall, bulkhead or bulkhead line.

- (1). Setbacks from seawalls will be determined by using property lines as certified by survey when those property lines fall on or waterside of the seawall. When the property lines fall landside of the seawall the center of the seawall will be used for setback measurements.
 - (2). Modifications of the setbacks from man-made non-navigable body of water including but not limited to stormwater management ponds or lakes may be permitted if, in the opinion of the Zoning Official, the design and proposed encroachments are appropriate. Whenever the Zoning Official modifies these requirements, the justification for the modification must be entered upon the face of the permit and noted in the public records of the City.
- (b). Construction in Waterways. Chapter 6 provides regulations for the construction of docks, boat lifts, seawalls, and other permitted structures. Section 2-1(c) of Chapter 6 describes the permitted structures in waterways within the Canal Maintenance Assessments Districts. Section 2-1(d) describes the permitted structures in other waterways. Remote docking facilities as defined in Chapter 19 are not permitted.
- (c). Live aboards See Section 8.6 for regulations for living aboard any watercraft.

Section 8.20. Reserved

Section 8.21 Reserved

Section 8.22 Adult Congregate Living Facilities

For the purpose of this Code a “supported unit” will mean a room or rooms connected together, constituting a separate, independent housekeeping unit providing sleeping and sanitary facilities and optionally a kitchen, which are for sale or for rent or lease

- (a). Adult Congregate Living Facilities, Assisted Living Facilities, and Independent Living Facilities shall not exceed a net intensity of ~~30~~ supported dwelling units per acre not exceeding twice the number of dwelling units per acre permitted by the Zoning Regulating District or Overlay.
- (b). All such uses shall require State certifications by appropriate agencies.

Section 8.24 **Rooming/Boarding House**

A single family home may be used as a rooming/boarding house, if approved by Special Exception in the Traditional Punta Gorda zoning districts if:

- (a). Single family homes used as a rooming/boarding house may not subdivide existing rooms into less than 150 square feet.
- (b). The rooming/boarding house shall be owner-occupied.
- (c). No more than one person or couple may inhabit a single room.
- (d). All parking shall be to the rear of the home. Where on-street parking is permitted, the length of the street in front of the lot may be counted as parking.

Section 8.25 **Street Frontage Required**

- (a). All lots shall have frontage on a public street or on an approved private street, the width of this required street frontage shall be determined by the zoning designation of the property.
- (b). The Traditional Punta Gorda (TPG) zoning district allows certain building types that do not front on a public or private street; for those building types, TPG standards will apply within the TPG zoning district instead of Section 8.25.

Section 8.26 **Temporary Structures Prohibited**

A structure without any foundation or footings and that is removed when the designated time period, activity or use for which the temporary structure was erected has ceased.

- (a). This includes a moveable structure while it is located on land which can be used for housing, business, commercial or office purposes either temporarily or permanently.
- (b). Temporary structures are prohibited in all zoning districts unless a temporary use application has been approved by the Zoning Official and a temporary use permit has been issued, as well as any other applicable permits or licenses are obtained.

Section 8.27 **Outdoor Dining, Local Exemption to Allow Dogs in Designated Areas**

Public restaurants that have a valid Business Tax Receipt, and have received a permit pursuant to this subsection are exempt from those sections of the Food and Drug Administration Food Code that prohibit live animals in restaurants.

- (a). Reserved
- (b). No dog shall be in a restaurant unless allowed by State law and the restaurant has received and maintains an unexpired permit pursuant to this Subsection allowing dogs in designated outdoor areas of the restaurant.
- (c). Restaurants must apply for and receive a permit from the City of Punta Gorda

Urban Design Division before patrons' dogs are allowed on the premises. The City Council may adopt a reasonable fee by resolution to cover the cost of processing the initial application, permitting inspections, renewals and enforcement. The application for a permit shall require the following information:

- (1). Name, location, mailing address and Division issued license number of the restaurant.
 - (2). Title, name, mailing address and telephone contact information of the permit applicant. Applications are accepted from only the owner of the restaurant or the owner's authorized agent, which authorization must be in writing and notarized. The name, mailing address and telephone contact information of the owner of the restaurant shall be provided if the owner is not the permit applicant.
 - (3). A diagram and description of the outdoor area which is requested to be designed as available to patrons' dogs, including dimensions of the designated area; a depiction of the number and placement to tables, chairs and restaurant equipment, if any; the entryways and exits to the designated outdoor area; the boundaries of the designated area and of the other outdoor dining areas not available for patrons' dogs; any fences or other barriers; surrounding property lines and public rights-of-way, including sidewalks and common pathways.
 - (4). The diagram shall be accurate and to scale, but need not be prepared by a licensed design professional. A copy of the approved diagram shall be attached to the permit.
 - (5). Days of the week and hours of operation that patrons' dogs will be permitted in the designated outdoor area of the restaurant.
- (d). Restaurants that receive a permit to allow dogs in a designated outdoor area pursuant to this subsection shall require that:
- (1). Employees must wash their hands promptly after touching, petting or otherwise handling any dog.
 - (2). Employees are prohibited from touching, petting or otherwise handling any dog while serving food or beverages or handling tableware or before entering other parts of the restaurant.
 - (3). Patrons in a designated outdoor area be advised by appropriate signage, at conspicuous locations, that they should wash their hands before eating and waterless hand sanitizer be provided at all tables in the designated outdoor area.
 - (4). Patrons keep their dogs under control and on a leash at all times.
 - (5). Employees and patrons shall not allow dogs to come into contact with serving dishes, utensils, tableware, linens, paper products or any other

items involved with food service operations.

- (6). Employees and patrons shall not allow any part of a dog to be on chairs, tables or other furnishings.
- (7). Employees shall clean and sanitize all table and chair surfaces with an approved product between seating of patrons.
- (8). Employees shall remove all dropped food and spilled drink from the floor or ground as soon as possible but in no event less frequently than between seating of patrons at the nearest table.
- (9). Employees and patrons shall remove all dog waste immediately and the floor or ground shall immediately be cleaned and sanitized with an approved product. Employees shall keep a kit with the appropriate materials for this purpose near the designated outdoor area.
- (10). Employees and patrons shall not permit dogs to be in, or travel through, indoor or non-designated outdoor portions of the restaurant.
- (11). At all times while the designated outdoor portion of the restaurant is available to patrons and their dogs, at least one sign be posted in a conspicuous and public location near the entrance to the designated outdoor portion of the restaurant, notifying patrons that the designated outdoor portion of the restaurant is currently available to patrons accompanied by their dog or dogs. The mandatory sign shall be not less than eight and one-half inches in width and eleven inches in height and printed in easily legible typeface of not less than twenty point font size.
- (12). At least one sign reminding patrons of the applicable rules, including those contained in this part, and any permit conditions, which may be imposed by the Urban Design Division, be posted in a conspicuous location within the designated outdoor portion of the restaurant. The mandatory sign shall be not less than eight and one-half inches in width and eleven inches in height and printed in easily legible typeface.
- (13). At least one sign reminding employees of the applicable rules, including those contained in this part, and any permit conditions, which may be imposed by the Urban Design Division, be posted in a conspicuous location frequented by employees within the restaurant. The mandatory sign shall be not less than eight and one-half inches in width and eleven inches in height and printed in easily legible typeface.
- (14). Ingress and egress to the designated outdoor area shall not require entrance into or passage through any indoor area or non-designated outdoor portions of the restaurant.
- (15). The restaurant and designated outdoor area shall comply with all permit conditions and the approved diagram.

- (16). Employees and patrons shall not allow any dog to be in the designated outdoor areas of the restaurant if the restaurant is in violation of the requirements of this section.
- (17). Permits are to be conspicuously displayed in the designated outdoor area.
- (e). A permit issued pursuant to this Subsection shall expire automatically upon the sale of the restaurant and cannot be transferred to a subsequent owner. The subsequent owner may apply for a permit pursuant to this Subsection if the subsequent owner wishes to continue to allow patrons' dogs in a designated outdoor area of the restaurant. All doggie dining permits shall expire on December 31 of each year and an application for renewal must be submitted prior to that date.
- (f). Complaints and Reporting shall be made in accordance with the provisions of City of Punta Gorda Code of Ordinances, Chapter 9A Code Enforcement, penalty may include suspension or revocation of outdoor dining permit.

Section 8.28 **RESERVED**

Section 8.29 **Outdoor Sales Prohibited**

- (a). All sales of merchandise, food, beverages, goods, or services on any private property within the City outside of a permanently constructed building are prohibited, except where explicitly permitted by city codes. Permitted outdoor sales include:
 - (1). Door-to-door selling as codified in Chapter 15, Section 15.45
 - (2). Businesses with permanently constructed buildings that display some merchandise outdoors as codified in Chapter 26, Article 3
 - (3). Merchandise stands for outdoor sale of goods by retail businesses, permitted in various zoning districts as codified in Chapter 26, Article 3
 - (4). Mobile food dispensing vehicles, as codified in Chapter 26, Section 4.40, and permitted in various zoning districts
 - (5). Special events as codified in Chapter 26, Article 13
 - (6). Outdoor dining areas, as codified in Chapter 26, Article 19, and permitted in various zoning districts
- (b). Violations of any provision of this Section shall be issued a citation in accordance with Article 9A Code Enforcement, Section 9A-10 Citations. Each time a violation occurs or continues shall be a separate offense.

Article 9

Streets

Section 9.1. Purpose and Intent

This Ordinance encourages the development of a network of interconnecting streets that distribute vehicular and non-vehicular traffic while connecting and integrating neighborhoods with the existing urban fabric of the City. Equally important, the Ordinance encourages the development of a network of sidewalks and bicycle lanes that provide an attractive and safe mode of travel for cyclists and pedestrians. Interconnecting street networks encourage alternate modes of transportation to the automobile, enhance transit service opportunities, improve traffic safety through promoting slower speeds, and potentially reduce vehicle miles traveled within the street network.

It is the intent of this Article to build streets that are integral components of community design. Streets shall be detailed to complement neighborhoods and commercial centers and shall be pedestrian in scale. Streets are encouraged to be designed with on-street parking. All streets shall be landscaped.

Section 9.2. Spatial Relationship of Streets and Buildings

As the most prevalent and visual public spaces in Punta Gorda, streets should be spatially defined by buildings [see Exhibit 9-A]. Proper alignment and delineation of the public street space occurs when the facades of adjacent buildings are aligned much like the walls forming a room. Buildings that make up the street edges are aligned in a disciplined manner. The defined space observes a certain ratio of height to width. Building articulation must take place primarily in the vertical plane of the facade. Appendages such as porches, balconies, and bay windows are encouraged to promote the transition between the public street and the private dwelling; examples are provided in Section 3.2.

For good definition, the ratio of one increment of height to six of width is the absolute maximum, with one to three being a good effective minimum for Punta Gorda [see Exhibit 9.B]. As a general rule, the tighter the ratio, the stronger the sense of place. Very tight relationships of one to one can create special pedestrian places. In the absence of spatial definition by facades, disciplined tree planting is an alternative. Trees aligned for spatial enclosure are necessary on streets that have deep building setbacks, as is typical of conventional highway commercial corridors.

Exhibit 9-A.

Transformation of sprawl into City fabric where buildings spatially define the street, rather than parking lots:

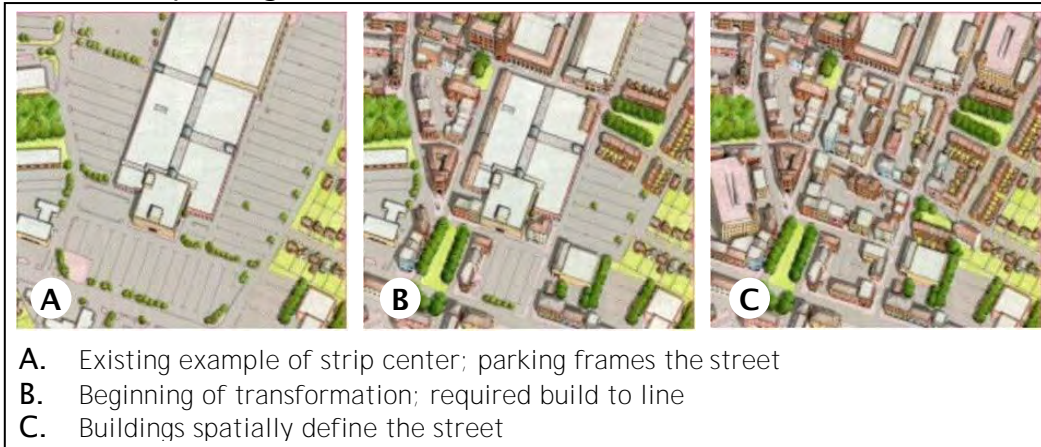
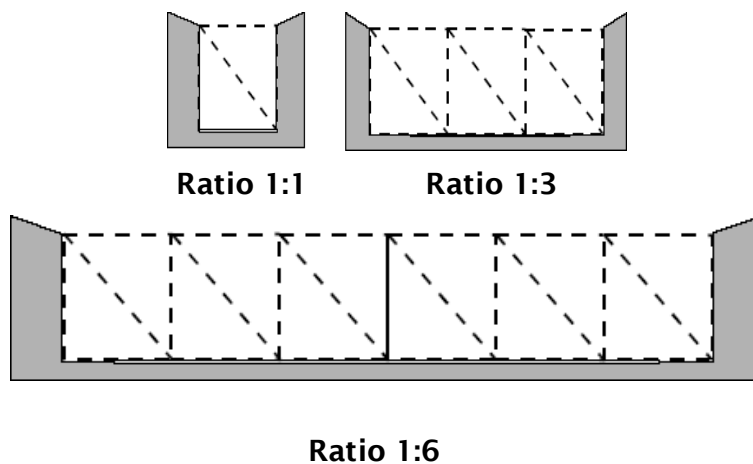


Exhibit 9-B.



Section 9.3. Street Design Principles

In an effort to protect this investment, the City views streets as the most important public space and therefore has developed a set of principles which permit this space to be used by both cars and people.

- (a) Streets shall interconnect within new and existing neighborhoods and with adjoining development. Cul-de-sacs are permitted only where topographic conditions and/or exterior lot line configurations offer no practical alternatives for connection or through traffic. Street stubs

should be provided with new development adjacent to open land to provide for future connections. Streets shall be planned with due regard to the designated corridors shown in the Comprehensive Plan.

- (b) Streets shall be designed as the main public space of the City and shall be scaled to the pedestrian.
- (c) Streets are designed to be only as wide as necessary to accommodate the vehicular mix serving adjacent land uses, while providing adequate access.
- (d) Whenever an irreconcilable conflict exists among vehicular and pedestrian usage, the conflict should be resolved in favor of the pedestrian unless in the best interest of public safety.
- (e) The use of traffic calming devices such as raised intersections, lateral shifts, and traffic circles are encouraged as alternatives to conventional traffic control measures. City Council may permit minor variations and exceptions to street engineering and design specified. Such exceptions include variations to the pavement width, tree planting areas, street grade, sight distances, and centerline radii in accordance with principles above. Right-of-way widths should be preserved for continuity.
- (f) Closed or gated streets are prohibited.

Section 9.4. Street Design Specifications

Designs should permit comfortable use of the street by motorists, pedestrians, and bicyclists. Street widths, design speeds, and the number of motor travel lanes should be minimized to enhance safety for motorists and non-motorists alike. The specific design of any given street must consider the building types which have frontage and the relationship of the street to the overall City street network. New development with frontages on existing publicly maintained streets shall be required to upgrade all their frontages to meet the standards of this Article.

- (a). Sidewalks. Sidewalks shall be required based on the Proposed Facility Map within the adopted City Comprehensive Plan Transportation Element. All such facilities shall meet the City and/or Florida Department of Transportation, Florida Design Manual standards based on facility type and context classification as well as the following provisions:
 - (1). No person shall lay any sidewalk or foot paving on the public rights-of-way of the city without a permit.
 - (2). Sidewalks laid in public rights-of-way shall be a minimum of six (6) feet wide, though for newly constructed streets wider sidewalks may be necessary according the standards established in Section 9.5.
 - (3). Sidewalks, when constructed in front of any high traffic area or driveway apron, shall be built to traffic rating standards to limit breakage due to normal vehicular traffic.

- (4). NATCO Urban Street Design Guide on sidewalks is the basis for the design and construction for new sidewalks.
 - (5). Any damage due to construction activity must be repaired or replaced by the property owner. Alternatively, the property owner may elect to pay a fee to the City of Punta Gorda for such repairs or replacements. The fee shall be set by the City of Punta Gorda Public Works Director or their designee.
 - (6). Any construction project that obstructs the sidewalk should be mitigated through the provision of a temporary sidewalk that affords a safe and convenient passage or clearly directs users to an equivalent nearby detour.
 - (7). On shared streets, the street itself serves as the path of travel and should be designed in accordance with accessibility recommendations outlined in the shared street section of Exhibit 9-C.
 - (8). Sidewalks and intersections shall be ADA accessible with early detection plates at all conflict points, including curb ramps, transit, or ride-hailing boarding areas, cut-through pedestrian refuge islands, and where bicycle lanes cross sidewalks.
 - (9). At driveways, sidewalks should be maintained at-grade through the conflict zone.
- (a). Bike Facilities. Bicycle Facilities including but not limited to bicycle lanes, buffered bicycle lanes or shared use paths shall be required based on the Proposed Bicycle Facility Map within the adopted City Comprehensive Plan Transportation Element. All such facilities shall meet the City and/or Florida Department of Transportation, Florida Design Manual standards based on bicycle facility type.
 - (b). Cul-de-sacs. The use of a Cul-de-sacs, if permitted, shall not be used for the terminus of a dead-end street that exceeds 250 feet in length from the nearest intersection with a street that that provides through access. Additional cul-de-sac standards are provided in Chapter 20A of this code.
 - (c). Intersections. No street shall intersect with another street at an angle of less than 70 degrees. Where a centerline offset occurs at an intersection, the distance between centerlines of the intersecting streets shall not be less than 125 feet.
 - (d). Curb Radii. Curb radii shall be designed to reduce pedestrian crossing times along all streets requiring sidewalks. In general, curb radii should not exceed 20 feet. At an angle of intersection of less than 90 degrees, a greater radius may be required.
 - (e). Block Lengths. For new streets and subdivisions, streets shall have block lengths between 200 and 500 feet. Exceptions are permitted however, due to topography, environmental protection, and/or protection of ~~existing~~ historic buildings.
 - (f). Street Trees and Planting Strips. Street trees and planting strips are required on both sides of streets under the requirements of Section 12.4 (c) and the following conditions:

- (1). The following street types may be except from the requirement of this section: lanes, alleys, and the undeveloped edge of neighborhood parkways.
 - (2). Planting strips should be located between the curb and sidewalk and parallel to the street. Within commercial areas and other sidewalks with high pedestrian volumes, grated tree wells may be used in lieu of planting strips. The minimum width of all planting strips shall be six feet
 - (3). Street trees shall have a maximum separation of 35 feet, except where such placement would interfere with intersections, driveway openings or similar conditions.
 - (4). Tree grates or tree troughs are required along commercial streets in the Downtown Core District.
 - (5). The use of canopy trees including but not limited to Live Oak (urban cultivars such as Boardwalk™ or Cathedral™), Black Olive, or similar shade producing canopy tree is encouraged. Tree selection shall be based on site conditions including the pattern and location of existing street trees along the same street or area.
 - (6). The use of the following species of palms is permitted when used in areas where canopy trees is not technically feasible or when planted in combination (pattern) with canopy trees: Royal Palm or Foxtail Palm. Other palm species may be considered at the discretion of the City and may require a specific maintenance agreement along public rights-of way.
 - (7). Where overhead utility lines preclude the use of canopy trees, small maturing trees may be substituted:
- (g). On-street Parking. On-street parking is recommended where building type and use will generate regular parking use. Occasional on-street parking can be accommodated without additional pavement width.
- (1). Commercial streets, on-street parking is required
 - (2). On-street parking on at least one side of the street is recommended on streets serving apartments, attached houses, and detached houses with lots 60 feet or less in width.
 - (3). On-street parking must also be provided on one side of any street adjacent to a square, park or other open space.
 - (4). On-street parking shall meet the dimensional requirements of Section 10.3.(f).
- (h). Design Speed. Design speeds of any street in the City of Punta Gorda with the exception of those operated by the Florida Department of Transportation or Charlotte County shall be 30 miles per hour or less. The maximum design speed for any street operated by the Florida Department of Transportation or Charlotte

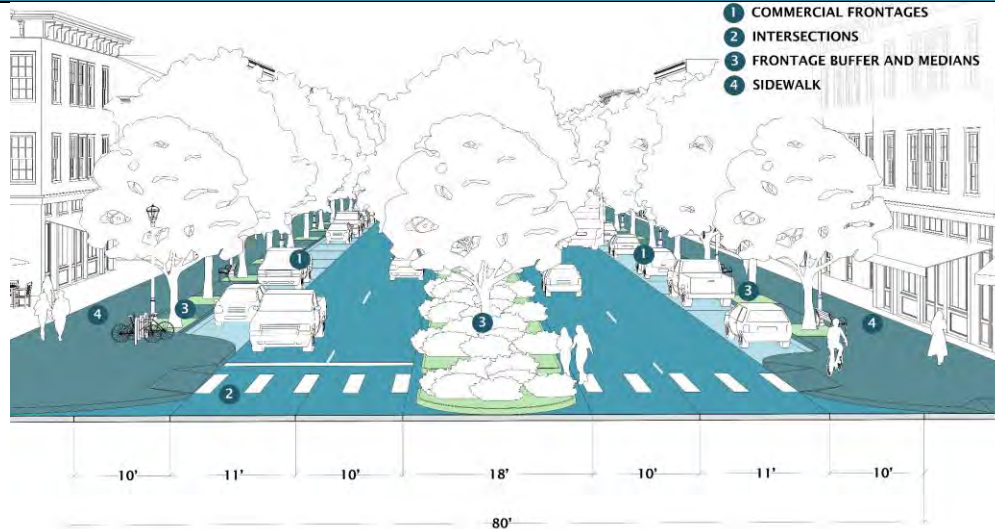
County must be set based on the context classification guidance from the Florida Department of Transportation Florida Design Manual.

- (i). Traffic Control Plans. Traffic control plans showing signage and pavement markings shall be prepared in accordance with the guidance of the Manual on Uniform Traffic Control Devices. The developer is responsible for the initial installation of the devices or markings and the maintenance thereof unless the City of Punta Gorda accepts the street for maintenance.
- (j). Pedestrian Street Crossings. Mid-block crossings, bulb outs, raised crosswalks and similar counter measure techniques are encouraged to enhance the comfort and safety of pedestrian movements when vehicular traffic volumes/speeds and/or other and site-specific conditions exist.
- (k). Connectivity. All or most proposed streets within the network shall form an interconnected pattern and shall connect with the adjacent street pattern.
 - (1). Connectivity shall be assessed by block length, limited use of cul-de-sacs, intersection density, availability of multiple routes to the maximum number of addresses, high accessibility to emergency and other service vehicles, and the provision of looped utility infrastructure.
 - (2). Retaining the connectivity of existing streets and alleys (where alleys were provided) is vital. Streets and alleys should not be closed or vacated except under extreme circumstances, and should never be closed or vacated in the Traditional Punta Gorda (TPG) Zoning District
- (l). Street Materials. Street materials shall meet the standards required by the City of Punta Gorda.
- (m). Street Sections. Section 9.5 presents typical examples of ways in which a street can be assembled.

Section 9.5. Typical Street Sections

This section presents ideal street standards along with typical examples of ways in which a different street types can be assembled. These specifications may be varied only in accordance with the design principles detailed above and as approved by the Zoning Official in consultation with City of Punta Gorda Public Works Director or their designee.

(a) Boulevards



Description

Boulevards are urban in character and provide multilane access to commercial and mixed-use buildings, generally support all transportation modes [cars, freight, emergency vehicles, and transit] with high levels of efficiency, and carry regional traffic. Speeds and traffic volumes on boulevards are generally slightly higher.

Vehicle Lanes

Boulevards typically have two vehicular travel lanes in each direction and may feature dedicated left-turn or right-turn lanes at intersections to help reduce weaving conflicts. A center left-turn lane can be striped, though incorporating it as a part of a landscaped median is preferred. If the boulevard includes frontage roads, these should be stop-controlled.

Medians

Medians are encouraged along boulevards and should be enhanced with landscaping, trees, and in some cases, a multi-use path or bicycle track down the center. Consider the installation of curb extensions or midblock crossings to facilitate median use and access. Where crossing distances are greater than 30 feet, extending the median to the crosswalk to provide a pedestrian refuge is advisable.

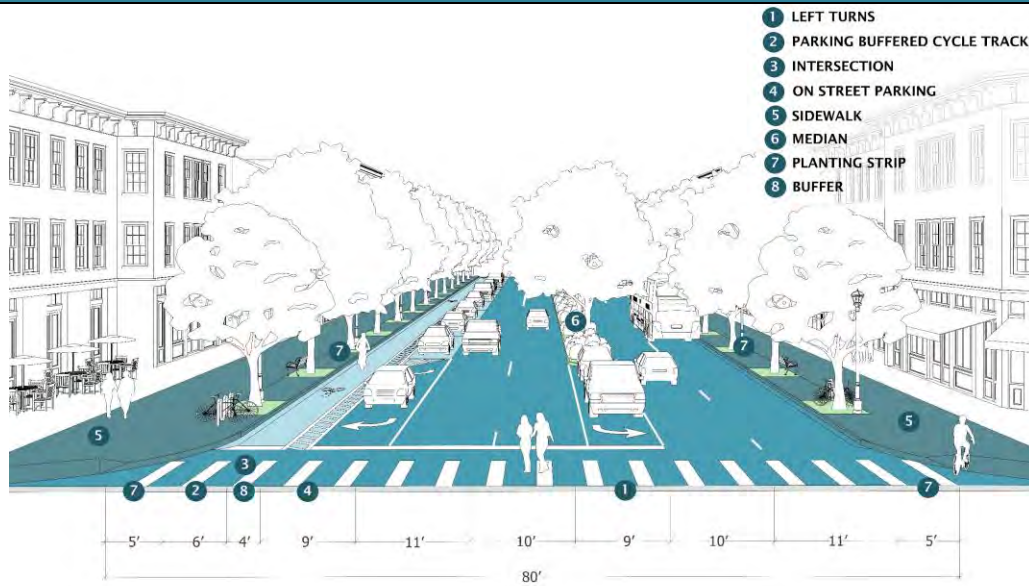
Bike Lanes

Bicycles should be accommodated along boulevards with protected facilities only (e.g. raised cycle track, buffered bicycle lanes, or parking protected bicycle lanes). Careful attention should be paid intersection crossings and turning conflicts. Use access management strategies and turn requirements to eliminate these conflicts and ensure that potential intersection conflicts are well marked and highly visible to motorists turning off the throughway as well as to cross traffic.

Additional Standards

Design Speed:	30-35 mph	Right-of-Way Width:	80 ft min.
Curb Radius:	15 ft	Drainage:	Curb and Gutter
On-Street Parking:	Encouraged	Landscaped Median:	Encouraged 16 ft min.
Sidewalks:	Required, 8 ft min.	Tree/Furniture Zone:	Required 6 ft min.
Street Trees:	Required (tree grates or pits)	Bicycle Lanes:	Optional (protected only)

(b) Avenue



Description

Avenues serve as the “gateways” of town, connecting neighborhoods to commercial centers and carry large and diverse traffic volumes as major transit routes. The avenue is urban in character and generally operates at low to moderate speeds since these streetscapes function as vibrant pedestrian environments.

Vehicle Lanes

Avenues typically have no more than two vehicular travel lanes in each directions and may feature dedicated left-turn lanes or right-turn lanes at intersections to help eliminate weaving conflicts. Left-turn lanes can be striped, though incorporating them into a landscaped median is preferred.

Medians

Medians may be incorporated along boulevards and if included, should be enhanced with landscaping, trees, and in some cases a multi-use path or cycle track down the center. Consider the installation of curb extensions or midblock crossings to facilitate median use and access. Where crossing distances are greater than 30 feet, extending the median to the crosswalk to provide a pedestrian refuge is advisable.

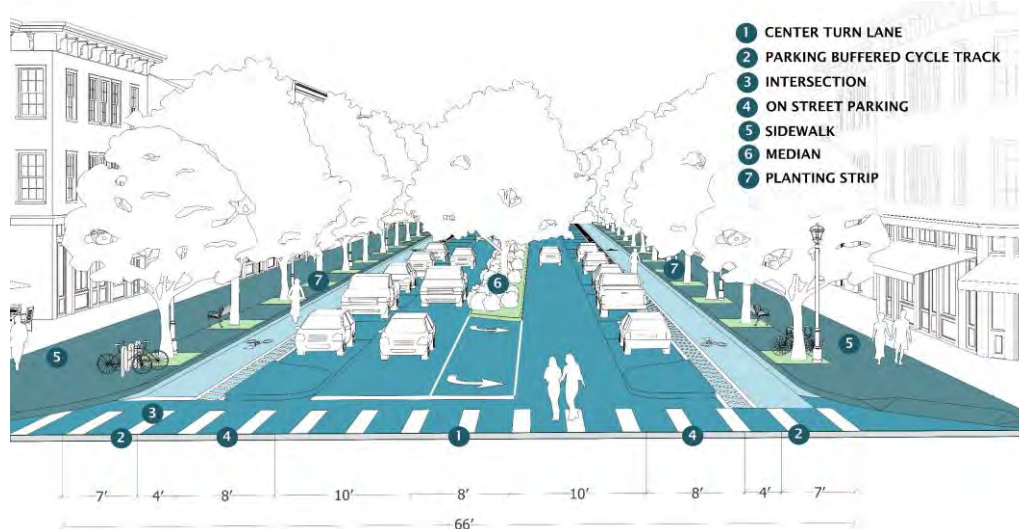
Bike Lanes

Bicycles should be accommodated along avenues with protected facilities only (e.g. raised cycle track, buffered bicycle lanes, or parking protected bicycle lanes). Careful attention should be paid intersection crossings and turning conflicts. Use access management strategies and turn requirements to eliminate these conflicts and ensure that potential intersection conflicts are well marked and highly visible to motorists turning off the thruway as well as to cross traffic.

Additional Standards

Design Speed:	20-30 mph	Right-of-Way Width:	80 ft min.
Curb Radius:	15 ft	Drainage:	Curb and Gutter
On-Street Parking:	Encouraged	Landscaped Median:	Optional 12 ft min.
Sidewalks:	Required, 8 ft min.	Tree/Furniture Zone:	Required 6 ft min.
Street Trees:	Required (tree grates or pits)	Bicycle Lanes:	Optional (protected only)

(c) Main Street



Description

Main streets are urban in character and provide low speed, pedestrian friendly access to neighborhoods as well as neighborhood commercial and mixed-use buildings. On-street parking should be provided and design speeds should be low to accommodate increased pedestrian activity.

Vehicle Lanes

Main streets typically have one vehicular travel lane in each direction. They may feature dedicated left-turn lanes at intersections to help eliminate weaving conflicts, which can be striped or part of a landscaped median.

Medians

Medians may be incorporated along main streets and if included, should be enhanced with landscaping and trees. Consider the installation of curb extensions or midblock crossings to facilitate median use and access. Where crossing distances are greater than 30 feet, extending the median to the crosswalk to provide a pedestrian refuge is advisable.

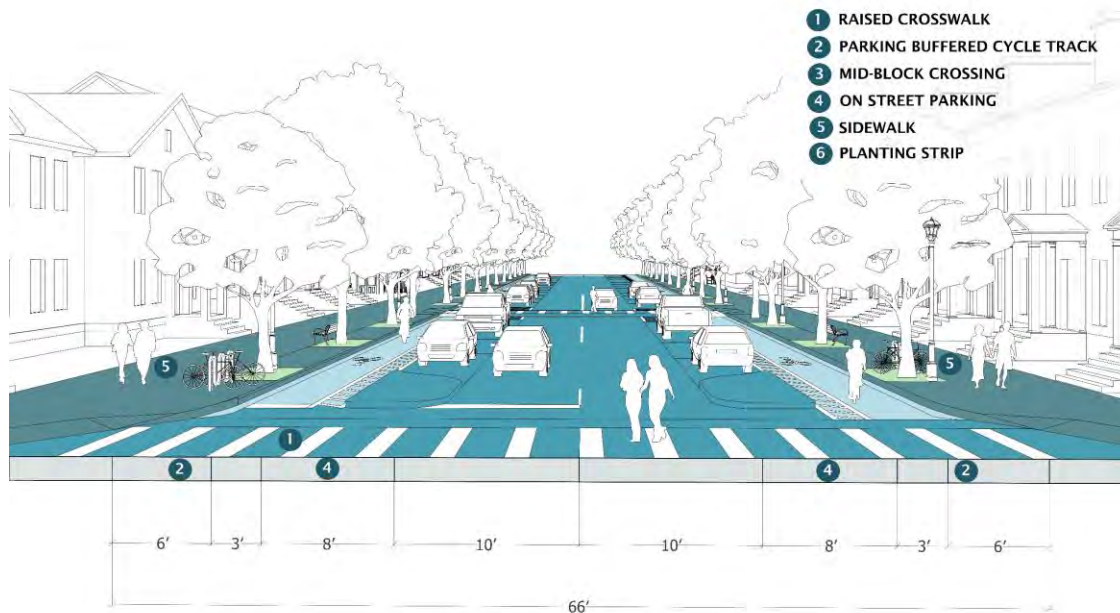
Bike Lanes

Bicycles may be accommodated with protected facilities (e.g. raised cycle track, buffered bicycle lanes, or parking protected bicycle lanes) or with a shared street treatment and lower vehicular speeds. Careful attention should be paid intersection crossings and turning conflicts. Use access management strategies and turn requirements to eliminate these conflicts and ensure that potential intersection conflicts are well marked and highly visible to motorists.

Additional Standards

Design Speed:	15-20 mph	Right-of-Way Width:	66 ft min.
Curb Radius:	10 ft	Drainage:	Curb and Gutter
On-Street Parking:	Required	Landscaped Median:	Optional 8 ft min.
Sidewalks:	Required 10 ft min.	Tree/Furniture Zone:	Required 6 ft min.
Street Trees:	Required (tree grates or pits)	Bicycle Lanes:	Optional

(d) Neighborhood Street



Description

Neighborhood streets provide low-speed, pedestrian friendly access to higher density attached residential neighborhoods such as apartments and town houses. Neighborhood streets are the most urban in character of the residential street classifications.

Vehicle Lanes

Neighborhood streets typically have one vehicular travel lane in each direction, and do not normally require turn lanes. If they are warranted because of traffic volume and queuing patterns, dedicated left-turn lanes can be striped or part of a landscaped median.

Medians

Medians are not recommended on neighborhood streets unless they are designed as garden streets with a large linear greenspace at the center, which typically includes a landscaped median of at least 25 feet in width with at least two rows of trees and a pedestrian or multi-use path.

Bike Lanes

Bicycles should be encouraged on neighborhood streets and may be accommodated with protected facilities (e.g. raised cycle track, buffered bicycle lanes, or parking protected bicycle lanes) only. Careful attention should be paid intersection crossings and turning conflicts. Use access management strategies and turn requirements to eliminate these conflicts and ensure that potential intersection conflicts are well marked and highly visible to motorists.

Additional Standards

Design Speed:	20-25 mph	Right-of-Way Width:	60 ft min.
Curb Radius:	15 ft	Drainage:	Curb and Gutter
On-Street Parking:	Required	Landscaped Median:	No
Sidewalks:	Required 6 ft min.	Tree/Furniture Zone:	Required 6 ft min.
Street Trees:	Required (tree pits or swale)	Bicycle Lanes:	Encouraged (protected only)

(e) Local Street



Description

Local streets are pedestrian oriented and residential in character, functioning primarily to provide connections within neighborhoods. Lower traffic speeds are appropriate since these streets should not move significant traffic volumes. On-street parking is generally permitted on one or both sides of the street.

Vehicle Lanes

Local streets typically have one ~~10-foot wide~~ vehicular travel lane in each direction and do not normally require turn lanes.

Medians

Medians are not recommended on local streets unless they are designed as garden streets with a large linear greenspace at the center, which typically includes a landscaped median of at least 25 feet in width with at least two rows of trees and a pedestrian or multi-use path.

Bike Lanes

Bicycles should be encouraged on local streets and may be accommodated with protected facilities (e.g. raised cycle track, buffered bicycle lanes, or parking protected bicycle lanes) or with a shared street treatment and lower vehicular speeds. Careful attention should be paid intersection crossings and turning conflicts. Use access management strategies and turn requirements to eliminate these conflicts and ensure that potential intersection conflicts are well marked and highly visible to motorists.

Additional Standards

Design Speed:	15-20 mph	Right-of-Way Width:	50 ft min.
Curb Radius:	10 ft	Drainage:	Valley Gutter, Curb and Gutter, or Swale
On-Street Parking:	Recommended	Landscaped Median:	No
Sidewalks:	Required 6 ft min.	Tree/Furniture Zone:	Required 10 ft min.
Street Trees:	Required (tree pits or swale)	Bicycle Lanes:	Encouraged

(f) Shared Street



Description

Many narrow or crowded downtown streets operate informally as shared streets during rush hour or at lunchtime but are not regulated as such. A shared street environment should be considered in places where pedestrian activity is high and vehicle volumes are either low or discouraged. Shared streets maintain access for vehicles operating at low speeds, they are designed to implicitly slow traffic speeds using pedestrian volumes, design, and other cues to slow or divert traffic.

Vehicle Access

Shared streets must maintain a clear path for emergency vehicles that is at least 20-feet wide, and mark dedicated areas for vehicular movement with a change in paving pattern or type.

Street Amenities

Street furniture, including bollards, benches, planters, streetlights, sculptures, trees, and bicycle parking, may be included to provide definition for a shared space, subtly delineating the traveled way from the pedestrian-exclusive area.

Bicycle Access

Bicycles should be encouraged on shared streets and will be permitted to share the roadway with pedestrian and cars. To reduce conflicts for bicycles and pedestrians from intersecting streets, raised intersections, roadway markings, and signage should be incorporated and highly visible to motorists.

Additional Standards

Design Speed:	5-10 mph	Right-of-Way Width:	50 ft min.
Curb Radius:	10 ft	Drainage:	Curb and Gutter or Curbless with Valley Gutter
On-Street Parking:	Optional	Landscaped Median:	No
Sidewalks:	Required 8 ft min.	Tree/Furniture Zone:	Required 6 ft min.
Street Trees:	Required (tree pits or grates)	Bicycle Lanes:	Encouraged

Article 10

Off-Street Parking and Loading

Section 10.1. Purpose and Intent

The purpose of this Article is to ensure the provision of adequate off-street parking for motor vehicles and bicycles as well as ~~and~~ sufficient loading areas for freight and service vehicles, and to ensure safety to pedestrians accessing that parking and loading. It is further the intent to avoid urban congestion on public streets to protect the level of service and capacity of existing streets to avoid unnecessary conflicts between pedestrians, bicycles, and vehicles and to promote the general health, safety, and public welfare. These regulations shall apply to all parking and loading areas, including driveways for single-family and duplex dwellings, established within the City of Punta Gorda. Any plans for re-striping or modifying the number of parking or loading spaces shall be approved by the Zoning Official upon the submittal of a parking lot plan which complies with this Ordinance.

Section 10.2. General Principles

Off-street parking and loading areas should be designed to minimize curb cuts along the public street and create safe and comfortable passage for pedestrians. The following standards shall be met.

- (a). For all zoned Districts other than TPG (See section 3.1 for the list of Districts), the first priority of locating parking and loading areas shall be to have them placed behind buildings. The second priority is on the side of a building, and the third would be to have parking or loading in the front. Applicants proposing parking and loading in the front of the primary facades of buildings must demonstrate why it cannot be accommodated to the rear or to the side of those buildings.
- (b). The Traditional Punta Gorda (TPG) zoning district provides its own standards for the location of off-street parking areas; the location and setbacks for parking areas in TPG vary by the lot's regulating district. (See *Section 3.2(c) Regulating Districts and Overlay* for parking locations by regulating districts, and *Section 3.2(g) Parking and Loading Standards*). However, the design and construction of spaces and parking lots, plus the off-street bicycle parking, shall meet the requirements of Article 10 where appropriate.
- (c). To the extent practicable, adjoining parking and loading areas serving non-residential buildings shall be interconnected, including driveway connections between parking lots on adjacent parcels. Shared access driveways or internal

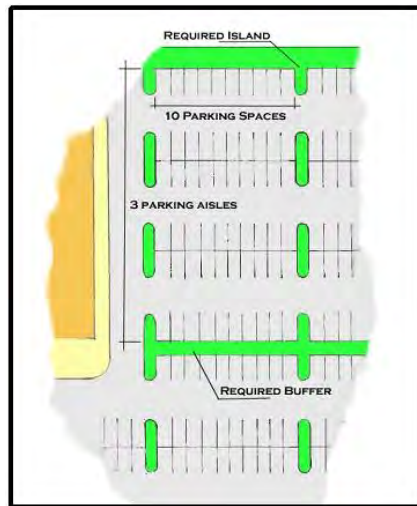
streets shall also provide secondary routes for trips between non-residential parcels.

- (d). Off-street parking and loading areas shall be designed to facilitate adequate movement and access by sanitation, emergency, and other public service vehicles without posing a danger to pedestrians or impeding the function of the parking area.
- (e). Off-street parking and loading areas shall be designed so that parked vehicles do not encroach upon or extend onto public rights-of-way, sidewalks, or strike against or damage any wall, vegetation, utility, or other structure.
- (f). Off-street parking and loading facilities shall be used solely for the parking of vehicles in operating condition by the patrons, occupants, or employees of the use to which such facilities are accessory. No motor vehicle repair work, except emergency service, shall be permitted in association with off-street parking and loading facilities. The storage of commercial vehicles or merchandise or the sale of vehicles shall be prohibited in a required off-street parking or loading area, except as specifically authorized in this Code.
- (g). Facilities accessory to residential uses shall be used solely for the parking of non-commercial vehicles, which are owned by the occupants of the dwelling or their guests.
- (h). In no event shall parking or loading areas be provided in a manner that requires vehicles to back out into the public rights-of-way, or that requires vehicles to enter or exit a site in a manner which would require them to make an unlawful maneuver within the public right-of-way. This requirement does not apply to areas consisting of driveways serving single-family detached, ~~or~~ duplex, triplex, or fourplex dwellings, although direct access onto arterial roadways is discouraged.
- (i). Parking and loading facilities shall be maintained in a clean, orderly, and dust-free condition at the expense of the owner or lessee. Parking and loading areas shall be resealed or repaved and pavement markings periodically repainted and on-site traffic control signs replaced, as necessary, to maintain a clear identification of individual parking and loading spaces and to facilitate the safe movement of pedestrian and vehicular traffic.

Section 10.3. Parking Specifications

- (a) All parking lots shall be located behind the building frontage line of the principal building served by the parking lot. The TPG zoning district provides its own standards for the location of parking lots.
- (b) Parking lots should be visually and functionally segmented into several smaller lots by use of landscaped areas in the following manner:
 - (1) A maximum of 10 parking spaces shall be permitted between landscape islands [Section 12.4(a).(2).].

- (2) A maximum of 3 parking aisles shall be permitted between parking perimeter buffers [Section 12.4(a)(1)].



- (c) For all uses except single-family, duplex, triplex, and fourplex and two-family dwellings, standard curbing shall be provided along the periphery of all driveways, parking and loading areas.
- (d) Off-street parking and loading areas and driveways shall be paved or contain a similar type material approved by the Zoning Official or their designee. Gravel or other stabilization material without a permanent wearing surface is not permitted.
- (e) Curb and gutter shall be installed where deemed necessary by the Public Works Director, within off-street parking and loading areas in order to manage storm drainage, channelize traffic, protect buildings and landscaping areas, and separate pedestrian and vehicular circulation areas.
- (f) Parking spaces shall meet the following dimensions:
- (1) Standard parking spaces shall be a minimum of 18 feet long and 9 feet wide; however, where a wheel stop is utilized, a minimum of 16 feet of pavement with a 2-foot overhang will be permitted.
 - (2) Parallel parking spaces shall be a minimum of 22 feet long and 8 feet wide.
 - (3) Compact spaces shall be a minimum of 15 feet long and 8 feet wide. If specifically designed and identified with a sign reading "For Compact Only", a maximum of 20 percent of the parking stalls required may be compact spaces.
 - (4) Handicap spaces shall meet the most current State and Americans with Disabilities Act (ADA) requirements.
 - (5) Motorcycle/Scooter spaces shall be a minimum of nine feet long and six feet wide, and shall be counted toward meeting parking requirements of up to ten percent of the total parking requirement.
 - (6) Low Speed Vehicle [FS 316.2122] spaces shall be a minimum of ten feet long and seven feet wide, and shall be counted toward meeting the parking requirements of up to ten percent of the total parking requirement.

- (g) Parking area aisle widths shall conform to the following table, which varies the width requirement according to the angle of parking.

AISLE WIDTH IN FEET					
Angle of parking	0	30	45	60	90
One-Way Traffic	12	12	18	20	24
Two-Way Traffic	24	19	20	22	24

Aisle widths may be modified for parking aisles that serve exclusively Low Speed Vehicles [FS 316.2122] and/or Motorcycle/Scooter parking spaces as determined by the Zoning Official.

- (h) Driveways are required for all improved properties having access to public or private roads. It shall be unlawful to construct any driveway without a permit from the City Building Division. A permit application with a detailed driveway plan must be submitted to the City of Punta Gorda Building Division for approval prior to permit issuance for driveways. The driveway plan shall illustrate the proposed location and dimensions of the drive approach and its relationship with existing pavements.
- (1) All driveway aprons within rights-of-way must be a minimum of four inch thick reinforced concrete construction.
 - (2) All driveway material on private property shall be hard surface asphalt or concrete or decorative pavers. Marl, shell, or gravel driveways are not permitted.
 - (3) Any decorative additions to driveways in the public right-of-way over and above the standard four-inch thick reinforced concrete driveway, specifically, but not exclusively brick pavers, tile, cementations/decorative overlays and color coating or finishes will not be replaced by the City when the driveway in the right-of-way is removed and replaced in accordance with City authorized work.
 - (4) Any such decorative additions must be in addition to the required four-inch thick reinforced cement driveway.
 - (5) Any improvements or decorative additions exceeding one-fourth an inch in thickness and not constructed in conjunction with a permitted driveway so as to establish proper elevations for drainage, will require replacement of the existing driveway in the right-of-way.
 - (6) Total driveway width permitted for single family and duplex property shall be constructed in accordance with the following:
 - a. For property with up to 80 feet of street frontage on a single street, total driveway width shall not exceed 28 feet, with no single driveway exceeding 24 feet in width at the property line and through the right-of-way.
 - b. For property with more than 80 feet of street frontage on a single street, no single driveway shall exceed 24 feet in width at the property line and through the right-of-way and total driveway width shall not exceed 35 percent of the total street frontage up to a maximum of 48

feet total driveway width at the property line and through the right-of-way, unless a third driveway is approved by Special Exception as is permitted herein.

- c. For properties that front on more than one street, the second street front shall be allowed only one driveway not to exceed 24 feet in width at the property line and through the right-of-way.
- (7) Non-residential and multi-family driveways shall be a maximum of 20 feet in width for one-way traffic and 24 feet in width for two-way traffic. In no case shall a driveway width exceed 24 feet, except as required by the Florida Department of Transportation and Fire Safety requirements.
- (8) Single-family residential driveways shall be constructed so that no part of the driveway, excluding the flair, is closer than 25 feet to the intersection of the right-of-way lines of any nearby roadway intersection.
- (9) For multi-family and commercial properties, no point of access shall be allowed within 40 feet of the intersection of two right-of-way lines of any two intersecting public streets. The City Engineer shall determine that the location and design meets all safety and drainage requirements, and may require the distance to be increased to ensure public safety concerns are addressed; or the City Engineer may allow this distance to be reduced based on specific site conditions. The City Public Works Department or the Building Division may deny a permit application, or may require a modification to the proposed design when deemed appropriate in the interest of public safety.
- (10) A maximum of two driveways may be permitted for ingress and egress purposes to and from a single property or development on each road abutting the property. A third driveway may be permitted by Special Exception provided such third driveway does not exceed 24 feet in width at the property line and through the right-of-way, and the cumulative width of all driveways does not exceed 35 percent of street frontage at the property line and through the right-of-way, and if a proposed or existing residential structure is located on a minimum of one hundred and fifty feet of street frontage on a single street. This includes phased development if the minimum distance between the two driveways measured at the property line is equal to or exceeds twenty feet in single family residential districts and fifty feet for all other districts.
- (11) In tract development where the minimum distance between adjacent driveways on a single street exceeds 100 feet, or the development exceeds two acres of land area, the number of driveways may be increased upon recommendation by Urban Design.
- (12) No driveway shall be located closer than six feet from an adjoining lot under other ownership or in a recorded easement in the Special Residential Overlay District, and no closer than five feet at the property line in other residential districts, and subject to setback requirements in the mixed use and commercial districts.
- (13) Driveway flairs and any culvert drainage pipe shall not extend more than three feet on each side of the driveway. In any event, driveway flairs may

not extend beyond the property line. Flairs shall extend from the roadway up to the swale, or ten feet from the edge of the road, whichever is less.

- (14) The surface area of all driveways located on private property shall be included in the total impervious area calculation and must be included on all plans for new driveway construction or for driveway replacement.
- (15) All driveways shall accommodate existing or planned sidewalks for ADA accessibility, (ramp slope, cross slope, and crossing marking where necessary, as determined by Public Works and the Building Division.)
- (i) Non-residential off-street parking areas which are provided in excess of the requirements established in this Article shall be located on grassed or sodded surface. Alternative materials may be substituted for grass or sod with the approval of the City Council. Such parking area shall include curb stops, a paved driveway apron across the public right-of-way and required landscape screening per Article 12 of this Chapter.

Application for City Council approval of alternative materials must include signed and sealed engineered drawings providing for applicable stormwater retention and compliance with the Southwest Florida Water Management District requirements. The site must also meet all Federal and State handicapped accessibility requirements.

- (j) RESERVED
- (k) Electric vehicle parking (EV parking). For multifamily buildings intended for market rate offerings, a minimum of 15% of required parking spaces is required to be either equipped for the charging of electric vehicles or “EV-ready,” meaning that conduit is installed with space allocated for the future installation of charging equipment. This also means that the electrical supply shall be equipped to handle the increased electrical load when needed. If a building has a mixture of market rate and affordable/workforce units, then the minimum requirement only applies to the parking spaces associated with the market rate units. This section does not prevent or limit other building types or uses from providing EV parking. For specific definitions see Section 19.6. Electric Vehicles and Charging Stations (Section 10.3 (k) Definitions).

All EV parking spaces, with charging equipment installed, shall meet the following design standards, in addition to all other design standards set forth in this section.

- (1) Electric vehicle parking spaces shall be painted green, or shall be marked by green painted lines, with curbs and/or wheel stops.
- (2) Each electric vehicle parking space shall be marked by a sign designating the parking space as an electric vehicle parking space, in accordance with the Manual on Uniform Traffic Control Devised (MUTCD) of the Federal Highway Administration.
- (3) Each electric vehicle charging station shall be subject to the architectural provisions of Article 7, Section 7.4(a).(7).

- (4) Each electric vehicle charging station shall be equipped with a sign that includes the following information:
 - a. Voltage and amperage levels
 - b. Any applicable usage fees
 - c. Safety information
 - d. Contact information for the owner of the charging station to allow a consumer to report issues relating to the charging station.
 - (5) Electric vehicle charging stations shall contain a retraction device, coiled cord, or a fixture to hang cords and connectors above the ground surface.
 - (6) Electric vehicle charging stations shall be screened from view from any abutting rights-of-way, with the exception of alleys.
 - (7) Electric vehicle charging stations shall be maintained in good condition, appearance, and repair.
- (l) Vehicular interconnection. Non-residential parking areas on adjacent lots shall be connected wherever practicable.
- (1) Purpose and intent. The purpose of requiring cross-access in certain situations is to reduce the necessity to use the existing public street system in order to move between adjacent and complementary land uses where such interchange of vehicular or pedestrian strips are likely to occur.
 - (2) Requirements. For uses requiring Development Review Committee (DRC) approval of site plans the following shall apply:
 - a. Traffic circulation and control patterns within the site shall be adequate to provide vehicular and pedestrian access to adjoining properties and streets;
 - b. Walkways, bike lanes and paths shall be located so that users may move from store to store or building to building on the site and to adjacent properties, with the minimum possible conflicts with vehicular traffic and the maximum possible efficiency of pedestrian/bicycle circulation;
 - c. Walkways, travel lanes and driveways shall be connected with related facilities in adjacent properties; and,
 - d. All commercial, office, multi-family, recreation, and community facility uses shall be designed to require vehicular and pedestrian cross access to adjacent commercial, office, multi-family, recreation, and community facility uses. Shared access points on public or private streets shall be required where determined to be necessary by the Urban Design Manager or his/her designee, to protect capacity on adjoining roadways or in the interest of public safety.
 - i. If the adjacent site is developed, the developer shall design and build the appropriate cross-access to the property line of the adjacent property.
 - ii. If the adjacent site is undeveloped, the developer shall design and build the cross-access to the property line of the adjacent parcel in anticipation of future connection when that site is developed.

Section 10.4. Off - Site and Shared Parking Areas

The City Council, upon review and recommendation of the Planning and Zoning Board, may authorize the utilization of off-site or shared parking areas for uses within non-residential and mixed-use districts, and they may be used anywhere within the Highway Commercial (HC) and TPG districts.

(a) Off-site Parking Areas require:

- (1). Evidence of the owner's right to use the off-site parking area either by license, deed, easement, or by long term lease.
- (2). Pedestrian access shall be available within a walking distance of 600 feet, measured from the nearest point of the building lot to an entrance to the parking area
- (3). Usability without causing unreasonable traffic congestion, detriment to any residential neighborhood, or hazard to pedestrians.

(b) Shared Parking Areas require

- (1). Joint use by contract between one or more adjacent property owners, parking lots within the HC Zoning District must be interconnected.
- (2). Entities that operate at different times or have peak hours which do not coincide may jointly use or share the same parking spaces with a maximum of one-half of the parking spaces credited to both uses

Section 10.5. RESERVED

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Section 10.6 Parking in the TPG Zoning District

To encourage the continuing revitalization of the City's TPG (Traditional Punta Gorda) zoning district, the citywide on-site parking requirements are reduced for TPG land as follows:

- (a) The parking ratios in the following table establish the minimum parking required for land uses in the various regulating districts in the TPG zoning district:

Land Use	Downtown Core: Lots < 20,000 sq. ft. ¹	Downtown Core: Lots ≥ 20,000 sq. ft. ²	All Other Regulating Districts ²
Residential	1 space per unit	1 space per unit	2 spaces per unit
Office & Retail	1 space per 1,000 sqft non-residential	1 space per 1,000 sq. ft.	1 space per 500 sq. ft.
Institutional/ Medical/ Government			25% Reduction to Required Parking per Section 10.7(b)
Industrial	N/A	N/A	1 space per 4,000 sq. ft.
Marina	N/A	1 space per 2 boat slips	1 space per 2 boat slips
¹ Any required parking space may be provided off site or by fee-in lieu through agreement approved by City Council. ² Development sites in the TPG which may be eligible for additional building height and residential density are subject to the Development Mitigation requirements of Article 3			

- (b) For non-residential uses, existing or newly created on-street public parking directly abutting or within 600 feet of the development site may be counted toward fulfilling the on-site minimum parking requirement. For residential uses, only newly created on-street parking abutting or within 600 feet of the development site may be counted.
- (c) No on-site parking spaces are required for non-residential use that occupies less than 1,000 square feet of floor area.
- (d) Other parking adjustments allowed by this article may also be used in the TPG zoning district, for instance the adjustments for off-site parking areas and for shared off-street parking in Sections 10.4.
- (e) In the TPG zoning district, existing buildings which were legally constructed without the provision of on-site parking and infill housing on existing lots of record will be considered conforming as to parking. Such buildings are eligible for change of use and renovation without providing additional parking.

Section 10.7. Parking Ratios for all Zoning Districts outside of the TPG

The parking recommendations as listed in the most recent Institute of Transportation Engineers (ITE) Parking Generation Manual for the associated land use may be substituted for specific uses in lieu of parking requirements listed herein upon approval of said request by the Zoning Official or designee. Supporting documentation from the ITE Parking Generation Manual shall be required to be submitted as part of the permit application. In the absence of alternate parking recommendations, the minimum parking ratios below shall apply except where other sections of this article allow adjustments to these ratios.

- (a) Residential
 - (1) Apartment/Multi-family - 2 per dwelling
 - (2) Attached and Detached Homes - 2 per dwelling
 - (3) Workforce and Affordable Housing - 1 to 1.5 spaces per dwelling

- (b) Institutional/Medical/Government
 - (1) Institutions of higher learning - 1.5 per 2 students and 1 per 2 residents
 - (2) High schools - 1.5 per 5 students
 - (3) All other schools - 1.5 per classroom
 - (4) Government and Civic institutions - 1 per 300 square feet and/or 1 per 4 seats of meeting area
 - (5) General health - 1.2 per bed
 - (6) Religious and cultural facilities - 1 per 4 seats
 - (7) Civic / Social / Fraternal organizations - 1 per 200 square feet and/or 1 per 4 seats
 - (8) Adult care and group home - 1 per 3 residents
 - (9) Assisted Living/Nursing Homes, Long Term Care Facility - 1 per 4 beds and 1 per employee
 - (10) Childcare - 1 per 10 children

- (c) Office and Retail
 - (1) Offices - 1 per 400 square feet
 - (2) Retail - 1 per 250 square feet
 - (3) Theaters - 1 per 3 seats
 - (4) Bed & Breakfast Inns/ Hotels / Motels - 1 per room or suite
 - (5) Convention facilities - 1 per 250 square feet
 - (6) Night clubs / Lounges / Bars / Restaurants - 1 per 100 square feet
 - (7) All other commercial - 1 per 300 square feet

- (d) Industrial
 - (1) Manufacturing/Warehousing/Light Assembly - 1 per 4,000 square feet of non-office space and 1 per 400 square feet of office

- (e) Miscellaneous
 - (1) Marinas - 1 per 2 boat slips

Section 10.8. Stacking Spaces for Drive-thru Facilities

Stacking spaces shall be a minimum of ten feet in width and eighteen feet in length. All stacking areas must not impede access to designated parking spaces.

- (a) Food Restaurants. A minimum of eight stacking spaces shall be required for fast food restaurants with drive-up windows. The distance shall be measured from the drive-up window.
- (d) All Other Uses. For other uses not specifically provided for herein, the Zoning Official shall make a determination regarding the number of stacking spaces required.

Section 10.9. Minimum Loading Space Ratio

Notwithstanding the loading requirement set forth below, in no instance shall more than 5 off- street loading spaces be required for any given use or building. For each retail store, storage warehouse, wholesale establishment, industrial plant, factory, freight terminal, market, restaurant, mortuary, laundry, dry cleaning establishment or similar use which has an aggregate gross floor area of:

AREA IN SQUARE FEET	SPACES
Over 5,000 but not over 15,000	1
Over 15,000 but not over 30,000	2
Over 30,000 but not over 60,000	3
Over 60,000 but not over 100,000	4
Over 100,000	5

These minimum loading requirements apply in the TPG (Traditional Punta Gorda) zoning district only to land in the Flex Commercial Corridor regulating district; see Section 3.2.

Section 10.10. Loading Specification

- (a) Standard loading spaces shall be a minimum 15 feet in width and 30 feet in length and provide a minimum vertical clearance of 15 feet; provided, however, that when loading spaces are located alongside each other, additional loading spaces need only be a minimum of 12 feet in width.
- (b) Semi-Trailer loading spaces shall be a minimum of 15 feet in width and 55 feet in length and provide a minimum vertical clearance of 15 feet.
- (c) No off-street loading area shall be located within any required front yard. Furthermore, no off-street loading area shall be used to satisfy requirements for parking or stacking spaces. All loading areas shall be located and designed in a manner which does not interfere with the free circulation of vehicles within parking or stacking areas.
- (d) Loading spaces may be provided cooperatively for two or more uses, subject to the approval by the Zoning Official of appropriate legal instruments to ensure the permanent availability of off-street loading for all such uses. The overall number

of loading spaces provided may be reduced by the Zoning Official or designee in those instances where it is demonstrated that adjacent land uses can be adequately served by a shared loading facility. The Zoning Official or designee is also authorized to require restrictions on the use and hours of operation of any uses that share loading spaces.

Section 10.11. Valet Parking

Valet parking may be utilized to meet with requirements of Section 10.7, providing the following conditions are complied with:

- (a) Valet parking contract must be made with a valet service or operator licensed by the City, which allows for attendants to receive, park, and deliver the automobiles for the patrons/clients of a facility.
- (b) Any valet parking arrangement used to fulfill the requirement of Section 10.7 shall remain in full force and effect for the entire time the owner of property seeks to provide parking by valet in lieu of providing required parking spaces. All valet parking agreements must be reviewed and approved by the Development Review Committee for adequacy. Factors to be considered by the Development Review Committee include, but shall not be limited to:
 - (1). The location of where valet parking will occur
 - (2). Whether the valet company has a valid City of Punta Gorda Business Tax Receipt
 - (3). Whether the agreement provides for an adequate number of attendants.
- (c). Any subsequent agreement or revisions must also be provided to the Development Review Committee for review and approval.
 - (1). All valet parking agreements shall remain in effect until the owner seeks approval by the Development Review Committee for an alternative parking arrangement which satisfies the parking requirements.
 - (2). Property owners providing valet parking under the provisions of this section shall provide evidence to the Development Review Committee by January 1 of each year that an annual valet parking agreement remains in effect for the next 12 month period.
 - (3). Any property owner who fails to provide such evidence will be required to appear before the Development Review Committee for approval of an alternative parking arrangement.
 - (4). Failure to provide valet parking under the terms of an approved valet parking agreement shall be deemed a violation of this Chapter, enforcement shall be made in accordance with the provisions of City of Punta Gorda Code of Ordinances, Chapter 9A Code Enforcement.

- (d) A valet drop-off/queuing area must be provided at a minimum length of 100 feet.
 - (1). Greater or lesser queuing area may be approved as a condition of site plan approval based on intensity of use.
 - (2). Queuing must occur on private property or as a condition of the Development Review Committee site plan approval on a public right-of-way where such queuing does not impede normal traffic operation.
 - (3). There must be an adequate number of parking attendants available for vehicle retrieval during business hours to avoid queuing on public right-of-way which impedes normal traffic operation.
 - (4). All valet parking attendants shall have a valid Florida driver's license.
- (e) Valet parking may be utilized to fulfill ADA parking requirements provided that a minimum of two ADA accessible spaces are provided adjacent to the queuing area or located as approved by the Building Division at the Development Review Committee site plan approval for vehicles that cannot be safely operated by a parking professional.

Section 10.12. Valet Parking Facilities

On-site or off-site parking facilities for the exclusive use of valet parking may be provided subject to Development Review Committee approval. The following standards shall apply to Valet Parking Facilities:

- (a) The dimensions for a valet parking space shall be a minimum of 8.5 feet wide and 16 feet in length with a maximum of two spaces along each side of an approved drive aisle.
- (b) Landscape buffers and interior landscaping requirements of Section 12.4. shall apply to all surface lots utilized for valet parking, with the option of transferring the interior requirements to the perimeter buffer areas.
- (c) Property used for valet parking does not need to be under the ownership of the business owner, but must have a valid contract for the property to be used for the approved parking agreement.
- (d) Public parking spaces may not be utilized for valet parking unless approved through a valid contract with the appropriate governmental entity owning such spaces.

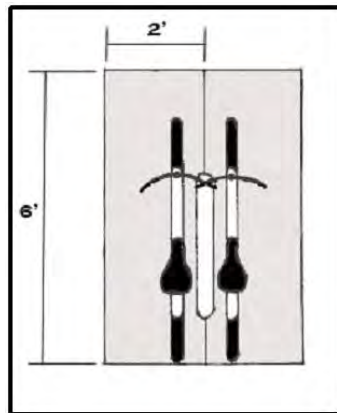
Section 10.13. Bicycle Parking Specifications

- (a) All new non-residential and new multi-family developments shall include short and/or long term bicycle parking as specified in this Section. In lieu of this requirement, the applicant may provide funding, at a fee level set by the City of Punta Gorda Public Works Department, for the purchase of community bicycle parking facilities.
 - (1). Fee for required bicycle parking may be paid to the City of Punta Gorda in lieu of the placement on the development site of bicycle parking facilities

required by this Section. Fees shall be set aside to be used for the purchase, installation and/or maintenance of community bicycle parking facilities.

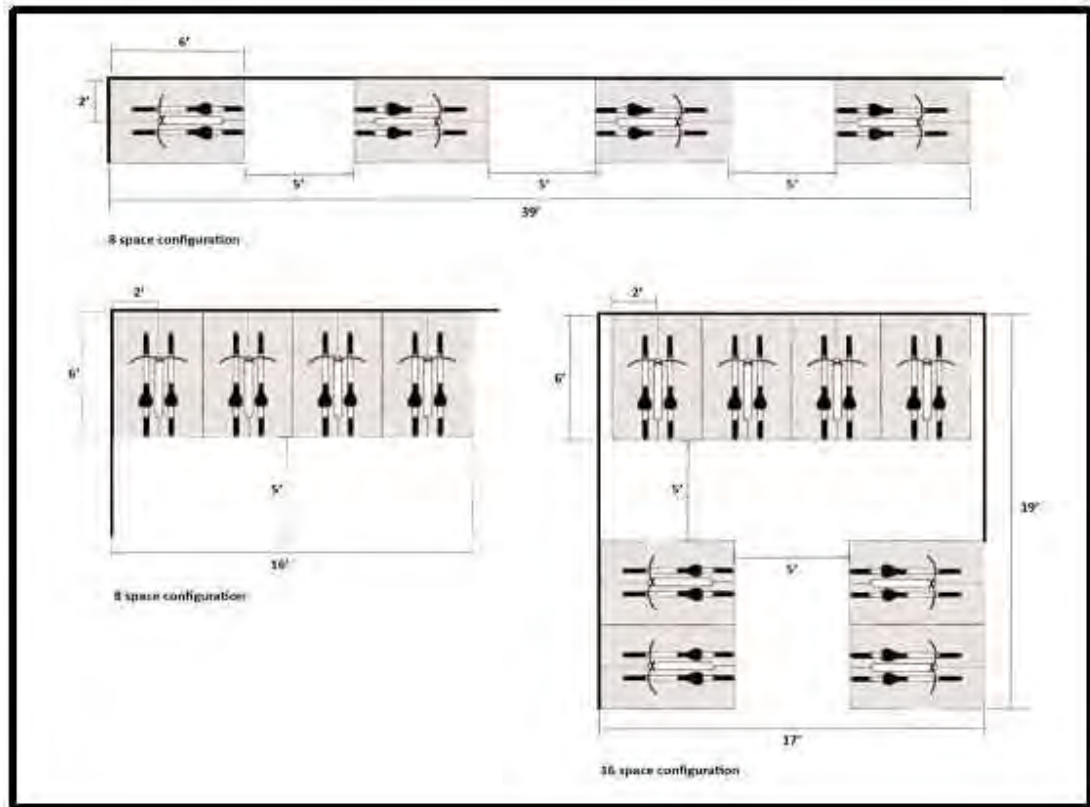
- (b) The number of required bicycle parking spaces shall be based upon the following criteria:
 - (1). 1 space per 3 residential dwellings
 - (2). 1 space per every 3 required vehicular parking spaces
 - (3). Zoning Official of designee has the authority to modify these provisions based on site location, availability of bicycle facilities (lanes, paths, slow speed streets), and on-site uses. Any such modification must be noted in the public records related to the property development.
- (c) Bicycle Rack Design Criteria. All bicycle racks required under this Section shall meet the following design criteria:
 - (1). Standard bicycle parking spaces shall be a minimum of six (6) feet long and two (2) feet wide.

Figure 10.13(c)(1): Standard Bicycle Parking Space



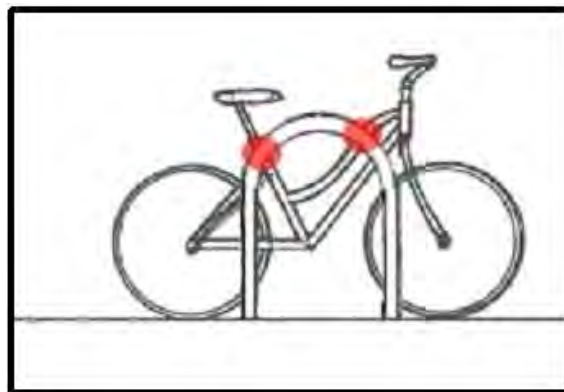
- (2). A vertical clearance of seven (7) feet is required for any roof, overhang, or other covering over the area.
- (3). An access aisle a minimum of five (5) feet wide shall be required in each bicycle parking facility.

Figure 10.13(c)(3): Example Bicycle Parking Layouts



- (4). Bicycle parking areas must be on the ground floor level unless accessible by an elevator designed to safely accommodate riders and bicycles.
- (5). Bicycles shall be supported upright by its frame at two points.

Figure 10.13(c)(5): Supports Bicycle Frame in two points



- (6). The support frame shall be sized to allow the use of a standard U-lock or lock and chain to secure the frame and at least one wheel to the rack.

Figure 10.13(c)(6): U-lock secures the bicycle frame and one wheel to the rack



- (7). Rack frames shall be in-ground mounted or secured to a concrete pad or asphalt with tamper resistant fasteners.

Figure 10.13.(c).(5) and (6): Examples of Appropriate Bicycle Rack Designs

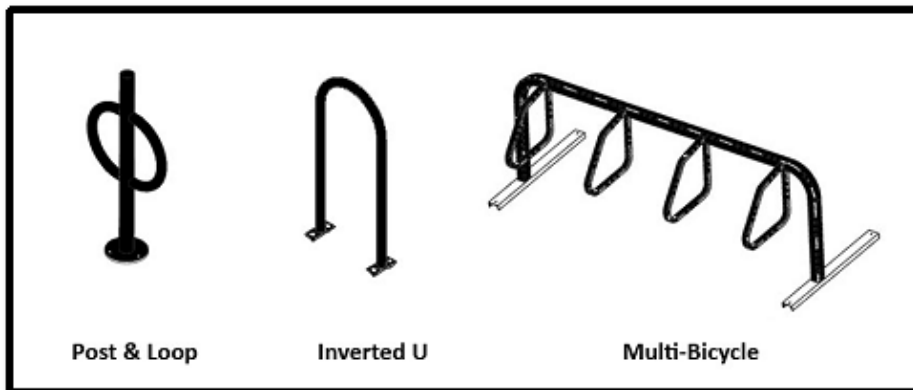
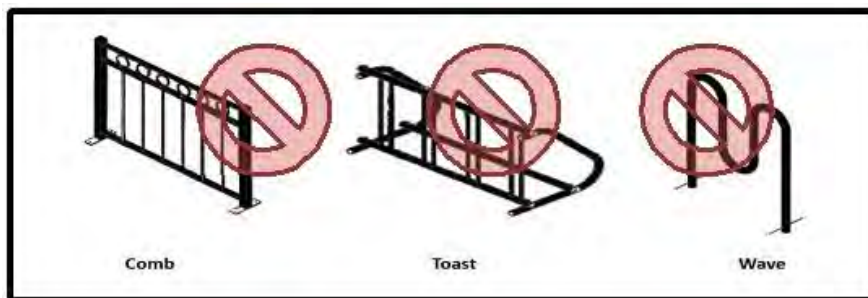
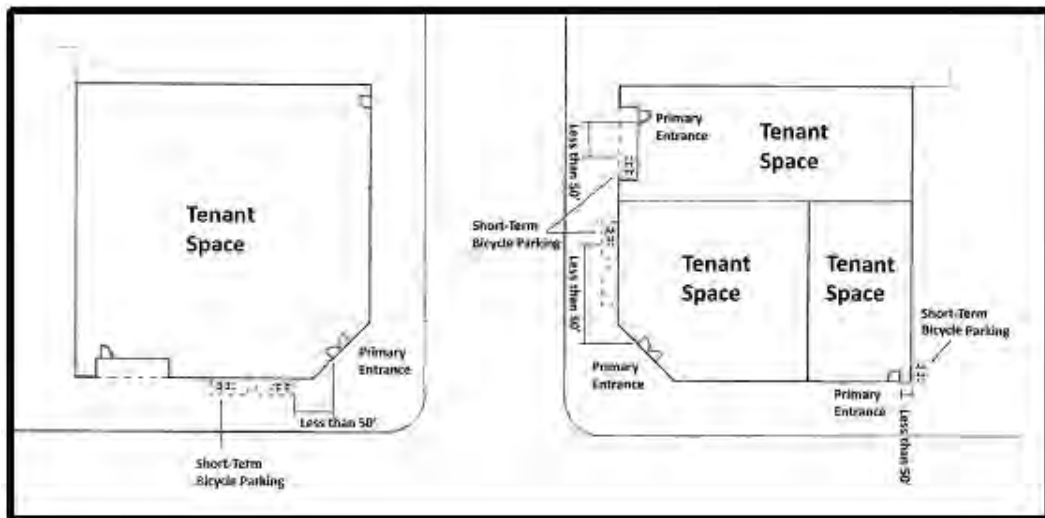


Figure 10.13.(c)(5) and (6): Examples of Prohibited Bicycle Rack Designs



- (d) Short-Term Bicycle Parking. Short-term bicycle parking is designed for use by customers or other visitors engaged in short stays of less than eight (8) hours on a particular property. Short-Term Bicycle Parking consists of appropriately designed and placed Bicycle Racks. These facilities generally do not provide the same level of weather protection and theft deterrence as Long-Term Bicycle Parking shall be:
- (1). Required for all non-residential development to encourage shoppers, customers, and other visitors to use bicycles by providing secure, convenient, and accessible place for parking bicycles;
 - (2). Required for all multi-family development that includes community recreational facilities that include additional vehicular parking;
 - (3). Within 50 feet of a primary (not a service or emergency) building entrance for each tenant;
 - (4). Located on a solid surface (asphalt, concrete pavers, or brick) accessible from pedestrian facilities that provide access to the adjacent building entrance.

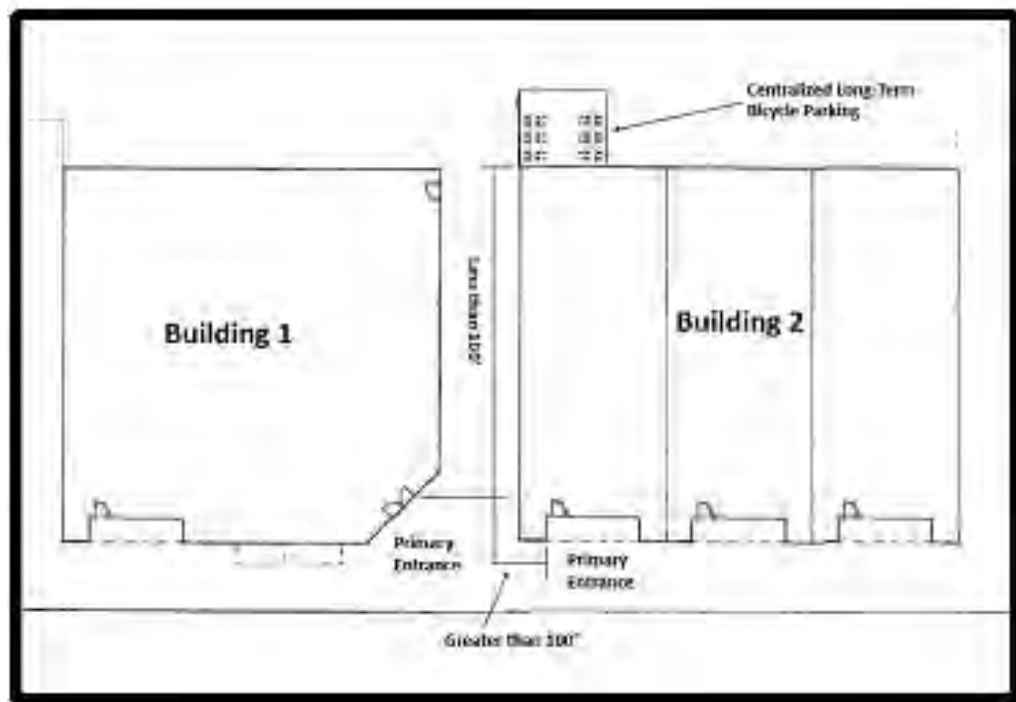
Figure 10.13(d): Examples of Short-Term Bicycle Parking Placement



- (e) Long-Term Bicycle Parking.
- (1). Long-Term Bicycle Parking is for bicycles that are is likely to be parked/stored in the same location overnight or for more than an eight (8) hour period. Long-Term Bicycle Parking is specifically intended for employees of a business or residents of a multi-family development. Long-Term Parking offers a high degree of security & theft protection consisting of an area to lock individual bicycles within a lockable enclosure. This area is protected from weather and sun by a cover and protected from theft & vandalism by the secondary lockable enclosure like a room or fenced & gated area accessible only to users of the parking area. Bicycle Locker(s) may be used to fulfill any requirement for Long-Term Bicycle Parking.

- (2). A bicycle locker is defined as a lockable box in which a single bicycle can be placed and locked inside. Bicycle lockers are appropriate for long-term bicycle parking because they protect a bicycle from weather, vandalism, and theft. Bicycle lockers shall be:
- a. Required for all multi-family residential development
 - b. Required for non-residential development where more than 15 vehicular parking spaces are provided
 - c. Covered to protect bicycles from sun and precipitation
 - d. Located within 100 feet of a primary building (not an emergency) entrance or otherwise centrally located if intended to serve multi-buildings
 - e. Located inside a securable enclosure or structure unless bicycle lockers are utilized to fulfill this requirement
 - f. Located on a solid surface (asphalt, concrete pavers or brick) accessible from pedestrian facilities that provide access to the primary building entrance, parking area, or street

Figure 10.13.(e): Example of Long-Term Bicycle Parking



Article 11

Sign Standards

Section 11.1. Intent and Purpose

- (a) Intent. Signs have a strong visual impact on the character and quality of our community. As a prominent part of the scenery, they attract or repel the viewing public, affect the safety of traffic on adjacent rights of way and their suitability or appropriateness helps to set the tone for our community. The City relies upon its physical setting and beauty to attract commerce and aesthetic considerations assume economic value. The intent of this Article is to protect and enhance both the City's residential character and its economic base using appropriate and aesthetic signage.
- (b) Purpose. The purpose of this Article is to promote the public health, safety, and welfare through a comprehensive system of reasonable, effective, consistent, content-neutral, and nondiscriminatory sign standards and requirements that:
 - (1) Promote and accomplish the goals and policies of the City's comprehensive plan and land development regulations, and the City Council's vision for the City
 - (2) Provide minimum standards to safeguard life, health, property, and public welfare, and promote traffic safety by controlling the design, quality of materials, construction, illumination, size, location, and maintenance of signs and sign structures and discouraging excessive numbers of signs
 - (3) Recognize constitutionally protected free speech rights by regulating signs in a content-neutral manner
 - (4) Promote the safe flow of traffic and protect all roadway users from injury and property damage caused by or which may be fully or partially attributable to cluttered, distracting, and/or illegible signage
 - (5) Promote a positive visual image of the City and protect the beauty of the City's built environment by encouraging signs that are compatible with the architectural style, characteristics, and scale of the building to which they may be attached; appropriate to the size of the subject property and amount of street frontage adjacent to the subject property; and compatible with adjacent buildings and businesses

- (6) Protect property values, the local economy, and the quality of life by preserving and enhancing the appearance of the City's streetscape
- (7) Provide consistent sign design standards;
- (8) Protect and encourage creative and innovative approaches to signage and signs that are of a quality design, pleasing in appearance, and are appropriate in size, materials, and illumination to the surrounding neighborhood or commercial district
- (9) Provide an improved visual environment for the citizens and visitors of the City
- (10) Adopt clear, understandable regulations that will assure equal protection and fair treatment under the law through consistent application of the regulations and consistent enforcement of this Article
- (11) Balance both public and private business needs with the specific objectives of creating a community with an unmatched quality of life and a strong focus on economic well-being, aesthetics, community and family, the environment, and public infrastructure
- (12) Support and enhance the economic well-being of all businesses within the City and recognize the needs of all businesses to identify their premises and advertise their products and services
- (13) Recognize that the aesthetic value of the total environment affects economic values and that an unrestricted proliferation of signs detracts from the economic value of the community

Section 11.2. Applicability and Exclusions

- (a) Applicability. This Article applies to all signs within the jurisdictional limits of the City of Punta Gorda, Florida (hereinafter referred to as "City") regardless of the type or nature.
- (b) The provisions of this Article do not supersede more stringent provisions in community deed restrictions or other restrictive covenants. Citizens are advised to review any deed restrictions and restrictive covenants which may apply to their property, before the application for permit or placement of any sign(s) allowable under this Article.

- (c) Exclusions. Except as where otherwise prohibited in Article 11, the following are excluded from the regulations and requirements of this Article:
- (1) Signs that are not visible from any public right-of-way (including public waterways), public space, or another property.
 - (2) Signs inside a building; however, signs inside windows or on the inside surface of windows are not excluded if they are visible from any public right-of-way, public space, or another property.
 - (3) Signs required by any applicable local, State, or Federal law.
 - (4) Signs installed by a City, County, State, Public Utility or Federal governmental agency for the protection of the public health, safety, and general welfare, including, but not limited to, the following:
 - a. Emergency and warning signs necessary for public safety or civil defense
 - b. Traffic and/or wayfinding signs erected and maintained by an authorized public agency
 - c. Signs required to be displayed by law
 - d. Signs showing the location of public facilities
 - e. Any sign, posting, notice, or similar sign placed by or required by a governmental agency
 - (5) Except as otherwise provided for herein, any sign on or in a vehicle, however, such signs may otherwise be regulated or prohibited pursuant to the provisions of Chapter 23, Section 23-22, Punta Gorda Code and Chapter 26, Article 3, Section 3.13(k), Punta Gorda Code.
 - (6) Outdoor art, including but not limited to statuary and fountains. Outdoor murals on structures shall be regulated as Iconic signs pursuant to Section 11.15 of this Article.
 - (7) Temporary signs located on fences for screening of a construction site, as long as there is an active development permit, grading permit, or building permit approval that includes external work or modifications of the site.
 - (8) Historic or memorial plaques, gravestones, and building marker signs. Building marker signs are signs indicating the name of a building, the date of construction, and incidental information about the building's construction. Building marker signs shall not exceed 5 square feet in area; shall be made of permanent material such as bronze or masonry

permanently affixed to the building wall; and shall not exceed one sign on any single building.

- (9) Signs supported, held, or worn by a person.
- (10) Public and private regulatory and warning signs, such as, but not limited to, “no trespassing”, “no hunting”, “no parking”, “no soliciting”, “handicap parking only,” “entrance,” “exit,” “restrooms,” “loading zone,” “names and unit numbers for tenants of a building or development,” “tow away zone,” “pesticide, fertilizer or other lawn applications,” and “security system signs.” Such signs may contain graphics to compliment the sign text. Such signs must be in conformance with Florida Statute requirements.
- (11) Seasonal and Holiday decorations, including string lights and projected image signs associated therewith. Projected image signs shall not be displayed from the hours of 11:00 p.m. to 8:00 a.m.
- (12) A building’s street address.
- (13) Signs used in conjunction with athletic fields.
- (14) Flags used in conjunction with cemeteries.

Section 11.3. Interpretation

- (a) This Article is not intended to, and shall not be interpreted to, restrict speech based on its content, viewpoint, or message.
- (b) No part of this Article shall be construed to favor commercial speech over noncommercial speech.

Section 11.4. Definitions

Definitions related to the provisions of Article 11 Signs are located in Article 19 Definitions, Section 19.10 Sign (Article 11) Definitions.

Section 11.5 Prohibited Signs

Unless otherwise provided for in this Article, no person shall erect, display, wear, alter, maintain, or relocate any of the following signs in the City and such existing signs must be removed:

- (a) Signs without a Proper Permit. Signs erected, constructed, or structurally altered

that are required to have a permit for such action and that were erected, constructed, or altered without obtaining a permit for such action.

- (b) Abandoned signs.
- (c) Air-activated, Inflatable, and Balloon signs.
- (d) A changeable copy sign where the text and/or graphics are displayed electronically and changes its display more than once in a 24-hour period.
- (e) Animated Signs.
- (f) Any sign that copies or imitates an official sign or purports to have official status or could create a traffic safety hazard.
- (g) Any sign attached to an accessory structure if such sign is legible from a public right-of-way or from other property.
- (h) Attachments to signs such as but not limited to streamers, balloons, and pinwheels.
- (i) Bench signs.
- (j) Blade signs.
- (k) Flashing signs, signs with flashing or reflective disks, signs with flashing lights or lights of changing degree of intensity or color or signs with electrically scrolled messages, except signs which give time and temperature information.
- (l) Graffiti.
- (m) Hazardous Signs. Any sign that is dangerous or confusing to motorists and pedestrians, including any sign that by its color, wording, design, location, or illumination resembles or conflicts with any official traffic control device or that otherwise impedes the safe and efficient flow of traffic. Hazardous signs shall also include signs placed in such a manner such that the any portion of the sign obstructs visibility at street intersections, drives and driveways.
- (n) Impediment to Access. No sign may impede free ingress and egress from any sidewalk, pedestrian walkway, door, window, or exit way required by building and fire regulations.
- (o) Light Pole/Support Pole signs.

- (p) Mechanically Moving Signs. Any environmentally activated sign or other display with actual mechanical motion powered by natural, manual, mechanical, electrical, or other means, including by not limited to pennant strings, streamers, spinners, propellers, and search lights.
- (q) Nuisance Signs. Any signs that emit smoke, visible particles, odors, and/or sound, except that speakers in signs on the premises of a drive-through facility shall be allowed.
- (r) Pole and pylon signs.
- (s) Roof signs.
- (t) Rotating signs and pennant signs.
- (u) Signs within the public right-of-way, public property, public easements, or structures, including, but not limited to, medians, roundabouts, sidewalks, utility poles and cabinets, streetlight poles, utility/planting strips, traffic control devices/support poles, and street trees.
- (v) Snipe signs.
- (w) Sound. No sign shall emit any sound that is intended to attract attention beyond the boundaries of the lot on which it is located or that creates a public nuisance.
- (x) Unauthorized signs. Any sign not expressly authorized under the provisions of this Article.
- (y) Except as otherwise provided in this Article, any illuminated tubing, strings of lights, or strips of LED lights including but not limited to:
 - (1) Those outlining property lines.
 - (2) Outlining open sales areas, except as permitted by Section 8.4 Exterior Lighting Standards.
 - (3) Outlining rooflines, doors or windows, or edges of walls, except as specifically permitted in the Waterfront Overlay District.
 - (4) Landscaping, except low intensity constant glow rope lighting.
- (z) Any sign which contains obscene language or graphics; and any sign containing fighting words or indecent speech which is legible from any public right-of-way or within any public space, and which can potentially be viewed by children under the age of 17. This provision includes signs or flags in or on any vehicle, vessel

or on any apparel and accoutrements.

Section 11.6. Measurement of Signs

(a) Freestanding Sign Face Area.

- (1) The area of any sign face shall be computed by means of the smallest single regular geometric form (parallelogram, triangle, circle, semi-circle or other regular geometric shape) that will encompass the extreme limits of the following including the blank areas between display elements:
 - a. Writing.
 - b. Representation.
 - c. Emblem, logo, or other display.
 - d. Any material or color forming an integral part of the background of the display or used to differentiate the sign from the backdrop or structure against which it is placed.
 - e. All changeable copy area on a changeable copy sign.
- (2) Freestanding Sign Face Area does not include any supporting framework, base, or bracing.
- (3) For a single wall on a single-occupant building, or a single business name on a ground sign, all pieces of information or other graphic representations on that wall shall be measured as though part of one sign, encompassed within one regular geometric form, which may not exceed the maximum permitted sign area. A separate geometric form may be used for each entrance to the business that is open to the public. The area of all signs combined shall not exceed the total signage area permitted as provided in this Article.

(b) Multi-Faced Sign.

- (1) Where the sign faces of a double-faced sign are parallel or the interior angle formed by the faces is 60 degrees or less, only one display face shall be measured in computing sign area.
- (2) If the two faces of a double-faced sign are of unequal area, the area of the sign shall be the area of the larger face.
- (3) In all other cases, the areas of all faces of a multi-faced sign shall be added together to compute the area of the sign.

(4) Sign area of multi- faced signs is calculated based on the principle that all sign elements that can be seen at one time or from one vantage point should be considered in measuring that side of the sign.

(c) Wall Signs.

Wall signs are measured by means of the smallest single regular geometric form (parallelogram, triangle, circle, semi- circle, or other regular geometric shape) that will encompass the complete message, including graphics.

(d) Signs on Awnings, Canopies, and Marquees.

Signs incorporated on awnings, canopies and marquees are measured by means of the smallest single regular geometric form (parallelogram, triangle, circle, semi- circle, or other regular geometric shape) that will encompass the complete message, including graphics. When the ends of awnings or marquees are parallel and contain sign faces, only one side is counted in addition to the sign face on the front.

(e) Sign Height.

(1) The height of a sign shall be computed as the distance from the base of the sign at finished grade to the highest point of the sign, including any frame or supporting structure to which the sign is attached.

(2) Finished grade shall be construed to be the newly established grade after construction, exclusive of any filling, berming, mounding or excavating not associated with stormwater management, landscape, or similar regulatory requirement and intended solely for the purpose of locating the sign.

(f) Building Frontage.

(1) Building frontage shall mean the horizontal length of a building on each side with right of way frontage.

(2) If the right of way frontage wall is a straight wall, then the building frontage shall be the length of the wall.

(3) If the right of way frontage wall is not a straight wall, then the building frontage shall be the horizontal distance from the corner at one end of the side of the building to other corner of the same side of the building.

(4) For a multi-tenant building, the Building Frontage for each tenant will be

Section 11.8. Sign Permit Exemptions

The following signs, and activities relating to signs, are exempt from the permitting requirements of this Article:

- (a) Changes to the face or copy of changeable copy signs, digital signs, and electronic copy signs, provided such changes do not change the material or appearance of the sign as originally permitted by the City.
- (b) The minor repair and maintenance of conforming or legal nonconforming signs.
- (c) Any signs excluded from regulation by this Article.

Section 11.9. Signs - General Regulations

The following provisions apply to all signs placed within the City:

- (a) Sign Placement. Except as otherwise authorized by this Article, all signs must be placed totally within the boundaries of the site/property for which a permit has been issued.
- (b) Materials – Construction. Signs must be made of such durable materials, and ink, paint, or other form of lettering or graphics so as to be able to withstand the wind and rain effects of a typical thunderstorm. Additional structural details may be required to obtain a City of Punta Gorda Building Permit.
- (c) Prohibited Placement. Except as otherwise provided for in this Article, signs are prohibited as follows:
 - (1) No sign may be placed on a roof of a building or structure.
 - (2) No sign shall be so located as to physically obstruct any door or exit from a building
 - (3) No sign shall be located to be hazardous to a motorist’s ingress and egress to and from parking areas.
 - (4) No sign shall be located to be hazardous to a pedestrian’s ingress and egress to and from buildings.
 - (5) No sign shall be in any area which may obstruct the vision of motorists, bicyclists, and pedestrians so as to create a safety hazard.
- (a) Abandoned Signs. Whenever a City Code Enforcement Officer finds an abandoned sign is present on public property, including a public right-of-way, the Officer may take such sign into custody and shall make a reasonable attempt to ascertain the rightful owner. If the rightful owner can be contacted by telephone or email, the

City shall advise the owner that the abandoned sign will be held for seven (7) days, after which time the sign will be disposed of by the City. The owner shall be advised how, where, and when the owner may retrieve the abandoned sign. If the City is unable to ascertain the owner, or if the City is unable to contact the owner, or if after contact the owner does not retrieve the sign within seven (7) days of notification, the City may dispose of the sign.

Section 11.10. Signs - Residential Properties

Except as otherwise provided for in this Article, no yard signs will require a permit from the City of Punta Gorda. Signs on property, within the following zoning districts are allowable pursuant to the regulations contained in this Section: General Single-Family District (GS); General Multi-Family District (GM), which includes the Special Residential Overlay (SRO) Districts; Manufactured Home District (MH); Planned Development Neighborhood (PDN) and (PD-GS), Traditional Punta Gorda District (TPG) except for the Downtown Core, Flex Commercial Corridor, and Maker Village regulating districts, and Environmental Preserve District (EP).

- (a) Quantity. The number of allowable signs shall not exceed the maximum quantity as provided herein.
- (b) A-Frame (Sandwichboard, T-Frame or Sidewalk) Signs. Require a permit and are permissible only on property for which a Special Exception has been granted, or is otherwise authorized for use as clubs, country clubs, religious institutions, schools, civic uses, and recreational facilities, subject to the following:
 - (1) Sign shall not exceed 6 square feet per sign face.
 - (2) Sign shall not exceed 3 feet in width.
 - (3) No sign shall be closer than 6 feet to another such sign.
 - (4) Signs are not allowed within any landscaping or streetscape area.
 - (5) Signs may only be displayed during normal business hours of operation of the permittee as indicated on the City issued permit.
 - (6) Signs shall not obstruct the vision or path of motorists, bicyclists, or pedestrians so as to create a safety hazard. Any sign found to create a safety hazard may be removed by the City, and if possible, relocated to a safe location.
- (c) Banner Signs. Require a permit and are permissible subject to the following:

- (1) Must be attached to a permanent structure, building, or fence.
 - (2) If attached to a building, cannot be displayed above the roof line.
 - (3) Banners are limited in total area to 24 square feet per platted lot.
 - (4) Banners shall be displayed for a maximum of 20 days per occurrence, up to four times per calendar year. Banners may be displayed for consecutive occurrences.
- (d) Flags. Are allowed provided that all flags must be hoisted on a pole permanently affixed to the ground or displayed via a pole bracket permanently affixed to a building, and further subject to the following limitations:
- (1) The maximum number of 2 flag poles or brackets, or 1 gaff/yard arm style pole for each parcel.
 - (2) The maximum number of flags that may be displayed on a single pole is 2. The maximum number of flags on gaff/yardarm style flagpole is 4. This limitation does not apply to international code of signal flags on a gaff/yardarm style flagpole.
 - (3) Except as provided below, the maximum size of each flag shall not exceed 24 square feet in area.
 - a. One flag on the property may be a maximum of 60 square feet in area.
 - (4) Flag poles shall not exceed 40 feet in height.
 - (5) Flags shall not be faded, tattered, or torn.
 - (6) Flags shall be counted toward the maximum number of yard signs permitted per parcel pursuant to Section 11.10 (h) of this Article, unless otherwise regulated by this Article.
- (e) Ground Signs. Require a permit and are permissible subject to the following limitations:
- (1) When associated with property for which a Special Exception has been granted authorized for use as clubs, country clubs, religious institutions, schools, civic uses, and recreational facilities;

- (2) Associated with recognized named subdivisions or neighborhoods;
- (3) If the sign includes a base that is not part of the sign face, the width of the ground sign base shall be not less than 100% of the width of the sign face.
- (4) Signs shall be made of construction materials such as brick, stucco, stonework, textured wood, tile, or textured concrete, and which are harmonious with the materials of the primary structure on the subject property.
- (5) Setbacks shall be a minimum 8 feet from any ground sign to any public right-of-way, any on site or off-site walkway or any parking space.
- (6) Only grass or groundcover no more than 18 inches tall shall be permitted within the required sign setback area.
- (7) Other landscape requirements, 1 square foot of landscape area with ground cover and shrubs for each square foot of sign face area.
- (8) Both sides of a two-sided ground sign shall be identical in design.
- (9) There shall be only one ground sign plus one additional ground sign for street frontage on a second street, provided that the frontage on that street is at least 150 feet in length and an entrance to the project is located on such street.
- (10) No two onsite ground signs shall be within 300 feet of each other on a single parcel.
- (11) Signs shall not exceed 32 square feet in area per sign face and shall not exceed 6 feet in height.
- (12) Signs within the Environmental Preserve District (EP) shall not exceed 40 square feet in area per sign face and shall not exceed 10 feet in height.
- (13) Signs located along the roadway entrance to a recognized named subdivision or neighborhood may be located within a public right-of-way upon the issuance of a right-of-way use permit from the City, subject to the following limitations:
 - a. Signs may be located on one side, both sides, or within a median of each principal roadway entrance into the development or neighborhood.

- b. Signs shall only be allowed where the entrance is divided by a median of not less than 50 feet in length and 10 feet in width.
 - c. Signs shall be located within the median and set back at least 10 feet from the public right-of-way line when projected across the entrance.
- (f) Portable Message Center Signs. Require a permit and are permissible only on property for which a Special Exception has been granted, or is otherwise authorized for use as clubs, country clubs, religious institutions, schools, civic uses, and recreational facilities, subject to the following:
 - (1) Size of any portable signage that exceeds 6 square feet in sign area
 - (2) Use of sign limited for a maximum of 14 days per occurrence, up to four times per calendar year, sign can be displayed for consecutive occurrences.
 - (3) Message may not be changed more than once in a 24-hour period
- (g) Signs at Construction Sites. Model Home signs require a permit, all other signs are allowed on property for which a City of Punta Gorda Building Permit has been issued and remains active subject to the following:
 - (1) Signs may not be placed within 10 feet of the edge of the roadway pavement. The distance from edge of pavement as set forth herein is not a determination as to whether the location is public right-of-way or private property.
 - (2) Signs shall not exceed 4 square feet in area per sign
 - (3) Signs shall not exceed 6 feet in height.
 - (4) Signs shall not obstruct the vision or path of motorists, bicyclists, or pedestrians so as to create a safety hazard. Any sign found to create a safety hazard may be removed by the City, and if possible, relocated to a safe location.
 - (5) A single sign shall be allowed as an accessory use to a model home, as long as a permit for this use has been issued by the City. Such sign shall not exceed 16 square feet in area and 6 feet in height.
 - (6) Any contractor may erect a sign on the property with the permission of the owner and shall be counted toward the maximum number of yard signs permitted per parcel pursuant to Section 11.10 (h) of this Article. Said sign

shall not exceed 4 square feet in area and 3 feet in height and must be removed upon approval of final inspection or completion of work performed if no inspection is required.

(h) Yard Signs. Allowed with the following limitations:

- (1) Signs may not be placed within 10 feet of the edge of the roadway pavement. (The distance from edge of pavement as set forth herein is not a determination as to whether the location is public right-of-way or private property.)
- (2) Signs shall not exceed 4 square feet in area per sign.
- (3) Signs shall not exceed 3 feet in height.
- (4) Signs shall not obstruct the vision or path of motorists, bicyclists, or pedestrians so as to create a safety hazard. Any sign found to create a safety hazard may be removed by the City, and if possible, relocated to a safe location.
- (5) Signs shall be limited to 4 per parcel, this includes flags; except as permitted in Sec. 11.10 (d)(6).
- (6) Signs may be placed on any parcel with the permission of the property owner.
- (7) Signs placed water-ward of a seawall require approval by the Florida Fish and Wildlife Conservation Commission (FWC).
- (8) Signs or flags on boats, which are on a lift or in the water, shall be exempt from the total number of signs and/or flags allowed on a residential property. One flag may be a maximum of 60 square feet in area, all others shall be a maximum of 24 square feet in area. All other signs shall be a maximum of 4 square feet each.

Section 11.11. Signs - Mixed Use and Commercial Properties

Except as otherwise provided for in this Article, all signs require a permit. Signs on property within the following zoning districts are permissible pursuant to the regulations contained in this Section: Neighborhood Center District (NC); Highway Commercial District (HC); and in the Traditional Punta Gorda District (TPG), the Downtown Core, Flex Commercial Corridor, and Maker Village regulating districts only,

- (a) A-Frame (Sandwichboard, T-Frame or Sidewalk) Signs. Require a permit and are permissible subject to the following:
- (1) Only one sign shall be permitted for each business, except as otherwise provided.
 - (2) Signs may only be displayed during normal business hours of operation of the permittee as indicated on the City issued permit.
 - (3) Signs shall not exceed 8 square feet per sign face.
 - (4) Signs shall not exceed 3 feet in width.
 - (5) Signs together with frame including wheels and handles shall not exceed 4 feet in height as measured from finished grade.
 - (6) No sign shall be closer than 10 feet to another such sign.
 - (7) Signs must be located in a manner as to not interfere with pedestrian or vehicular traffic or the visibility triangle as defined in Chapter 26, Article 8, Section 8.18, Punta Gorda Code. A minimum 4-foot clear pedestrian walkway shall be maintained at all times.
 - (8) Signs may be placed in the public right-of-way provided they shall not be placed within twelve inches of any curb or two feet from the edge of pavement in the absence of curbs, notwithstanding prohibition of Section 11.5 (u) of this Article.
 - (9) Signs shall not be located more than 20 feet from the wall of the building within which the permittee's business is located.
 - (10) Signs must be placed within the side lot lines of the property upon which the permittee's establishment is located, or within the extension of said side lot lines, if the sign is to be located in the right- of- way.
 - (11) Signs shall not be placed in medians or traffic islands or where they interfere with the opening of car doors or interfere with the use of any exit, fire hydrant, loading zone, bicycle rack, sidewalk ramp, wheelchair ramp or similar public facility.
 - (12) Before a permit may be issued for a sign to be located within a public right-of- way, the business must provide the City of Punta Gorda with proof of Comprehensive General Liability insurance with limits of at least \$300,000

per occurrence naming the City of Punta Gorda as an additional insured and an agreement to indemnify and hold the City harmless in any claim or cause of action against the City arising from the placement of such signs. Failure to maintain such insurance shall be grounds for revocation of the sign permit. The City must be provided with a 30- day written notice from the insurance carrier if an insurance policy is cancelled.

- (13) Businesses located on the interior of building shall not be allowed to display signage outside of the confines of the building unless they have ground floor public street frontage to accommodate such signage.
 - a. For the purposes of this Sub-section, ground floor public street frontage shall mean an entrance to the business on the ground floor that goes directly into the business without passing through a hallway or general reception area.
 - b. For businesses without ground floor public street frontage, the building's owner or landlord may submit an application for a permit for a sign on behalf of a tenant, or may apply for a permit to provide a rotation schedule for each business provided that at no time shall more than one sign per street front be permitted for that building.
- (14) Any business located on the corner of two public streets or having frontage on two public streets or alleys is allowed to have a sign on each street or alley side of the business.
- (15) Physical attachment to public property prohibited. Signs placed in the right-of-way must remain portable and may not be attached or anchored in any way to trees or to public property including but not limited to utility or light poles, parking meters, hand railings, the ground or pavement.
- (16) Except as authorized by permit, signs shall not be placed in parking spaces.
- (17) Signs designed to spin, twirl, or rotate are prohibited.
- (18) Signs must be professionally manufactured.
- (b) Awning and Canopy Signs. Permittable subject to the following:
 - (1) On a single-occupant property, one sign may be allowed in lieu of all other wall signs.

- (2) On a multi-occupant property, one sign may be allowed over each occupant entrance, in lieu of other wall signs.
 - (3) The maximum area of a sign shall not exceed ten percent of the total canopy area.
 - (4) Signs may be externally illuminated only. Awning with signs must be made from an opaque material so that any illumination under the awning for safety of pedestrians is not visible thru the awning sign face.
 - (5) Signs on an awning shall not exceed 10 square feet in area.
- (c) Marquee Signs. Permittable for theatres only:
- (1) Changeable copy Marquee signs may cover no more than one square foot of sign area for each linear foot of theater building frontage.
 - (2) Such signs shall be subject to total wall sign area limits.
- (d) Banner Signs. Permittable subject to the following:
- (1) Must be attached to a building or permanent structure but not fences.
 - (2) If attached to a building, the banner cannot be displayed above the roof line.
 - (3) Banners are limited in total area to 32 square feet for each Local Business Tax receipt.
 - (4) Banners may be displayed for a maximum of 84 days per calendar year for each Local Business Tax receipt. Banners may be displayed for consecutive occurrences.
- (e) Changeable Copy Signs. Permittable only for theaters, service stations, churches, public land, banks, recreational, and educational institutions subject to the following:
- (1) No sign face shall be visible from any residentially zoned property.
 - (2) Copy on the sign face shall not change more than once during a 24-hour period and shall remain static at all other times.
 - (3) Copy may occupy all of the sign area of a marquee sign, awning, or canopy, and only up to 1/2 of the area of a principal ground sign.

- (4) Signs within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG) shall not be internally illuminated.
- (f) Construction Site Signs. Permittable on property for which a City of Punta Gorda Building Permit has been issued and remains active subject to the following:
 - (1) For new structures, a single sign per street front of not more than 6 feet in height and 32 square feet in area. Such sign shall be removed on issuance of a Certificate of Occupancy.
 - (2) For structures being remodeled, a single sign per street front of not more than 6 feet in height and 32 square feet in area. Such sign shall be removed upon approval of final inspection or completion of work performed if no inspection is required.
 - (3) Shall not be located within 10 feet of the edge of pavement.
- (g) Drive/Walk/Bike-Thru Signs. Permittable where a drive-thru has been authorized subject to the following:
 - (1) Signs shall not exceed 32 square feet in area and 6 feet in height and shall not be legible from a public right-of-way or adjacent property.
 - (2) There shall be no more than 2 signs per site.
 - (3) The color of such signs shall have architectural ties to the main building.
 - (4) Signs may have changeable copy and may be internally illuminated:-
- (h) Façade Signs. Permittable only within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG) with a permit subject to the following limitations:
 - (1) A single external sign band shall exist on the street frontage façade of each building not to exceed 1.5 square feet in area for each linear foot of right of way frontage. The cumulative total of permittable signage for both façade and wall signs cannot exceed 1.5 square feet of signage per each linear feet of right of way frontage.
 - (2) The sign band shall not exceed 3.5 feet in vertical dimension.
 - (3) The sign shall consist of letters and graphics applied directly on the façade of the building and extending not more than 6 inches from an exterior wall.

- (4) Letters and graphics shall be constructed of cast metal, bronze, brass, or anodized aluminum, or similar materials.
 - a. Illuminated façade signs that are externally or indirectly illuminated are allowed.
 - b. Illuminated façade signs that are internally illuminated are prohibited.
- (5) The height of the top edge of the sign shall not exceed the height of the wall upon which the sign is installed.
- (6) An additional façade sign, may be placed in the façade sign band area on a side of a building not directly facing a street. The sign area shall not exceed 10 square feet in area.
- (7) On buildings that exceed a height of 35 feet, as measured from base flood elevation, the following may be permitted if the sign has more than one line of writing, representation, emblem or other display:
 - a. The sign band may be increased in vertical dimension up to 14% of the building height.
 - b. In no case shall the vertical dimension exceed 7 feet in height.
 - c. In no case shall a single line of the sign exceed 3.5 feet in vertical dimension.
 - d. The sign band shall be located at a minimum of 24 feet above base flood elevation.
- (8) On a corner lot, additional façade sign area shall be permitted on the secondary street frontage side of the building, not to exceed 50 percent of the building frontage allowance.
- (i) Flags. Allowed without the requirement for a permit provided that all flags must be hoisted on a pole permanently affixed to the ground or displayed via a pole bracket permanently affixed to a building, and further subject to the following limitations:
 - (1) The maximum number of 2 flag poles or brackets or 1 gaff/yard arm style pole for each parcel.
 - (2) The maximum number of flags that may be displayed on a single pole is 2. The maximum number of flags per parcel is 4. This limitation does not apply to international code of signal flags on a nautical pole.

- (3) Flag poles shall not exceed 40 feet in height.
 - (4) Flags shall not be faded, tattered, or torn.
- (j) Freestanding Signs. Allowed without the requirement for a permit with the following limitations:
- (1) Signs may not be placed within 10 feet of the edge of the roadway pavement. (The distance from edge of pavement as set forth herein is not a determination as to whether the location is public right-of-way or private property.)
 - (2) Signs shall not exceed 32 square feet in area per sign.
 - (3) Signs shall not exceed 6 feet in height.
 - (4) Signs shall not obstruct the vision or path of motorists, bicyclists, or pedestrians so as to create a safety hazard. Any sign found to create a safety hazard may be removed by the City, and if possible, relocated to a safe location.
 - (5) Signs shall be limited to 4 signs per acre.
 - (6) Freestanding signs must be supported by posts secured to the ground, in a non-permanent manner.
- (k) Ground Signs. Permittable subject to the following limitations:
- (1) If the sign includes a base that is not part of the sign face, the width of the ground sign base shall be not less than 100% of the width of the sign face.
 - (2) Signs shall be made of construction materials such as brick, stucco, stonework, textured wood, tile, or textured concrete, and which are harmonious with the materials of the primary structure on the subject property.
 - (3) Setbacks shall be a minimum 8 feet from any ground sign to any public right-of-way, any on site or off site walkway or any parking space.
 - (4) Only grass or groundcover no more than 18 inches tall shall be permitted within the required sign setback area.
 - (5) Other landscape requirements, 1 square foot of landscape area with

ground cover and shrubs for each square foot of sign face area.

- (6) Both sides of a two-sided ground sign shall be identical in design.
 - (7) There shall be only one ground sign plus one additional ground sign for street frontage on a second street, provided that the frontage on that street is at least 150 feet in length and an entrance to the project is located on such street.
 - (8) No two onsite ground signs shall be within 300 feet of each other on a single parcel.
 - (9) Primary ground signs shall not be allowed for outparcels in shopping and office centers.
 - (10) For locations within the Highway Commercial (HC) Zoning District, signs shall not exceed 15 feet in height and 64 square feet in area.
 - (11) For locations within the Environmental Preserve Zoning District (EP) and the Neighborhood Center Zoning District (NC), ground signs shall not exceed 10 feet in height and 40 square feet in area.
 - (12) For buildings within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG) with a setback of more than 10 feet from the fronting right-of-way, a single ground sign may be allowed subject to the following limitations:
 - a. Signs shall not exceed 16 square feet in area and a height of 5 feet.
 - b. Signs shall be designed to architecturally match the associated main building.
 - c. Internally illuminated ground signs are not allowed within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG).
- (l) Mini-Ground Signs. Permittable in addition to ground signs on the same parcel subject to the following limitations:
- (1) Maximum sign height of 3 feet.
 - (2) Maximum sign area of 2 square feet.
 - (3) Must be located on the subject property not within a public right-of-way.

- (4) Must be located within 10 feet of a vehicular or pedestrian entrance to the property from a public right-of-way or private internal street meeting the provisions of Article 9 Streets.
 - (5) Must be architecturally consistent with the primary ground sign or primary structures.
 - (6) No more than 2 mini-ground signs per vehicular or pedestrian property entrance.
 - (7) Internally illuminated mini-ground signs are not allowed within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG).
- (m) Projecting Signs. Permittable only within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG) and Neighborhood Center (NC) Zoning Districts subject to the following limitations:
- (1) Signs shall have a minimum clearance of not less than 8 feet above finished grade when suspended over a pedestrian walkway.
 - (2) The height of the top edge of the sign shall not exceed the height of the wall from which the sign projects, if attached to a single story building, or the height of the sill or bottom of any second story window, if attached to a multi-story building.
 - (3) The distance from the building wall to the sign shall not exceed one foot.
 - (4) Signs are limited to 1 sign per business per street frontage; shall be limited to 10 square feet in area; and shall be architecturally compatible with the structure to which it is attached.
 - (5) Signs within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG) shall not be internally illuminated.
- (n) Suspended Signs. Permittable subject to the following limitations:
- (1) Signs shall not exceed 1 per building entrance and 9 square feet in area.
 - (2) Signs shall have a minimum clearance of not less than 8 feet above finished grade when suspended over a pedestrian walkway.
 - (3) May be located under an awning, canopy, or marquee for businesses located on the first floor.

- (4) Signs within the Downtown Core regulating district of the Traditional Punta Gorda District (TPG) shall not be internally illuminated.
- (o) Wall Signs. Permittable subject to the following limitations:
- (1). Signs shall be located only on the street frontage side of principal buildings and shall not be limited as to number.
 - (2). Signs shall not
 - a. Project above the highest point of the building wall on the same side of the building as the sign.
 - b. Extend more than six inches from the face of the building in a parallel manner
 - (3). On a corner lot, an additional wall sign shall be allowed on the secondary street frontage, not to exceed 50% of the building frontage allowance.
 - (4). All uses, outside the Downtown Core regulating district of the Traditional Punta Gorda District (TPG), shall be allowed wall signs, provided total area does not exceed 1 square foot of wall sign for each linear foot of building frontage.
 - (5). Sign shall not extend more than 6 inches from an exterior wall.
 - (6). On a multi-tenant building, or multi-entrance building, each tenant with an outside entrance, or each entrance to the business serving the general public may have a separate wall sign on the wall with the public entrance, subject to the following limitations:
 - a. The total area of the sign shall not exceed 1 square foot of wall sign for each linear foot of tenant wall frontage.
 - b. One wall sign, not exceeding 4 square feet in area shall be allowed on any side or rear entrance open to the public. Such sign may only be lighted during the operating hours of the business.
 - (7). Signs shall not have flashing lights, or lights of changing degree of intensity or color or signs with electrically scrolled messages or have flashing or reflective disks. Neon signs are allowed provided they meet the foregoing conditions.
 - (8). In the Downtown Core regulating district of the Traditional Punta Gorda District (TPG), the cumulative total of permittable signage for both façade and wall signs shall not exceed 1.5 square feet of signage per

each linear feet of right of way frontage.

- a. Illuminated wall signs that are externally or indirectly illuminated are allowed.
- b. Illuminated wall signs that are internally illuminated are prohibited.

(p) Window Signs. Permittable subject to the following limitations:

- (1). Signs are allowed only on the window glass of the first and second floors of buildings.
- (2). Signs shall be painted/applied, with individual lettering or other transparent forms, on either the interior or exterior surface of a window or otherwise displayed from the inside of any window. Opaque and solid window graphic materials are prohibited.
- (3). Signs shall not cover more than 33 percent of the total window area of each window unit, not just of a section or pane therein.
- (4). In the Downtown Core regulating district of the Traditional Punta Gorda District (TPG), signs may not exceed 12 square feet of each window unit, not just of a section or pane therein.
- (5). Signs shall not have flashing lights, or lights of changing degree of intensity or color or signs with electrically scrolled messages or have flashing or reflective disks. Neon signs are allowed provided they meet the foregoing conditions.

Section 11.12 Maintenance and Lighting

- (a) All signs shall be maintained in good structural condition and appearance, so as not to constitute an abandoned sign as defined herein.
- (b) A sign shall not stand with bent or broken sign facing, with broken supports, with loose appendages or struts, or more than 15 degrees from vertical for a period of more than 10 days.
- (c) An internally illuminated sign shall not be allowed to stand with only partial illumination for a period of more than 30 days.
- (d) Any sign allowed to be illuminated under this Article must be designed and maintained such that lighting is directed toward the sign with shielding as necessary so as to illuminate only the face of the sign.
- (e) Lighting on signs shall be consistent throughout a project, and no sign or portion

thereof shall be illuminated differently from any other sign.

- (f) All wiring to electric signs or freestanding equipment that lights a sign shall be installed underground.

Section 11.13. Special Event Signs

- (a) Signs associated with Special Events are allowed subject to the following additional limitations:
 - (1) When authorized as part of a Special Events Permit granted by the City, signs may be placed in the public right-of-way at locations approved as part of the Special Events Permit, notwithstanding the prohibition of Section 11.5 (u) of this Article, when authorized as part of a special event.
 - (2) All signs must be professionally made or have the appearance of a professionally made sign.
 - (3) Signs may not exceed 3 square feet in area and may not be more than 3 feet in height.
 - (4) A maximum of 8 signs may be allowed for any event.
 - (5) All signs must be placed in the locations designated on the approved sign permit.
 - (6) No sign shall have attention getting devices attached to the sign, including, but not limited to balloons, windsocks, flutter or feather flags, streamers.
 - (7) Each approved special event is allowed a maximum of 2 banners, up to 32 square feet each.
 - (8) Signs may be placed a maximum of 14 days prior to the special event date and must be removed within 24 hours after the end of the special event. Any signs left more than 24 hours after the event has ended shall be considered a violation of this Code. Such signs shall also be deemed abandoned signs and shall be disposed of according to the provisions of Section 11.9 (d) of this Article.
 - (9) No signs shall be placed in a manner that impedes pedestrian or vehicular traffic or creates a hazard. A minimum 4-foot-wide clear pathway must be maintained at all times

- (10) Temporary signs are allowed provided they must be maintained so as not to become faded or torn and shall be tied down, so it does not move or flap or flutter in the wind.
- (11) Signs shall not be illuminated with any additional lighting that is not part of the existing lighting located on the site.
- (12) No sign prohibited by this Article may be utilized during a special event.

Section 11.14. Uniform Sign Plan

An approved Uniform Sign Plan may be considered for all new development. All owners, tenants, subtenants, and purchasers of individual units with the approved development shall comply with the approved Uniform Sign Plan.

- (a) Elements. The Uniform Sign Plan shall consist of five elements that shall govern all signs within the development: Location; Materials; Size; Color; and Illumination.
 - (1) The Uniform Sign Plan shall include details, specifications, dimensions, and plans showing the proposed locations of signs and how such locations conform to the requirements of this Article.
 - (2) It shall also show the computations of the maximum total sign area permitted for the site as well as any special computations regarding sign area.
- (b) Allocation of Wall Sign Space. A Uniform Sign Plan shall show the allocation of allowable wall sign space among tenants and any general building sign or signs. Where the Uniform Sign Plan does not show such an allocation, the City may issue permits for wall signs for tenant entrances, in accordance with this Article, in proportion to the frontage such tenant controls on the applicable wall, and the City may cease to issue permits for wall signs when all available wall sign area has been committed through permits.
- (c) Review. A Uniform Sign Plan for a residential subdivision, multi-building or multi-occupant commercial development, non-residential subdivision, planned unit development, or multi-family or public development shall not be approved until and unless the Zoning Official finds that:
 - (1) The plan provides that signs are of a similar type and function, having a

consistent color scheme and material construction.

- (2) The plan provides that signs meet the size limitations, location requirements and other applicable requirements of this Article.
- (d) Amendment Procedures. The Plan may be amended by filing a new master plan with the Zoning Official. The application may be filed only by the owner of the land affected by the proposed change; or an agent, lessee or contract purchaser specifically authorized by the owner to file such application.

Section 11.15. Iconic Signs

The following provisions are not intended to regulate the content on signs, merely the design of signs unrelated to content.

Iconic signage creates visual interest for pedestrians and enhances the urban environment. Iconic signage is intended to be viewed from walkable distances. Typically one (1) sign per business may be allowed.

- (a) Purpose. This Section establishes standards and procedures for the design, review and approval of Iconic Signs. The purposes of this iconic sign program are to:
 - (1) Encourage signs of unique design and that exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit.
 - (2) Provide a process for the application of sign regulations in ways that will allow signs designed to make a positive visual contribution to the overall image of the City, while mitigating the impact of large or unusually designed signs.
 - (3) Ensure that the design criteria and decisions regarding Iconic signs are content neutral.
- (b) Applicability. An applicant may request an Iconic Sign Approval under the Iconic Sign Program to authorize on-site and portable signs that employ standards that differ from the other provisions of this Article but comply with the provisions of this Section.
- (c) Approval Authority. City Staff shall review all complete applications for Iconic Sign Approval within 10 business days of receipt. Applications that meet all requirements and criteria provided in this Section shall be approved by the City Urban Design Division.

(d) Application Requirements. Iconic Sign Approval application for an Iconic Sign shall include all information and material required by the Urban Design Division and shall be submitted on a standard sign permit application. At a minimum, applicants for Iconic Sign Approval shall submit the following information:

- (1) Letter of authorization from the property, building and/or unit owner.
- (2) Two complete sets of drawings to include new sign detail showing sign design, location, size, dimensions, depth of sign, square footage, and sign material.
- (3) Architectural elevations drawn to scale showing the proposed sign and/or building façade where the sign is proposed.
- (4) If a ground sign is proposed, a site plan is required and ground sign site plans need to be to scale and indicate linear footage of the building frontage.
- (5) Complete materials list, including method of attachment or engineering if applicable.
- (6) Photographs or drawings relating the proposed project to the surrounding streetscape.
- (7) Method of lighting, if applicable.
- (8) Landscaping, if applicable
- (9) Any existing sign(s) on the site or building, if applicable.

(e) Design Criteria. The Urban Design Manager or her/his designee shall review the Iconic Sign Application for completeness ensuring that the application addresses the following criteria:

- (1) Design Quality. Sign, type, materials, location:
 - a. Sign types permitted
 1. Projecting
 2. Ground
 3. Murals
 - b. Materials permitted: All materials must be finished; such as powder

coated, painted, anodized, brushed or other alternative finish methods.

1. Permanent and durable materials
2. Aluminum
3. Bronze
4. Metal composites
5. Wood
6. Wrought iron
7. Glass
8. High quality manmade materials

c. Materials prohibited.

1. Reflective materials
2. Plastic faces
3. Internally illuminated signs
4. Box signs
5. Unfinished or bare metals

(2) Murals: A mural is a painting, mosaic, fresco, or other permanent artwork attached or applied directly to the outside of a structure.

- a. No more than 5% of the sign area can display the name or logo of the sponsoring organization/business.
- b. Professional mural paint/materials required
- c. Mural must be sealed to prevent fading of the original paint material for a minimum of five years
- d. Maintenance, as needed or a minimum of every five years
- e. Limited to one mural per structure

(3) Minimum Treatments: Iconic Signs must incorporate a minimum of 4 treatments:

- a. Ornamental and architecturally compatible with primary structure
- b. Sculptured/shaped sign
- c. Three dimensional in design
- d. Consistent with pattern of building style
- e. Metal or bronze as primary sign material
- f. Appropriate landscaping for ground signs

(4) Architectural Criteria. With the exception of murals, the sign shall:

- a. Utilize and/or enhance the architectural elements of the building, such as entrances, existing sign band, window or door openings.
 - b. Be placed in a logical location in relation to the overall composition of the building's façade and not cover any key architectural features and/or details of the façade.
 - c. Be appropriately related in size, shape, materials, lettering, illumination and character to the function and architectural character of the building or premises on which it will be displayed and compatible with existing adjacent activities.
- (f) Decisions on Iconic Sign Applications. If the Urban Design Manager or her/his designee determines that the proposed sign complies with the provisions of the Iconic Sign Criteria, the Iconic Sign Request shall be approved. If the proposed sign does not meet the Iconic Sign Criteria, City staff shall notify the applicant in writing of the deficiencies and deny the application.
- (g) Appeals. An applicant may appeal City staff's denial of an Iconic Sign request per Chapter 26, Section 16.2, Appeal of Administrative Decision.
- (h) Expiration of Approval. A sign permit application must be submitted, approved and the sign installed within six (6) months of the Iconic Sign request approval. If the sign is not installed within six (6) months of the approved permit, the Iconic Sign approval will expire.

Section 11.17. Nonconforming Signs

- (a) Nonconforming signs which have been issued a permit by the City of Punta Gorda, that exist on June 2, 2021 may continue to exist except as otherwise provided herein.
- (b) Nonconforming signs, for which no permit was required by the City of Punta Gorda, prior to June 2, 2021 may continue to exist except as otherwise provided herein. All existing nonconforming flags shall be required to conform to the provisions of this Article. All existing nonconforming flag poles and the flags hoisted thereon, may continue to exist except as otherwise provided herein.
- (c) Nonconforming signs, for which a permit was required by the City of Punta Gorda, prior to June 2, 2021 but for which no permit was obtained, shall be removed within 30 days.
- (d) Signs and sign structures that are moved, removed, replaced, or structurally altered after June 2, 2021 must be brought into compliance with the requirements

of this Article.

- (e) Removable faces or sign panel inserts in a cabinet style sign may be changed by right, and such change does not constitute a structural alteration nor trigger loss of legal nonconforming status.
- (f) The status of a nonconforming sign is not affected by changes in ownership. However, the change of the use of the property upon which a sign is located will trigger loss of legal nonconforming status and the sign must be removed or brought into compliance with the requirements of this Article within 180 days of the change in use.
- (g) Once a sign is altered to conform to the requirements of this Article, or is replaced with a conforming sign, the nonconforming rights for that sign are lost and a nonconforming sign may not be reestablished.
- (h) Loss of legal nonconforming status will result upon the occurrence of the following:
 - (1) If the sign is abandoned.
 - (2) If the sign or sign structure is removed or intentionally destroyed. Replacement signs must comply with the requirements of this Article.
- (i) A legal nonconforming sign or sign structure may be removed temporarily to perform repairs or maintenance. However, a sign or sign structure that has been removed for 180 days, even if for repairs or maintenance, shall be considered abandoned.
- (j) When more than 50% of a nonconforming sign or sign structure is damaged, the damaged sign or sign structure must be rebuilt to conform with the requirements of this code.

Section 11.18. Variances

The City Council, upon review and recommendation of the Board of Zoning Appeals, may grant a variance for dimensional requirements, sign setbacks and number of signs, if it concludes that strict enforcement of this Article would result in practical difficulties or unnecessary hardships for the applicant. The applicant for a variance must demonstrate:

- (a) That the applicant's situation is unique and is not one that is shared by other properties; and

- (b) Granting the variance will not deter from the original intent of the Uniform Sign Plan or this Article for uniformity and aesthetic appeal between signs on the same and adjoining property. The City Council, in granting a variance, shall ensure that the spirit of this Article is maintained, public welfare and safety ensured, and substantial justice done.

Section 11.19. Revocation of Permit

Unless otherwise expressly allowed by ordinance or state law, any violation of Article 11, shall be subject to the remedies and penalties provided for in Section 18.2 of Chapter 26, Punta Gorda Code. In addition, no work, alteration, improvement, rehabilitation, renovation, or maintenance of a sign shall be undertaken in the City which does not conform with the requirements of the Punta Gorda Code. The Zoning Official may revoke a sign permit if the sign does not comply with this Article.

Article 12

Landscaping Standards

Section 12.1. **Purpose**

The purpose and intent of this Article is to enhance the appearance and natural beauty of the City and to protect property values through preservation and planting of vegetation, screening, and landscape materials. These measures will help reduce excessive heat, glare, and accumulation of dust; provide privacy from noise and visual intrusion; prevent the erosion of soil, the excessive run-off of water, the consequent depletion of the ground water table and pollution of water bodies; and to protect other plant species from canker and other disease.

A major emphasis of the City's growth management efforts is on the design of the community. Careful attention to attractive and citizen friendly urban design is in the economic interest of the City, its citizens, and business owners. Attractive and integrated urban design features tend to improve a City's image, raise overall property values, attract new business and residents, and improve the quality of life:

Section 12.2. **Modifications**

Where lot size, shape, topography, existing structures, or site conditions make it infeasible to comply with the provisions of Section 12.4.(a). parking area, 12.4.(c). street tree canopy, and 12.4.(f). buffer area, the Zoning Official or designee may modify these provisions provided the alternate proposal will afford a degree of landscaping, screening, and buffering equivalent to or exceeding the requirements of this Article. Whenever the Zoning Official or designee varies these requirements, the justification for the modification shall be entered upon the face of the permit.

Section 12.3. **General Provisions**

- (a). Landscaping, trees, and plant material shall be planted and maintained in a healthy growing condition according to accepted horticulture practices. Any landscaping, trees, and plant material in a condition that does not fulfill the intent of these regulations, shall be replaced by the owner.
- (b). The selection of plants, planting methods, root ball, number of branches, and width, shall conform with the most recent update of the Grades and Standards for Nursery Plants published by the Florida Department of Agriculture and Consumer Services for that type of tree or shrub at the time of installation and shall be of Florida #1 Standard or better.
- (c). Adequate drainage and mulching shall be provided for planted medians and islands. Each tree shall have a minimum pervious ground area of 100 square feet for root growth [exception: 12.4 - Street Trees] and should not be planted on slopes

exceeding 4:1 horizontal to vertical distance.

- (d). Nothing shall be planted or installed within an underground or overhead utility easement or a drainage easement without the consent of the City and the easement holder, excluding groundcover.
- (e). Fences used to meet buffer requirements shall be supplemented with plantings following the requirements listed in Section 12.4(f)(1).
- (f). All berms shall not exceed a 3:1 slope, horizontal to vertical distance.
- (g). No person may remove any landscaping from within a right-of-way without the consent of the City of Punta Gorda.
- (h). For multi-family and commercial development, all required landscaped areas shall be protected by curbing or wheelstops where immediately abutted by pavement. This requirement does not apply on land zoned TPG (Traditional Punta Gorda) for building types that are not required to obtain a Development Plan; see Section 3.2(j). The width of all curbing shall be excluded from required landscaped areas and perimeter landscaping shall not be credited toward interior landscaping.
- (i). Non-residential and residential trees required by this Article shall not be pruned to maintain growth at a reduced height or spread. Hurricane cutting of palm trees is prohibited as a maintenance trim. Plants and trees shall only be pruned to promote healthy, safe, uniform, and natural growth of the vegetation and according to the American National Standards Institute (ANSI) 300 Series, in a manner that preserves the character of the crown. Root pruning shall be kept to an absolute minimum. Severely pruned trees and shrubs shall be replaced by the owner with comparable material.
- (j). Maximum impervious surface area shall not exceed 70% of gross land area for two-family, multi-family and non-residential development and 60% for single-family development. This provision shall not apply to areas zoned City Center District. This requirement does not apply on land zoned TPG (Traditional Punta Gorda) for building types that are not required to obtain a Development Plan; see Section 3.2(j). Solid sod shall be required in swales or other areas subject to erosion unless otherwise permitted by Section 12.4(d)(4)(a).
- (k). Prior to removal of any tree the owner shall give the City first right of refusal to relocate the tree if the owner does not choose to relocate the landscaping.
- (l). No person shall cut down, destroy, damage, remove, or poison any native and approved non-native tree 12 inches or larger in Diameter at Breast Height [DBH] within the City without an approved tree removal permit. A tree removal permit may be approved if one or more of the following circumstances exist and is evidenced by a report from an arborist: the tree constitutes a hazard to life or property which cannot be mitigated without removing; the tree is dying or dead so that its restoration to a sound condition is not practicable; or it has a disease which can be transmitted to other trees. Tree replacement shall be required pursuant to requirements in Section 12.14 should the tree removal cause the property to fall

below minimum requirements.

- (1) When it is necessary to expedite the removal of damaged, diseased or destroyed trees in the interest of public health, safety and welfare, notification to the City by means of telephone or email shall be sufficient. An after-the-fact permit must be obtained and site visit by the City shall be scheduled within 72 hours of the tree removal.
- (m). It shall be unlawful for any person to cut down, destroy, remove, or relocate any genus of mangrove in the City, without first receiving approval from the State Department of Environmental Protection, if required [in accordance with Chapter 17-27 of the Florida Administrative Code].
 - (n). Property owners shall ensure that all trees, sodded, landscaped and xeriscaped areas are kept in healthy growing condition.
 - (o). The use of artificial turf may be considered as an alternative to grass and ground cover by submitting a landscape plan to Urban Design for review and approval.
 - (1) The landscape plan submittal must include the following information:
 - a. Two copies of a detailed, signed and sealed site survey of the property that is less than one year old that indicates the location of existing trees and shrubs and all other improvements on the property.
 - b. Two copies of the landscape plot plan indicating the proposed location of the artificial turf and other landscape materials. Setbacks to the seawall will be required to be shown for any trees, large shrubs, curbing, areas of rock beds or boulder type landscape material that is planned. All landscape plans must meet minimum standards as denoted in this Article.
 - c. If the property is zoned commercial or multi-family, a copy of an approved Southwest Florida Water Management District Permit shall be included in the permit application.
 - d. Evidence that the artificial turf proposed will have a minimum tufted weight of 56 ounces per square foot, be a natural green in color, and have a minimum 8 year warranty. A sample of the turf proposed that meets these standards shall be submitted with the proposed landscape plan including a copy of the manufacturers' specifications and warranty information.
 - e. Evidence that all artificial turf installations will have a minimum permeability of 30 inches per hour per square yard and provide anchoring information as to the size and location of anchors to ensure the turf will withstand the effects of wind.
 - f. Consideration of the percentage of living plant materials versus

percentage of artificial turf proposed for any property shall be part of the review process. Evidence that living plant material will be drought tolerant and consist of 50 percent Florida native species including shrubs, vines, trees and ground covers.

- (2) Any landscape plan approval to allow artificial turf shall include the following conditions:
- a. Precautions for installation around existing trees shall be monitored and may be restricted to ensure tree roots are not damaged with the installation of the base material.
 - b. Rubber, sand and any other weighting or infill material is prohibited.
 - c. If artificial turf is planned to be installed next to the seawall, the artificial turf shall be pinned or staked behind the seawall. Nothing shall be attached directly to or placed on the seawall or seawall cap.
 - d. A copy of the approved landscape plan with any applicable conditions together with a signed and notarized Hold Harmless letter by the property owner seeking to use artificial turf shall be recorded in the Public Records of Charlotte County at the applicant's expense so that any subsequent purchaser will be on notice regarding the special rules relating to the artificial turf.
 - e. A landscape inspection shall be conducted after the installation of the artificial turf to ensure all living plant materials conform to the provided landscape plot plan and meet the drought tolerant and native species requirements.
 - f. If artificial turf is to be installed in the City right-of-way, a separate right-of-way permit must be obtained prior to commencing work.
 - g. Artificial turf shall be maintained in a green fadeless condition and shall be maintained free of dirt, mud, stains, weeds, debris, tears, holes and impressions, as determined by Code Compliance. All edges of the artificial turf shall not be loose and must be maintained with appropriate edging or stakes.
 - h. Artificial turf must be replaced if it falls into disrepair with fading or holes or loose areas, as determined by Code Compliance. Replacement shall be completed within 60 days of notification by Code Compliance.
 - i. If maintenance is required on the City right-of-way or utility easement, it shall be the responsibility of the property owner to remove, replace and repair, at the owner's expense, any artificial turf that has been placed in the right-of-way or utility easement within 60 days.

- j. If maintenance is required on the seawall and/or seawall cap, it shall be the responsibility of the property owner to remove, replace and repair, at the owner's expense, any artificial turf that has been placed in the rear yard of the property abutting the seawall within 60 days.
- k. The City of Punta Gorda shall not be held liable for any damage to any artificial turf or other items placed within the right-of-way, within six feet of the seawall or within any area covering City utilities.
- (p). All trees and other vegetation planted and maintained shall comply with the visibility triangle requirements of Section 8.5.

Section 12.4. Types of Landscaping

The provisions of this Section shall apply to all new development and to changes of use, additions and expansions that increase the intensity of existing development a minimum of 10 percent or 3,000 square feet, whichever is less. The types of landscaping are defined below and shall meet the following performance requirements.

- (a) **Parking Area.** Parking areas shall comply with the following minimum standards.
 - (1) A landscaped area shall be provided along the perimeter of all parking, loading, drive, and storage areas. The landscape area shall have a minimum width of 8 feet and shall be planted with 4 trees and 35 shrubs per 100 linear feet or fraction thereof of perimeter area. Plants comprising the perimeter landscape area shall be spread across the entire width of the area. [Calculation example, 101 feet of frontage divided by 100 linear feet = 1.01 times 3 trees = 3.03 trees or 4 trees for a lot 101 feet in width]
 - (2) Landscaped areas shall be provided at the ends of each parking aisle. These areas shall be a minimum of 400 square feet in area for double parking stall lanes and 200 square feet for single parking stall lanes and have a minimum width of 10 feet. Interior landscaped areas shall be planted with a minimum of 1 tree and 10 shrubs per 200 square feet of area. The required number of parking spaces may be reduced by one parking space for each 150 square feet of interior planting area, not exceeding 10 percent.
- (b) **Building Perimeter.** All multi-family and non-residential development shall provide building perimeter planting along the façade of buildings in the amount of 200 square feet per 1,000 square feet of building ground floor area. The building perimeter area shall be planted with a minimum of 1 tree and 10 shrubs per 200 square feet of area and have a minimum width of 8 feet. Canopy trees shall not be planted within 10 feet of the building footprint or adjoining lot line to accommodate growth.
- (c) **Street Tree Canopy.** A tree canopy shall be required along all streets serving multi-family and non-residential uses as a unifying element to soften the transition from the public street to the private yard. Trees shall be spaced 35 feet

on-center depending on the growth habit of the species, within the public right-of-way and within 6 feet of the property line.

- (1) At a minimum, 3 trees shall be planted for each 100 linear feet or fraction thereof of street frontage. Suggested species may include Royal Palm, Foxtail Palm and Black Olive "Shady Lady". *[Calculation example, 101 divided by 100 = 1.01 times 3 trees = 3.03 trees or 4 trees for a lot 101 feet in width]*
 - (2) No street tree shall be planted closer than 30 feet of any street corner, 10 feet of any fire hydrant or within 5 lateral feet of any overhead utility wire, underground water line, sewer line, transmission line or other utility without Development Review Committee approval.
 - (3) No street tree with a 50% mature canopy of less than 450 square feet [excluding palms] may be used to fulfill this requirement.
- (d) Residential Landscape Requirements. The landscape standards of this Section shall apply to all new construction of single-family homes and duplexes. In the Traditional Punta Gorda (TPG) zoning district, these standards also apply to triplexes and fourplexes. Each building site shall be provided with trees, shrubs, and groundcovers in accordance with this Section and shall be landscaped to comply with the following standards:
- (1) Plant material used to meet the requirements of this Article shall meet the standards for Florida #1 or better, as set out in Grades and Standards for Nursery Plants, Part I and Part II, Department of Agriculture, State of Florida – as amended.
 - (2) For all new construction, at least 75% of the trees and 50% of the shrubs used to fulfill these requirements shall be native Southern Florida species. For updating landscape beds on existing properties, Florida Friendly species may be substituted with prior staff approval. In addition, at least 75% of the trees and shrubs used to fulfill these requirements shall be drought tolerant species.
 - a. Trees and shrubs. All trees shall be at least 10-12 feet in height and 2.5 inches in diameter at breast height (DBH) at the time of installation. All shrubs shall be at least 3 gallons in container size and 2 feet in height for an upright growth habit shrub and 6-12 inches in height for a horizontal growth habit shrub.

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- (3) Tree Species Mix. When three or more trees are required to be planted to meet the requirements of this Article, a mix of species shall be provided. The number of species to be planted shall vary according to the overall number of trees planted. The minimum number of species to be planted is indicated below.

Required Number of Trees	Minimum Number of Species
3 to 10	2 species
11 to 20	3 species

- (4) Landscape Plan Required. Prior to the issuance of any building permit for site development, a landscape plan shall be submitted to, reviewed by, and approved by the Zoning Official or designee. The landscape plan submitted for an individual single-family or duplex residence and for triplexes and fourplexes in the TPG zoning district may be in the form of a plot or drawing prepared by the owner or his agent. The plan must designate plants by species name, pot size and height and show location of the plant material to be installed or preserved on the site.
- a. Florida Friendly Landscape. If Florida Friendly landscape is desired, the landscape plan must be designed by a qualified professional, such as a registered landscape architect, master gardener, certified arborist or certified landscape designer and shall be approved at building permit by the appropriate departments, Public Works Engineering, Canal Maintenance and Urban Design Divisions.
 - b. A Certificate of Occupancy shall not be issued until approval of the landscaping plan and installation of all plants and materials consistent with that approved plan has been completed and inspected by the Zoning Official or designee.
- (5) On waterfront properties trees as designed in Section 12.15 shall be planted a minimum of eight feet from the seawall or with a twenty foot clearance if necessary to allow for future growth. All trees and shrubs shall be planted in a manner that said trees or shrubs do not grow closer than six feet to the seawall. In the event of seawall repair or replacement, any trees or shrubs that must be removed shall be replaced at the property owner's expense.

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(6) Tree Requirement: Building site requirements. One canopy tree per every 4,000 square feet or portion thereof is required per building site. Canopy trees shall not be planted within ten feet of the building footprint or adjoining lot line to accommodate growth.

a. Two palms as listed below may be substituted for each required canopy tree:

Common Name	Scientific Name
Sable Palm, Cabbage Palm	Sabal palmetto
Everglades Palm	Acoelorrhaphe wrightii
Florida Thatch Palm	Thrinax radiate
Florida Royal Palm	Roystonea elata

b. A fee of \$750 per tree may be paid to the City of Punta Gorda in lieu of planting a required tree or for voluntary removal of a required tree. Fees shall be set aside to be used for planting trees on City owned or controlled property or rights-of-way.

(7) Shrub requirement: One shrub per five linear feet of building frontage on any street. Structures with frontage on more than one street shall have one shrub per every five linear feet of frontage on each street.

(8) Soil Erosion – All Development: Erosion control devices [e.g., sediment barriers] shall be installed at the development site prior to any excavating, clearing, grading, or filling activities. All excavated, cleared, graded, or filled areas, subject to any erosion by wind or water prior to the establishment of a finished grade, agricultural crops, or perennial vegetative cover shall be stabilized. Stabilization shall commence immediately following excavating, clearing, grading, or filling activities.

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- a. Except within the Groundcover Exemption Area, all drainage facilities as defined herein, located along the seawalls and in the rights-of-way shall be sodded. Drainage facilities located in side yards shall be sodded or planted with approved ground cover or living plants that will provide adequate drainage.
- i. Groundcover Exemption Area is a geographical area of the City bounded generally on the Northwest by West Retta Esplanade, on the Northeast by Cross Street (US 41 southbound), on the Southeast by West Virginia Avenue, and on the Southwest by Shreve Street and the



linear park.

- ii. Within the Groundcover Exemption Area yards may be hardscaped or xeriscaped or planted with salt-tolerant vegetation for the entire yard area. Trees and shrubbery are required to be incorporated within the yard in accordance with the provisions herein. Plant material used within this Groundcover Exemption Area are limited to those species identified by the University of Florida IFAS Extension as native Florida Freshwater Wetland Plants or Florida-Friendly Landscaping Plants or as pre-approved by Urban Design and the Zoning Official or designee.
- iii. Landscape plans must be designed by a qualified professional such as registered landscape architect, master gardener, certified arborist or certified landscape designer and submitted for approval

along with the submission of an application for a building permit. All such plans shall be reviewed by the appropriate City departments including Public Works Engineering, Canal Maintenance, Urban Design and the Zoning Official or designee, and approved before the issuance of a building permit.

- b. In lieu of sod or other approved living vegetation, draining facilities located in side yards of single family residential properties may be covered in landscape rocks subject to the following limitations:
 - i. The landscape rock shall be confined so the rock does not extend beyond the architectural front and rear of the primary structure.
 - ii. The rock area in the side yard must be able to drain easily into the soil and must be bordered in the front and rear yards by grass or other approved vegetation that will provide adequate filtration for any excess stormwater that flows off the rock area.
 - iii. Landscape rock in lieu of vegetation or approved groundcover is not permitted in any street yard.
 - iv. Confining the rock by landscape border not exceeding 4 inches in height is permitted in this area.
 - v. The landscape rock area must be completely covered so that no exposed soils are visible.
 - vi. The use of steppingstones in the side yard is permitted, provided they are adequately spaced to allow stormwater drainage.
 - vii. Paver walkways or other permanent walkways must maintain the 3-foot side yard setback, unless otherwise specifically permitted herein.
- c. Mulch materials used in drainage areas around plants shall be organic mulch, such as pine straw or needles, shredded eucalyptus or shredded melaleuca mulch or equivalent shredded organic mulch.
- d. Organic mulch in the drainage area shall be permitted only as needed around living ground cover or living plants. Using only mulch, with no ground cover or living plant material is prohibited in any yard, except landscaping rock is permitted in side yards, as specifically permitted herein.
- e. Drainage facilities with seasonal ground water levels apparent shall be sodded to the existing water elevation. All drainage leaving denuded development sites shall be filtered by sediment barriers. When natural drainage paths cross the site, temporary stormwater control measures such as turbidity screens/siltation barriers shall be used.

- f. For the purpose of this Section, drainage facilities are defined as follows:
 - i. The street yard right-of-way area commonly known as the swale, which is the land that lies between the street yard property line and the edge of the pavement;
 - ii. A three-foot wide strip of land running alongside yard property lines between properties (creating a six-foot wide drainage area); or
 - iii. Six feet of land running parallel with and along all seawalls.

Multi-family and commercial development projects and private lands designated as “greenbelts” are regulated by a separate stormwater permit issued by the Southwest Florida Water Management District (SWFWMD) and are not subject to this Section.

- g. For the purpose of this Section, landscape rock is defined as:
 - i. Loose rock, river rock or gravel, with each piece not exceeding 3 inches +/- in diameter, which allows stormwater to easily drain into the soil.
- h. All slopes shall be stabilized in accordance with best management practices and this Code.
- i. Clearing of non-agricultural land shall conform to the parameters of this Section unless a stricter development plan requirement applies.
- j. Wetlands shall be protected from degradation of natural resources.
- k. Any development exhibiting denuded soil shall employ dust control measures as deemed appropriate by guidelines of the Florida Department of Environmental Protection (FDEP).
- l. To the extent practicable, the topsoil which occurs on a site prior to development shall be retained or stockpiled throughout development of the site such that it will not be buried during the placement of fill. Following fill placement, and prior to landscaping, stockpiled topsoils shall be redistributed over the exposed, filled portions of the site. In no event shall the preceding be interpreted to require grade change within the dripline of trees to be preserved, nor the stockpiling of topsoils from any portion of the site which will not be filled.
- m. Any development site which is identified by the Florida Department of Environmental Protection (FDEP) as devoid of native topsoils shall be exempt from the requirements of this subsection.

(9) Groundcover Requirement – All Development:

- a. Entire building site, including properties within the Groundcover Exemption Area, must be completely covered with suitable groundcovers including but not limited to sod, organic mulch, and planting beds. No exposed soils shall be permitted. Organic mulch may

only be used as provided in Subsection 89(e) and in no case may exceed ten percent of any yard unless specifically permitted herein. The use of rubberized pellets is specifically prohibited.

- b. Groundcover plants shall be planted no more than 24 inches apart for 1 gallon pots or 12 inches apart for 4 inch pots. Complete coverage must be maintained within 6 months. Zoning inspections shall be made at three-month intervals. Any areas with exposed soils at the end of 6 months shall be covered with sod and maintained. All groundcovers must be maintained at a height of less than 12 inches at all times.
- c. Wherever used, sod shall be installed with no gaps or overlaps, so as to present a finished appearance and prohibit erosion of the planted area.
- d. The use of any inorganic mulch, including but not limited to pebbles or shells to cover the soil surface, is not recommended. It may be used as accent material within landscaped areas of the yard; however, such use is limited to no more than ten percent of the total required yard area and shall not be placed in any drainage area, except landscape rock in side yards, as specifically permitted herein, but not within six feet of the seawall.
- e. Organic or inorganic mulch may only be used as necessary around trees and landscaped area and may not be used in lieu of sod or approved ground covers for lawn areas, except as specifically permitted within the Groundcover Exemption Area and as otherwise permitted in Section 8.13(a) of this Code.
- f. Building sites exceeding ten percent organic mulch may be permitted based on a design provided by a qualified professional, such as a registered landscape architect, master gardener, certified arborist, or certified landscape designer. Alternative planting plans are subject to the review and approval of Public Works Department and the Urban Design Department.

(10) Proper Landscape Maintenance.

The City will follow the Florida Friendly Landscaping categories created by the University of Florida for the Florida Yards and Neighbors program to determine compliance with proper maintenance standards. Said standards are hereby incorporated by reference as may from time to time be amended. Residential landscaping must meet the requirements below to be considered compliant:

- a. Landscape must be actively managed so that no area or plants appears overgrown or unsightly.
- b. Appropriate pruning practices are being used to ensure the health of the plants.
- c. Landscape beds are clearly defined.
- d. Landscape and household debris is properly disposed of or recycled.

- e. Any composting must be maintained in a completely enclosed area out of view of adjacent properties and the public right-of-ways.
 - f. The topping or sculpting of any required trees into a desired shape, other than the natural shape is prohibited.
- (11) Temporary Suspension of Landscape Installation Requirements. The installation of landscaping pursuant to the provisions of this Article may be temporarily suspended in individual cases at the discretion of the Zoning Official or designee if any of the following emergency conditions exist:
- a. Freeze. After a freeze when required landscape materials are not available.
 - b. Drought. During a period of drought in which the use of water for installation and establishment of new landscaping is restricted by the Southwest Florida Water Management District.
 - c. Written agreement required. The suspension of planting shall be conditioned upon the signing by the applicant of a written agreement stating that installation of required landscaping will resume as soon as either of the above two emergency conditions cease to exist. Timeline shall be set by the Zoning Official or designee. Failure of the applicant to fulfill the terms of such agreement shall be deemed a violation of the Article:
- (e) Site Canopy Coverage. All multi-family, planned developments and non-residential developments shall provide site canopy coverage equal to 30% of the total site area. This coverage shall be calculated using the 50% mature canopy coverage allowances listed under Section 12.15, Native and approved Non-Native Trees. The 30% canopy coverage requirement does not apply on land zoned TPG (Traditional Punta Gorda) for all buildings in the Downtown Core regulating district. It also does not apply to building types in any regulating district that are not required to obtain a Development Plan; those building types shall instead meet the tree requirements for individual building sites in Subsection 12.4(d)(6).
 - (f) Buffer Area. A buffer area shall be required along all boundaries of any lot containing a any use which is more intensive than the ~~lot~~uses permitted by the Zoning Classification(s) abutting. In the TPG (Traditional Punta Gorda) zoning district, this requirement applies only in the Flex Commercial Corridor and Maker Village regulating districts. Such yard shall comply with the following minimum standards.
 - (1) The buffer area shall be located within the boundaries of the higher intensity use property.

- (2) The buffer area shall consist of trees and shrubs of such a type, height, spacing and arrangement to effectively transition the activity on the lot from the neighboring area. At a minimum, the planting shall consist of:
 - a. 10 – foot buffer areas: 4 trees and 35 shrubs per 100 linear feet
 - b. 15 – foot buffer areas: 6 trees and 40 shrubs per 100 linear feet;
 - c. 20 – foot buffer areas: 10 trees and 50 shrubs per 100 linear feet
 - d. 25 – foot buffer areas: 20 trees and 60 shrubs per 100 linear feet
- (3) An earthen berm, fence, or wall of a location, height, design, and material approved by the Zoning Official or designee may be substituted to offset a portion of the required planting and/or buffer. Fences and walls, if substituted, shall be a minimum of 6 feet in height and constructed of materials congruous with the materials of the main building. Trees and shrubs shall supplement earthen berms, fences, or wall areas at a minimum of 50 percent of the landscape material indicated in Section 12.4(f)(2) above. The landscaping shall be installed along the outside wall.
- (4) The minimum width of a buffer area shall follow the matrix below:

Proposed Land Use	Adjacent Land Uses			
	Single Family	Multi-Family	Mixed Use	Commercial/Industrial
Single Family	-	-	-	-
Multi-Family	10'	-	-	-
Mixed Use	10'	10'	-	-
Commercial/Industrial	25'	20'	15'	-

The existence of an easement shall not exempt property from the buffer requirements of this Article.

- (g) Screening of Outdoor Storage Areas. Outdoor storage areas shall be screened from view of adjacent streets, and from all residentially zoned land using landscape materials to form a continuous screen of at least six feet in height within two years of installation.
- (h) Screening of Mechanical Equipment. All multi-family and non-residential uses shall screen from view all mechanical equipment, such as but not limited to ground or roof mounted air conditioners or pumps, through the use of features such as berms, fences, false facades or dense landscaping compatible with the site.
- (i) Screening of Public Utilities. All public utility appurtenances shall be screened from view, such as lift stations, relay boxes, ground mounted transformers, etc.
- (j) Central Solid Waste Storage Area. All new buildings and uses, except for single-family and two-family dwellings, shall provide facilities for the central storage of

solid waste within the lot. Where such facilities are provided outside of a building, they shall be screened from adjacent property and streets by an enclosure constructed of materials congruous with the materials on the exterior wall of the main building.

- (k) Unoccupied Lot Areas. All areas of a developed lot shall be appropriately improved with ground cover, trees, shrubbery or mulch in accordance with this Section. Undeveloped lots or parcels shall be covered with sod. No exposed soils shall be permitted.
- (l) Upon completion of any demolition of a single-family residence, or other single-family structure such as but not limited to detached garages, swimming pools or sheds, all rights-of-way and drainage areas along side yards and property within six feet of the seawall shall be sodded completely. The remainder of the lot or property may be stabilized by the combined use of strip sodding and seeding provided each row of sod is separated by no more than 12 inches. In all cases, a minimum 32 inch wide strip of existing grass or newly placed sod shall form the perimeter of all disturbed areas.
- (m) For demolition of any multi-family or commercial structure, all vacant land areas are required to be completely sodded.
 - (1) The use of hydro-seeding to prevent soil erosion and promote grass growth may be permitted in lieu of sodding on parcels that are 100 feet or more in distance to an improved lot, provided the property is cleared of all debris, concrete, rocks and the grade has been leveled and is without ruts prior to seeding. All areas of the lot within 100 feet of an improved lot must be sodded.
 - (2) The hydro-seed slurry must be sprayed over the prepared ground in a thick uniform layer that is easily visible.
 - (3) Repeat applications will be required if the grass does not begin growing within two weeks of the hydro-seeding, or if a healthy stand of grass, free of bare spots is not established.

Section 12.5. Plant Material and Installation

Plant material used to meet the requirements of this Article shall meet the standards for Florida Number 1 or better, as set out in Grades and Standards for Nursery Plants, part I and part II, Department of Agriculture, State of Florida – as amended. At least 75 percent of the trees and 50 percent of the shrubs used to fulfill these requirements shall be native Southern Florida species. In addition, at least 75 percent of the trees and shrubs used to fulfill these requirements shall be drought-tolerant species.

- (a) Trees and Shrubs. All trees shall be at least 10 to 12 feet in height and 2.5 inches in DBH at the time of installation, except evergreen trees used for screening and buffering. Evergreen trees used in these instances shall be 6 to 7 feet in height. All shrubs shall be at least 3 gallons in container size and 2 feet in height for an

upright growth habit shrub and 6 to 12 inches in height for a horizontal growth habit shrub.

- (b) Tree Species Mix. When three or more trees are required to be planted to meet the requirements of this Article, a mix of species shall be provided. The number of species to be planted shall vary according to the overall number of trees planted. The minimum number of species to be planted is indicated below:

Required Number of Trees	Minimum Number of Species
3 to 10	2
11 to 20	3
21 to 30	4
31 to 40	5
41 or more	6

- (c) Tree Preservation Credits. Existing approved native species trees may be credited equally towards meeting the planting requirements of this Article according to the matrix below:

Diameter at Breast Height	Number of Tree Credits
5 to 11 inches	2
12 to 19 inches	3
20 to 25 inches	4
26+ inches	5

NOTE: No credit shall be given for trees located in required natural preservation areas, required to be preserved by federal or state laws, or are prohibited species.

Section 12.6. Landscape Plan Required

For multi-family and commercial developments, prior to installation of any required landscape material, the applicant shall submit a landscape plan to the City unless specifically exempted.

- (a) The landscape plan shall be drawn to a suitable scale and indicate the location of existing and proposed parking spaces, access aisles, driveways, and the location, size, and description of all landscape materials, including the method proposed for required irrigation and maintaining the landscape area. In addition, a tabulation of the code required landscaping necessary to insure compliance with this code shall also appear.
- (b) A Certificate of Occupancy shall not be issued until approval of the landscaping plan and installation of plants and materials consistent with that approved plan has been completed and inspected by the City.
- (c) The plan shall be prepared by and bear the seal of a landscape architect registered in the State of Florida for multi-family and non-residential development over 10,000 square feet in land area.

Section 12.7. Irrigation

Prior to installation of any irrigation, the applicant shall submit an irrigation plan to the City. The plan shall be drawn at the same scale as the landscape plan and indicate main, valve, and pump locations, pipe sizes and specifications, controller locations and specifications, backflow preventer and rain-sensing devices and include a typical sprinkler zone plan indicating type, specifications, spacing, and coverage. If drip irrigation or soaker hoses are proposed, their layout shall be shown.

- (a) Irrigation systems shall be designed to avoid impacts with existing vegetation. Field changes may be made to avoid disturbances of such vegetation, such as line routing, sprinkler head placement, and spray direction adjustments.
- (b) Within Punta Gorda Isles, Burnt Store Isles, and all multi-family and non-residential uses outside of Punta Gorda Isles and Burnt Stores Isles, mechanical irrigation systems are required. Underground sprinkler systems are not required in all other residential single-family areas.

Section 12.8. Environmental Survey

An environmental survey shall be provided by the applicant to identify existing trees, under story vegetation, known endangered species, wetlands, streams and creeks, floodplains and topographical features of a site prior to preparation of development plans. This enables the reasonable and practicable planned preservation of existing vegetation while considering unique conditions to improve the appearance of the development proposed and to encourage the use of the existing forest and tree canopy, specimen trees, and significant vegetation. The survey requirements are as follows:

- (a) Provide a general written description of the significant vegetation 12 inches in DBH or greater and native species 4 inches or greater, including species, size, spacing between trees, and general health and vigor of the stand.
- (b) Identify all free standing, open grown or field grown specimen trees, 18 inches DBH or greater located on the site.
- (c) Show all other important natural features influencing site design such as the location of wetlands, perennial streams, natural drainage ways, lakes, and other water bodies. To the maximum extent possible these site features shall be retained and protected.
- (d) All development on-site, including public and private utilities, shall conform to the provision of the environmental study.
- (e) Include location and type of any endangered or threatened species and provide a plan acceptable to the City and State agencies for their protection. This shall include plans for the protection of the natural habitat of any endangered or threatened animals and/or their relocation. Endangered and threatened species

are those listed by the most current publications of the United State Fish and Wildlife Service and the Florida Fish and Wildlife Conservation Commission, to include those designated as 'species of concern'.

Section 12.9. Removal of Significant Vegetation

Removal of a healthy specimen tree over 18 inches in diameter, significant vegetation over 12 inches in diameter, and native species over 4 inches in diameter can only occur within the building footprint area, street right-of-way, driveways, utility easements, and drainage ways after plat or site plan approval is obtained. A tree and root preservation plan shall be incorporated for these trees. The plan shall consist of the following preventative measures:

- (a) Tree protection barriers shall be placed around all significant trees to be saved. These barriers shall be installed prior to grading, construction, or other land disturbing activity and cannot be removed until after final inspection by the City. The barriers shall be constructed from any material substantial enough to protect the roots, trunk, and crown of the tree, such as 2x4 standards and 1x4 rails, silt fencing or orange silt fencing, a minimum 4 feet in height on metal or wood posts. The barriers shall be placed at least 1 foot from the tree trunk for each 1-inch in tree diameter, with a minimum distance of 10 feet required from the edge of the trunk.
- (b) No soil disturbance or compaction, stock piling of soil or other construction materials, vehicular traffic or storage of heavy equipment is allowed in the tree and root protection area or within the drip line of trees to be retained.
- (c) Dead trees and undesirable scrub growth shall be cut flush with adjacent grade and removed during construction. Stumps of trees greater than 3 inches in DBH shall be ground with stump grinder or removed and filled.

Section 12.10. Prohibited Plants

Any tree or plant listed on the current Florida Exotic Pest Plant Council Invasive Plant List as the same may be from time to time amended, are prohibited and shall be removed from any development sites prior to new development. In additional, all Eucalyptus and Ficus trees are prohibited to be sold or planted due to their invasive root system. Any person who sells or plants any tree or plant material in violation of this Section may be required to remove such prohibited tree or plant at their sole expense.

Beginning July 13, 2011, all property owners shall be required to maintain their property so as to remove any Australian Pines that sprout on their property subsequent to said date. Failure to remove such Australian Pines shall constitute a violation of this Section.

Section 12.11. Administration

All required landscaping, including mulching, seeding, or sod shall be completed in accordance with an approved landscape plan prior to issuance of a Certificate of Occupancy for the site. The City may grant exceptions and extensions due to unusual

environmental conditions, such as drought, or over-saturated soil [deep mud], provided that the developer or property owner provides the City with a surety bond ensuring the installation of the remaining landscape materials. In such cases, the City may authorize a temporary Certificate of Occupancy for a period of 30 to 60 days.

- (a) Bonds. Any bond posted as surety for exceptions shall be accompanied by documentation of the estimated cost of the remaining landscaping to be completed. This documentation may be a landscaping contractor's bid or contract, a nurseryman's bill, or a similar document. The amount of the bond shall be one and one-half times the cost of the plant material yet to be installed, based on the highest estimate received. The City Manager is authorized to release part of any security posted as the improvements are completed and approved by the City. Such funds shall be released within 10 days after the corresponding improvements have been approved.

Section 12.12. Annual Inspections- Commercial and Multi-Family Development

A permanent Certificate of Occupancy for the development shall not be issued unless the landscaping required under this Article is installed in accordance with these standards and in accordance with the approved site plan or subdivision plat. The Code Compliance Division shall inspect the site on an annual basis to ensure compliance with the approved site plan and to ensure that the landscape is properly maintained in perpetuity. Corrective actions will be required to be commenced within 30 days of the notice of non-compliance and fully installed within 60 days.

Section 12.13. Maintenance Responsibilities All Development

The owner shall be responsible for the installation, preservation, and maintenance of all plantings and physical features required by this Article in a healthy growing condition, for replacing them when necessary, and for keeping the area free of refuse and debris. Any dead, unhealthy, or missing vegetation, or vegetation disfigured by pruning, shall be replaced with locally adapted vegetation which conforms to the standards of this Article and to the approved site or subdivision plan. In the event that any vegetation or physical element functioning to meet the standards of this Article is severely damaged due to an unusual weather occurrence or natural catastrophe, the owner shall have one growing season to replace or replant after reconstruction is complete.

Section 12.14. Replacement of Disturbed and Damaged Vegetation

The disturbance of any landscaped area or vegetation required by this Article shall constitute a violation of the site or subdivision plan and shall be required to be replaced within 90 days of citation. All disturbed landscaped areas and vegetation shall be replanted so as to meet the standards of this Article as well as the approved site plan. Where the vegetation that has been disturbed or damaged existed on the site at the time the development was approved, all replacement vegetation shall meet the standards set forth in this Article taking into account any unique site conditions and significant vegetation remaining within the landscaped area.

- (a) Trees or landscape vegetation that die or are severely stressed shall be removed and replaced with new vegetation consisting of one or a combination of any of the following measures.
- (1) Replant according to the requirements of this Article. A replanting plan denoting the proposed installation shall be submitted to the City for approval.
 - (2) Replace damaged vegetation with an equal amount of new vegetation according to the size of vegetation removed. Any tree with a DBH of at least 12 inches which is damaged or removed shall be replaced with one or more trees which have a cumulative DBH equal to or greater than the original tree. A revegetation plan denoting the proposed installation shall be submitted to the Zoning Official or designee for approval.
 - (3) For all other cases where existing vegetation is damaged or removed, the type and amount of replacement vegetation required shall be of the type and amount that is necessary to provide the type of landscaping required under this Article.
- (b) Location of Replacement Trees. Replanting should be located within the vicinity of the removed tree. If the area is too small for sufficient growth, a more suitable location on the site may be selected as permitted by the Zoning Official or designee.
- (c) Stop Work Orders. Stop work orders shall also apply for damaging and/or destroying significant vegetation, interior specimen significant vegetation, landscape, or tree save areas.

Section 12.15. Native and Approved Non-Native Trees and Palms

The species listed below shall constitute an approved native or non-native tree or palm. Native and non-native tree or palm species not listed herein may be considered by the Zoning Official or designee for inclusion in a landscape plan to meet the landscape requirements of this article.

- (a) Native and Approved Non-Native Canopy Trees. [Permitted in any yard.]

	COMMON NAME	SCIENTIFIC NAME	NATIVE	50% MATURE CANOPY	COMMENTS
1.	Autograph Tree	Clusia rosea	YES	250	Evergreen, partial to full sun, salt & drought tolerant, height 20' - 30'
2.	Bay Cedar	Suriana maritima	YES	50	Evergreen, full sun, salt & drought tolerant, height 5'-20'
3.	Black Haw/Walter's Viburnum	Viburnum obovatum	YES	75	Evergreen, part shade to full sun, white flower, very low salt tolerance, drought tolerant, height 8'-25'
4.	Black Mangrove ¹	Avicennia germinans	YES	N/A	Protected species - see note below.
5.	Cassia spp	Cassia spp	NO	75	Full sun, yellow or pink flowers, moderate salt tolerance & drought tolerant, height 15'- 45'

	COMMON NAME	SCIENTIFIC NAME	NATIVE	50% MATURE CANOPY	COMMENTS
6.	Dahoon Holly	<i>Ilex cassine</i>	YES	50	Evergreen, mostly shaded to full sun, moderate salt and drought tolerant, height 20'-30'
7.	Geiger Tree	<i>Cordia sesbestena</i>	YES	75	Evergreen, part shade to full sun, high salt tolerance, drought tolerant, orange flowers, height 25'
8.	Green Buttonwood	<i>Conocarpus erectus</i>	YES	350	Evergreen, full sun, salt & drought tolerant, height 30'-35'
9.	Red Mangrove ¹	<i>Rhizophora mangle</i>	YES	N/A	Protected species - see note below
10.	Satinleaf	<i>Chrysophyllum oliviforme</i>	YES	245	Evergreen, white inconspicuous flowers, part shade to full sun, moderate salt tolerance, drought tolerant, height 35'-70'
11.	Seagrape	<i>Coccoloba uvifera</i>	YES	350	Evergreen, red to green leaves, part shade to full sun, high salt tolerance, drought tolerant, height 30'-40'
12.	Silver Buttonwood	<i>Conocarpus erectus</i> var. <i>sericeus</i>	YES	350	Evergreen, full sun, salt & drought tolerant, height 15'- 20'
13.	Southern Wax Myrtle	<i>Myrica cerifera</i>	YES	315	Evergreen, part shade to full sun, high salt tolerance, drought tolerant, height 15'-20'
14.	Sweetbay	<i>Magnolia virginiana</i>	YES	250	Evergreen, white fragrant showy flower, part shade to full sun, low salt tolerance, moderate drought tolerance, height 40'-50'
15.	Varnish Leaf	<i>Dodonaea viscosa</i>	YES	250	Evergreen, full sun, yellow flower, drought tolerant, height 10'-15'
16.	White Mangrove ¹	<i>Laguncularia racemosa</i>	YES	N/A	Protected species - see note below.
17.	Wild Cinnamon	<i>Canella winterana</i>	YES	75	Evergreen, part shade to full sun, white flower, salt & drought tolerant, height 20'-30'
18.	Wild Lime	<i>Zanthoxylum fagara</i>	YES	150	Evergreen, yellow flower, part shade to full sun, drought tolerant, height 15'-25', thorns
19.	Yellow Tabebuia/ Trumpet tree	<i>Tabebuia caraiba</i>	NO	175	Deciduous or semi-evergreen, yellow showy flowers, height 15'-35'

¹ Protected species pruning and/or removal subject to the 1996 Mangrove Trimming and preservation Act (403.9321 - 403.9333 F.S.)

- (b) Native and Approved Non-Native Canopy Trees. [Not permitted in side yards when less than 20 feet of clearance is available or yards abutting a waterway.]

	COMMON NAME	SCIENTIFIC NAME	NATIVE	50% MATURE CANOPY	COMMENTS
1.	Bald Cypress	Taxodium distichum	YES	960	Deciduous, full sun, moderate salt tolerance, drought tolerant, height 60'- 80'
2.	Copperpod Tree/ Yellow poinciana	Peltophorum pterocarpum	NO	625	Semi-evergreen, flowers yellow & fragrant, moderate salt tolerance & drought tolerant, height 50'
3.	Golden Shower	Cassia fistula	NO	350	Evergreen, striking yellow flowers, full sun, moderate salt tolerance & drought tolerant, height 30'-40'
4.	Gumbo Limbo	Bursera simaruba	YES	1,410	Semi-evergreen, part sun to full sun, high salt tolerance, drought tolerant, height 25'-40'
5.	Jacaranda	Jacaranda mimosifolia	NO	625	Deciduous, lavender fragrant flowers, full sun, moderately drought tolerant, height 35'-45'
6.	Laurel Oak	Quercus laurifolia	YES	1,410	Deciduous, part - full sun, low salt tolerance, drought tolerant, height 60'-70'
7.	Longleaf Pine	Pinus palustris	YES	625	Evergreen, full sun, salt & drought tolerant height 80-125'
8.	Myrtle Oak	Quercus myrtifolia	YES	625	Evergreen, salt & drought tolerant, 15'-20' spread, height 10'-25'
9.	Pink Tabebuia/ Trumpet Tree	Tabebuia spp.	NO	490	Deciduous, pink showy flowers, full sun, moderate salt tolerance, drought tolerant, height 20'-50'
10.	Pond Cypress	Taxodium ascendens	YES	475	Deciduous, partial to full sun, moderate salt tolerance, drought tolerant, height 50' - 60'
11.	Royal Poinciana	Delonix regia	NO	625	Semi-evergreen, orange to red showy flowers, full sun, low salt tolerance, drought tolerant, height 25'- 40'
12.	Shady Lady/ Black Olive	Bucida buceras "Shady Lady"	YES	960	Evergreen, part shade to full sun, high salt tolerance, drought tolerant, height 40' -50'
13.	South Florida Slash Pine	Pinus elliottii	NO	705	Evergreen, part shade to full sun, moderate salt tolerance, drought tolerant, height 75'-100'
14.	Southern Live Oak	Quercus virginiana	YES	1,925	Evergreen to semi-evergreen, part shade to full sun, moderate to high salt tolerance, drought tolerant, height 60'-80'
15.	Southern Red Cedar	Juniperus virginiana	YES	705	Evergreen, full sun, high salt tolerance, drought tolerant, height 40'-50'

	COMMON NAME	SCIENTIFIC NAME	NATIVE	50% MATURE CANOPY	COMMENTS
16.	Sweet Gum	Liquidambar styraciflua	YES	975	Deciduous, part shade to full sun, low salt tolerance, moderate drought tolerance, height 75'
17.	West Indies Mahogany	Swietenia mahogani	YES	700	Semi-evergreen, part shade to full sun, high salt tolerance, drought tolerant, 30' spread, height 30'-75',
18.	Wild Tamarind	Lysiloma latisiliqua	YES	705	Evergreen, part shade to full sun, salt and drought tolerant, height 40'-60'
19.	Yellow Poinciana/ Copperpod	Peltophorum pterocarpum	NO	625	Semi-evergreen, flowers yellow & fragrant, moderate salt tolerance, drought tolerant, height 50'

(c) Palms. [Permitted in any yard.]

	COMMON NAME	SCIENTIFIC NAME	NATIVE	50% MATURE CANOPY	COMMENTS
1.	Alexander Palm	Ptychosperma elegans	NO	N/A	Part sun, self-cleaning, slender trunk, low salt tolerance, drought tolerant, 6'-10' spread, height 20-25',
2.	Buccaneer Palm	Pseudophoenix sargentii	YES	N/A	Full sun, self-cleaning trunk, salt tolerant, drought tolerant, 10'-15' spread, height 10-40'
3.	Cabbage Palm	Sabal palmetto	YES	115	Cold hardy palm-Trunk 10-15" in diameter, full sun, salt & drought tolerant, 10'-15' spread, height 40'-50'
4.	Carpentaria Palm	Carpentaria acuminata	NO	75	Full sun, smooth trunk, low salt tolerance, moderate drought tolerant, 8'-10'spread, height 40'
5.	Everglades palm/ Paurotis Palm	Acoelorrhaphe wrightii	YES	115	Grows in clumps, full sun, moderate salt & drought tolerant, 10'-15' spread, height 15'- 25'
6.	Foxtail Palm	Wodyetia bifurca	NO	490	Full sun, self-cleaning trunk, moderate salt tolerance, not drought tolerant, 8'-20'spread, height 25-30'
7.	Majesty Palm	Ravenea rivularis	NO	N/A	Shade tolerant, moderate salt tolerant, drought tolerant, 10-15' spread, height 20'
8.	Thatch Palm	Thrinax morrisii	YES	25	Partial shade - full sun, slow growing, thin trunk, salt & drought tolerant, 6'-10' spread, height 20'-30'

(d) Palms. [Not Permitted within eight feet of the seawall.]

	COMMON NAME	SCIENTIFIC NAME	NATIVE	50% MATURE CANOPY	COMMENTS
1.	Bismark Palm ¹	Bismarckia nobilis	NO	490	Full sun, moderate salt tolerance, drought tolerant, 10-15' spread, height 40'- 60'
2.	Royal Palm	Roystonea spp.	YES	490	Partial shade - full sun, moderate salt & drought tolerant, self-cleaning, 15'-25' spread, height 60-70'
3.	Yellow Butterfly Palm (Areca Palm)	Chrysalidocarpus lutescens	NO	115	Grows in dense clumps, forms privacy screen, full sun - shade, medium salt tolerance, drought tolerant, 10' spread, height 15'-25'

¹ Requires a minimum 20' clearance.

Section 12.16. Approved Shrubs and Groundcovers

The species listed below shall constitute an approved native or non-native shrub or groundcover. Native, and non-native shrub or groundcover species not listed herein may be considered by the Zoning Official or designee for inclusion in a landscape plan to meet the landscape requirements of this article.

(a) Large Shrubs

	COMMON NAME	SCIENTIFIC NAME	NATIVE	COMMENTS
1.	Bay Cedar	Suriana maritima	YES	Evergreen, full sun, salt & drought tolerant, 5'-8' spread, height 5'-20', Beach stabilizer
2.	Coastal Plain Willow	Salix caroliniana	YES	Part shade, no salt tolerance, medium drought tolerant, height 25' good for wet areas
3.	Cocoplum	Chrysobalanus icaco	YES	Full to partial sun, salt tolerant for "horizontal" cultivar, lower salt tolerance for "Red Tip" cultivar, Height 15', can be pruned to hedge height
4.	Copper Leaf	Acalypha wilkesiana	NO	Full sun, low salt tolerance, medium drought tolerant, 2'-5' spread, height 3'-5', Poisonous to animals
5.	Croton	Codiaeum variegatum	NO	Full sun, low salt tolerance, medium drought tolerant, 2'-5' spread, height 3'-5', Multi-colored leaves, many varieties
6.	Dwarf Firebush ¹	Hamelia patens var. glabra	YES	Smaller than above, orange/yellow flowers
7.	Firebush	Hamelia patens	YES	Part shade, orange-red flower year round, low salt tolerance, moderate drought tolerant, 5'-8' spread, height 6'-12'

	COMMON NAME	SCIENTIFIC NAME	NATIVE	COMMENTS
8.	Florida Fiddlewood	<i>Citharexylum fruticosum</i>	YES	Evergreen, part shade, moderate salt tolerance, high drought tolerance, white flowers, 8'-15' spread, height 15'-25'
9.	Green Buttonwood	<i>Conocarpus erectus</i>	YES	Full to partial sun, white flower, salt tolerant, drought tolerant once established, 15'-20' spread, height 30'-40' if not trimmed
10.	Hibiscus	<i>Hibiscus</i> spp. (<i>grandiflorus</i>)	NO	Part shade to full sun, flowering shrub, varied colors, some species salt tolerant, not drought tolerant, 4'-8' spread, height 15'
11.	Natal Plum	<i>Carissa grandiflora</i>	NO	Part shade, glossy evergreen leaf, white flower, good salt & drought tolerance, 4'-10' spread, height 6'-10'
12.	Oleander	<i>Nerium oleander</i>	NO	Poisonous cold hardy plants, full sun, moderate salt tolerance, high drought tolerant once established. Can grow to height 10'-18' with 10'-15' spread
13.	Pigeon Plum	<i>Coccoloba diversifolia</i>	YES	Evergreen, part shade-full sun, high salt & drought tolerant, 20'-30'spread, height 25'-30', trim to desired height
14.	Seagrape	<i>Coccoloba uvifera</i>	YES	Evergreen, part shade-full sun, high salt & drought tolerant, 20'-30'spread, height 15'-25', trim to desired height
15.	Silver Buttonwood	<i>Conocarpus erectus</i> var. <i>sericeus</i>	YES	Full sun, salt & drought tolerant, 15'-20' width, height 15'-25', can be used as hedge
16.	Snowberry	<i>Chiococca alba</i>	YES	Part shade, yellow flower, 6'-10' spread, height depends on supporting structure, fruit provides food for birds, poisonous to humans
17.	Yaupon Holly	<i>Ilex vomitoria</i> 'Nana'	YES	Part shade, small orange/red fruits, moderate salt tolerance, high drought tolerance, 6'-10 spread, height 4'-7'

¹This species is non-native but counted as native due to the fact that the flower structure provides the same natural function to native nectar gathering insects as the native variety.

(b) Medium and Small Shrubs

	COMMON NAME	SCIENTIFIC NAME	NATIVE	COMMENTS
1.	Allamanda	Allamanda spp.	NO	Full sun, variety of colored flowers, high drought tolerance, grows to various heights depending on where it is planted and the structure it is on
2.	Awabuki Viburnum	Viburnum odoratissimum var. Awabuki	NO	Partial to full sun, fragrant small white flowers, red berries, moderate drought, 15'-20' spread, height 15'-20'
3.	Bougainvillea	Bougainvillea spp.	NO	Full sun, sprawling thorny flowering shrub, can be trained on a trellis
4.	Cardboard Plant	Zamia furfuracea	NO	Native to Mexico not Florida, part shade, salt & drought tolerant, slow growing shrub, 5'-8' spread, height 2-5'
5.	Coontie	Zamia floridana	YES	Part shade, salt & drought tolerant, slow growing shrub, 3'-5' spread, height 2-4'
6.	Downy Jasmine	Jasminum multiflorum	NO	Full sun, white fragrant blossoms low salt tolerance, medium drought tolerant, 5'-10' spread, height 5'-10', hardy fluffy shrub.
7.	Dwarf Fakahatchee Grass	Tripsacum Floridanum	YES	Part shade to full sun, medium salt & drought tolerant, 4'-6' spread, clump forming grass used as shrub, height 3'
8.	Dwarf Oleander	Nerium oleander spp	NO	Poisonous cold hardy plants, full sun, moderate salt tolerance, high drought tolerance once established
9.	Dwarf Pittosporum	Pittosporum tobira 'Wheeleri'	NO	Part shade, white fragrant flower, moderate salt & drought tolerant, 3'-5' spread, height 2'-3'
10.	Dwarf Schefflera	Schefflera arboricola	NO	Shade tolerant, partial sun to full sun, moderate salt tolerance, high drought tolerance, dark green foliage, or variegated with yellow, 6'-15' spread, height 10', usually maintained at 4' -6'
11.	Fakahatchee Grass	Tripsacum dactyloides	YES	Full sun, medium salt & drought tolerant, large clump forming grass, flower spikes at top, 4'-6' spread, height 4'-6'
12.	Florida Privet	Forestiera segregata	YES	Can grow 8-15' height, evergreen with yellow bloom, drought tolerant, attracts bees, butterflies, birds
13.	Inkberry	Scaevola plumieri	YES	Full sun, pink & white flowers, high salt & drought tolerance, Holly family, provides fruit/berries for some species of birds, nectar is used for honey production, 3'-8' spread, height 2-4'
14.	Ixora	Ixora coccinea	NO	Evergreen flowering bush, can be pruned for hedges, may have red, orange, yellow or pink flowers

	COMMON NAME	SCIENTIFIC NAME	NATIVE	COMMENTS
15.	Locust Berry	Byrsonima lucida	YES	Produces multi-colored flowers, drought tolerant once established, can be trimmed into a border shrub or hedge
16.	Monkey Grass	Liriope muscari	NO	12"-15" height, clumping grass makes small shrub, sun or shade, drought tolerant
17.	Muhly Grass	Muhlenbergia capillaris	YES	Full sun, bright pink/purple flowers in fall, high salt & drought tolerant, ornamental grass used as a shrub, 4-5' spread, height 3'-4'
18.	Pittosporum	Pittosporum tobira	NO	Part shade, white fragrant flower, moderate salt, high drought tolerance, 12'-18' spread, height 8'-12'
19.	Plumbago	Plumbago auriculata	NO	Full sun, white/blue/purple flowering shrub/vine, moderate drought tolerant, spreading round plant
20.	Powderpuff spp.	Calliandra haematocephala	NO	Part shade - full sun, pink & white flowers, not salt tolerant, drought tolerant, 4'-8' spread, height 3'-5', fast grower
21.	Sand Cord Grass	Spartina bakerii	YES	Full sun, salt & drought tolerant, 3'-5' spread, height 3'-4'
22.	Sandankwa Viburnum	Viburnum suspensum	NO	Evergreen, part shade-full sun, not salt tolerant, moderate drought tolerance, 15'-20' spread, compact growing 6-12 feet in height if untrimmed. Used as hedge when kept trimmed.
23.	Thryallis	Galphimia glauca	NO	Sun, blooms in warm weather, best if kept pruned to 4-5', drought tolerant, not salt tolerant
24.	Varigated Pittosporum	Pittosporum tobira 'variegata'	NO	Part shade, white fragrant flower, moderate salt tolerance, high drought tolerance, 12'-18' spread, height 8'-12', green leaves with white/cream tips
25.	Wax Myrtle	Myrica cerifera	YES	Evergreen, shade to full sun, high salt tolerance, moderate drought tolerance, 20'-25' spread, height 15'-25', can be a shrub or small tree
26.	White Indigoberry	Randia aculeata	YES	Full sun to light shade, white flower, moderate salt tolerant, high drought tolerant, 5'-8' spread, height 6'-10', medium shrub, glossy leaves
27.	Wild Coffee	Psychotria nervosa	YES	Evergreen, partial sun to full shade, red berries, not salt tolerant, moderate drought tolerant, dense, round multi-stemmed shrub, 4-8' spread, height 4-10', moist soil preferred

- (c) Groundcovers. All groundcover used must maintained at a height of 12 inches or less and maintained in accordance with this Section.

	COMMON NAME	SCIENTIFIC NAME	NATIVE	COMMENTS
1.	Algerian Ivy	Hedera canariensis variegata	NO	Green or variegated leaves, part sun to shade, moist soil, can also be climbing on trellis
2.	Asian Jasmine	Trachelospermum asiaticum	NO	Evergreen vine, small fragrant white, yellow or pink flowers, glossy leaves. Grows 6-12" high, each plant can spread 3', prefers partial shade, but grows well in sun. Drought tolerant once established. Can be trimmed or mowed.
3.	Aztec Daylily Gold	Hemerocallis spp	NO	18-20" high, spread 18-22", moderate growth, full sun to partial shade, can be mowed to be used as ground cover, otherwise would be small shrub
4.	Bacopa ¹	Bacopa caroliniana	YES	Lemon bacopa has a blue flower and a light fragrance, 10"-24"
5.	Blue Daze	Evolvulus glomeratus	NO	Up to 12" tall and wide, full sun, regular watering, attracts butterflies, hummingbirds
6.	Bulbine	Bulbine frutescens	NO	Drought tolerant, flowers up to 2' tall, full sun.
7.	Mondo Grass	Ophiopogon japonicus	NO	9-12" height, 12" spread, clumping ornamental grass
8.	Perennial Peanut ¹	Arachis glabrata	YES	Drought tolerant low-growing ground cover, full sun and partial shade, little or no mowing
9.	Sunshine mimosa ¹	Mimosa strigillosa	YES	Evergreen low-growing ground cover, 3-9", can be mowed when not in bloom, pink powder-puff pom-pom blooms, full sun, drought tolerant once established.

¹ May be used in drainage areas with prior approval of a landscape plan.

Section 12.17. Modification of Provisions

All new landscaping shall conform to the provisions of this Article. The Zoning Official may approve minor variations provided similar materials, configurations and/or techniques are used that fulfill the intent of this Code. All variations shall be noted on the final approved plan.

Section 12.18. Definitions

Definitions pertaining specifically to this article are located in Article 19 Definitions, Section 19.8. Landscaping (Article 12) Definitions

Article 13

Events

Section 13.1. Reserved

Section 13.2. Reserved

Section 13.3 Reserved

Section 13.4 Special Event

A special event is defined as a public event which includes the use of any public facility or private property (e.g., park, meeting hall, gazebo, shelter, street right-of-way, parking lot, etc.) by a group which could limit the normal access and use of such facility by the general public. A special event may include but is not limited to:

- (a) Any activity involving the use of a public or private facility where the activity is advertised to attract participants and/or spectators;
- (b) Where the activity involves a planned contest involving prizes or awards;
- (c) Where the activity includes the advertising, display or sale of goods or services of any type;
- (d) Where the activity would include the placement and use of tents, portable toilets, sales booths, temporary parking areas, blocking of public rights-of-way, etc;
- (e) Where the activity will have an impact of City rights-of-way or could affect public safety;
- (f) Activities involving private gatherings where a group of individuals desire exclusive use of any public facility shall also qualify as a special event and shall require notification of the City's Urban Design Division in advance in order to receive permission for such exclusive use.

The City of Punta Gorda Development Review Committee (DRC) oversees the processing of applications to hold special events in City parks, on City rights-of-way, and on all other City-owned property, or private property. Special events requiring a City event permit include, but are not limited to:

- (a) Weddings in the park
- (b) Festivals
- (c) Large family picnics
- (d) Walk-a-thons
- (e) Car shows
- (f) Road races
- (g) Fish fries
- (h) Bicycle races
- (i) Fishing tournaments
- (j) Parades
- (k) Athletic tournaments or events
- (l) Community gatherings
- (m) Chess tournaments
- (n) Concerts
- (o) Boat shows
- (p) Arts and/or crafts shows

Whenever a group or individual is seeking exclusive use of all or part of a public park or roadway for any length of time, or planning a special event on private property, a Special Event permit is required. Event organizers should include both set-up and clean-up time in their total time request for Special Event approval.

Special event organizers shall contact the Urban Design Division at least 90 days prior to their target date for the Special Event in order to determine the feasibility and approval process required. Requests for approval shall be submitted to the City at least 60 days prior to the Special Event. Special Events must receive approval at least 10 calendar days in advance of the first day of the event.

The City of Punta Gorda has established two distinct levels of approvals required for the various types of Special Events. The following text describes the criteria used by the Urban Design Division to determine whether or not a given event requires administrative approval or Development Review Committee (DRC) approval.

(a) Administrative Approval.

This approval may be granted by the City Urban Design Manager or designee without a DRC meeting if all the following criteria are met.

- (1) The event will draw 200 or less guests during the entire event.
- (2) The event will last four hours or less.
- (3) The event will not involve the sale or distribution of alcoholic beverages to the general public. This restriction does not apply to “by invitation only” private parties.

- (4) The event will only occupy a small portion of a City park or have minimal impact on a City right-of-way/property.
- (5) The event does not require Police security or Fire Department services.
- (6) The event does not include the set up and use of any “attractive nuisances” such as a bounce house, trampoline, live animals, rock climbing wall, etc.

If tents or canopies are to be used, a tent permit is required. Tent permits are issued by the Fire Prevention Division.

(b) Development Review Committee Approval.
This approval will be required when ONE OR MORE of the following is true about a particular Special Event.

- (1) The event will draw more than 200 guests during the entire event.
- (2) The event is scheduled for more than four hours and/or will span multiple days.
- (3) The event will involve the sale or distribution of alcoholic beverages to the general public.
- (4) The event will require police security and/or fire department service. Public safety personnel to be used shall be hired from the Punta Gorda Police Department or Fire Department staff. This shall not preclude an event organizer from having additional on-site security at their discretion. Any required police or fire service may be exempted by the Chief of Police or the Fire Chief at their discretion.
- (5) The event will require organized and monitored parking.
- (6) The event involves the barricading or closure of any public roadways.
- (7) The event will occupy the majority of the open space in the subject park.
- (8) The event is being held by a for-profit group or individual or a for-profit group is a major part of the event.
- (9) The event includes a carnival, circus or exhibition. Proof of compliance with Chapter 616, Florida Statutes, must be submitted with application.
- (10) The event might place an extreme burden on City work crews because of its nature, size or timing.

For special events requiring DRC approval, a series of standards have been developed to assist organizers in planning the operations of their event. These

standards may be varied and/or waived upon appeal to the DRC by the applicant. However, these review standards are to serve as the minimum requirements to be met to insure a safe and successful event. The standards are outlined specifically in the City of Punta Gorda Event Manual, which can be obtained at the City's Urban Design Department.

Section 13.5. Temporary Promotional Event. (Permitted only in residentially zoned districts)

- (a) A Temporary Promotional Event means an inside or outside exhibition, community breakfast, craft fair, vacation bible school, sale or similar activity. A Temporary Promotional Event requires a no-charge zoning permit that must be obtained from the Code Compliance Division prior to conducting the event. A Temporary Promotional Event permit may be issued for non-residential uses located in residential zoning districts, such as but not limited to churches, private clubs and golf courses.
 - (1) All non-residential facilities are allowed to have up to eight Temporary Promotional events per calendar year per site.
 - a. Each event shall not exceed seven days in duration. However, a facility can combine two events for a time period not to exceed fourteen days.
 - b. There shall be a minimum of thirty days between each event unless two events are combined to be a single event.
 - (2) Reserved.
 - (3) Temporary tents may be permitted in conjunction with a Temporary Promotional Event.
 - a. If a tent is used with the Temporary Promotional Event, the tent may be in place no more than one day before and one day after the event. The tent must be removed by the end of the day following the event.
 - b. A separate tent permit must be obtained from the Fire Department prior to using a temporary tent. A tent permit shall not be issued until the Temporary Promotional Event permit has been issued.

Section 13.6 Conditions of Approval, Termination of Event, Revocation of Event Permit and Appeal Process

- (a) The Zoning Official may impose such conditions on an event permit as is necessary to meet the purposes of the Code and protect the public health, safety and welfare and adjacent uses. Conditions which may be imposed may include, but are not limited to:
 - (1) Yard setback and open space requirements and visibility triangle.
 - (2) Parking.
 - (3) Fences, walls or other screening.
 - (4) Signs.

- (5) Vehicular and pedestrian ingress and egress.
 - (6) Property maintenance during the course of the activity.
 - (7) Control of illumination, noise, odor, vibration or other nuisances.
 - (8) Hours of operation.
 - (9) Exterior lighting.
- (b) Termination. At the end of the time period for which the event permit was issued, the event shall be discontinued and all temporary structures and signs shall be removed at the end of the business day unless otherwise herein authorized to remain in place for an extended period of time. Failure to comply with this requirement shall be a violation of this Code.
- (c) Revocation of Permit. The Zoning Official may revoke an Event Permit at any time upon the failure of the owner or operator of the use covered by the permit to observe all requirements of the permit, this Section and other relevant provisions of law, including failure to obtain appropriate business licenses. Notice of such revocation shall be given in writing by the Zoning Official to the owner or operator of the use, by hand delivery or certified mail, setting forth the reasons for the revocation, the date and time upon which the revocation is effective and the appeals procedure. This provision shall not preclude the use of any other remedy prescribed by law with respect to violations of the provisions of this Code.
- (d) Appeal. Any person aggrieved by the action of the Zoning Official in granting, denying or revoking an Event permit may appeal the decision pursuant to Chapter 26, Section 16.2 of the City Code. In the case of an appeal from the revocation of an Event permit, the aggrieved party may request a meeting with the Zoning Official. Within two business days of the meeting, the Zoning Official shall inform the aggrieved person, in writing, of the decision to affirm, modify or rescind revocation of the permit.

Article 14

Reserved

Editor's Note: Ord. 1773-13, <sec> 2, adopted November 20, 2013, repealed and replaced Article 14, Flood Hazard Areas, adopted April 20, 2005 and amended Chapter 7, Punta Gorda Code, by adding a new Article V, Floodplain Management Code

Article 15

Review Authorities

Section 15.1. City Council

The body established under and by the authority of the laws of the State of Florida for the enactment of ordinances and the enforcement thereof and having the ultimate authority for amendment or repeal of any provision of this code including the following powers and duties.

(a). Powers and Duties.

- (1). Review and take final action on applications for amendments to the text of this Ordinance.
- (2). Review and take final action on applications for Comprehensive Plan amendments.
- (3). Review and take final action on amendments to the Zoning Map including Planned Developments.
- (4). Responsible for taking final action on Minor Subdivision Final Plats.
- (5). Responsible for taking final action on Major Subdivision Preliminary Plats.
- (6). Responsible for taking final action on Major Subdivision Final Plats.
- (7). Responsible for taking final action on Appeals of Administrative Decisions that have been appealed from the Planning and Zoning Board or the Historic Preservation Advisory Board in accordance with Section 16.2.
- (8). Responsible for taking final action on Certificates of Appropriateness that have been appealed from the Zoning Official in accordance with Section 16.3.
- (9). Responsible for taking final action on Special Exceptions that have been appealed from the Planning and Zoning Board in accordance with Section 16.8.
- (10). Responsible for taking final action on Variances that have been appealed from the Planning and Zoning Board in accordance with Section 16.10.
- (11). Responsible for taking final action on Development Mitigation agreements for Public Parking or Public Day Docks

- (b). Appeal of Council Decisions. Any person or persons jointly or severally aggrieved by any decision of the City Council may apply to the circuit court

having jurisdiction in the City for judicial relief within 30 days after rendition of the decision by the City Council.

Section 15.3. Reserved

Section 15.4. Historic Preservation Advisory Board [HPAB]

The body established by City Council for the administration of matters relating to the preservation and designation of Punta Gorda's historical, cultural, and/or archaeological resources.

- (a) Powers and Duties. The Board shall have the following powers and duties.
- (1) Undertake an inventory of properties of historical, architectural, and/or cultural significance.
 - (2) Recommend to City Council the formal designation of historic and neighborhood conservation districts and of additions to the Local Register of Historic Places (see Section 8.1).
 - (3) Recommend to City Council the acquisition of properties within established districts or any such properties designated as landmarks, to hold, manage, preserve, restore and improve the same, and to exchange or dispose of the property by public or private sale, lease or other legally binding restrictions which will secure appropriate rights or public access and promote the preservation of the property.
 - (4) Restore, preserve and operate historic properties with approval of City Council.
 - (5) Review and recommend action on ~~for staff approval~~ of applications for Certificates of Appropriateness where prior HPAB review is called for by criteria in Section 16.3.
 - (6) Develop and recommend for adoption design guidelines and other criteria to be used in the review of Certificates of Appropriateness.
 - (7) Conduct an education program with respect to historic landmarks and districts within its jurisdiction.
 - (8) Recommend that City Council consult with the owner of a building, structure, site, area or object on its acquisition or its preservation, when such action is reasonably necessary or appropriate.
 - (9) Review applications for special exceptions or variances for contributing buildings and structures in historic and neighborhood conservation districts and for historic landmarks (see Section 8.1).

- (10) Hear appeals where it is alleged there is an error in any action of an administrative official regarding minor variations or architectural review in the TPG zoning district (see Section 3.2(i)).
- (b) Procedures. All meetings shall be open to the public and shall be conducted in accordance with the rules of procedure adopted by the City Council. Such rules of procedure may be amended by the City Council upon recommendation of the Board. Any rules of procedure adopted shall be kept on file in the City Clerk's Office and shall be made available to the public at any meeting or hearing of the Board. The City Clerk or designee is authorized to administer oaths to any witnesses in any matter coming before the Board.
- (c) Meeting Minutes. The Board shall keep permanent minutes of all its meetings. The minutes shall record attendance of its members, its resolutions, findings, recommendations and actions. The minutes of the Board shall be a public record.
- (d) Staff. The Urban Design Director or designee shall serve as staff to the Board and shall provide technical assistance as requested
- (e) Quorum and Vote Required. A quorum of the Board, necessary to conduct any business, shall consist of four members. The concurring vote of a majority of the members of the Board, present for the hearing, shall be necessary in order to take any action on any matter.

Section 15.5. Planning and Zoning Board [PZB]

The body established by City Council for the administration of matters relating to planning and land use regulation; ~~and~~ the provision of recommendations on a wide array of land use and land use policy issues as required by Florida Statute 163.3174 Local Planning Agency, and the administration of matters relating to the application of appeals for relief from undue hardships imposed by strict and literal enforcement of the requirements or restrictions of the City's Land Development Regulations.

- (a). Powers and Duties. The PC shall make recommendations to the City Council on the following areas under this Code.
 - (1). Amending, extending or adding to the comprehensive plan for the physical development of the City.
 - (2). Platting or subdividing land within the City.
 - (3). Adopting an official map/s of the City and recommend or disapprove proposed changes in such map/s.
 - (4). Adopting and amending a zoning ordinance and recommend or disapprove proposed changes in such ordinance.
 - (5). Adopting a plan for the re-planning, improvement and redevelopment of neighborhoods.
 - (6). Adopting a plan for the re-planning, reconstruction or redevelopment of any area or district which may be destroyed in whole or in part or seriously damaged by fire, earthquake, flood or other disaster.

- (7). Holding public hearings on requests for Special Exceptions:
 - a. If the Planning Commission's decision is appealed to the City Council in accordance with Section 16.8, such decision shall be treated as a recommendation to the City Council.
 - b. If a valid appeal is not filed, such decision shall become the City of Punta Gorda's final action on the requested Special Exception.
- (8). To hear and recommend approval or denial of appeals where it is alleged there is error in any order, requirement, decision, determination or action of the Zoning Official or staff in the enforcement of the zoning regulations, other than appeals of decisions on Certificates of Appropriateness which must follow the procedures in Section 16.3 and other than appeals of minor variation decisions and architectural review decisions in the Traditional Punta Gorda (TPG) zoning district, as provided in Section 3.2(i).
- (9). Holding public hearings, upon proper petition, to consider variances from the terms of the zoning regulations as shall not be contrary to the public interest, where in specific cases, owing to special circumstances, a literal enforcement of the zoning regulations would result in unnecessary and undue hardship.
 - a. If the Planning and Zoning Board decision is appealed to City Council in accordance with Section 16.10, such decision shall be treated as a recommendation to the City Council.
 - b. If a valid appeal is not filed, such decision shall become the City of Punta Gorda's final action on the requested variance.
- (b). Procedures. All meetings shall be open to the public and shall be conducted in accordance with the rules of procedure adopted by the City Council. Such rules of procedure may be amended by the City Council upon recommendation of the Board. Any rules of procedure adopted shall be kept on file in the City Clerk's Office and shall be made available to the public at any meeting or hearing of the Board. The City Clerk or designee is authorized to administer oaths to any witnesses in any matter coming before the Board.
- (c). Meeting Minutes. The Board shall keep permanent minutes of all its meetings. The minutes shall record attendance of its members, its resolutions, findings, recommendations, and actions. The minutes shall be a public record.
- (d). Staff. The Urban Design Director or designee shall serve as staff to the Board and shall provide technical assistance as requested.
- (e). Quorum and Vote Required. A quorum of the Board, necessary to conduct any business, shall consist of four members. The concurring vote of a majority of the members of the Board, present for the hearing, shall be necessary in order to take any action on any matter.

Section 15.6. Zoning Official

The Zoning Official is a person appointed by the Urban Design Director charged with the administration, interpretation, and enforcement of the land use regulations including the provision of recommendations on a wide array of land use and land use policy issues to the Historic Preservation Advisory Board, Planning and Zoning Board, and City Council.

- (a). Powers and Duties. The Zoning Official shall have the authority to approve minor modifications to the following areas under this Code.
 - (1). Uses. Zoning Official has the authority to determine if uses not specifically listed in Article 3 are to be permitted, permitted with conditions, eligible for consideration under the Special Exception process or prohibited for all Zoning Regulating Districts and Overlays with the exception of Public.
 - (2). Waterfront Property. Zoning Official shall have the authority to permit waterfront setbacks of less than 25 feet for any man made non-navigable body of water including but not limited to stormwater management ponds or lakes as delineated by Section 8.19.
 - (3). Yard Designation. For lots that front on more than one street or for any irregularly shaped lot the Zoning Official shall determine the location of front, side, and rear yards. This determination will be based on the intent of the Zoning Regulating District and/or Overlay which the lot is sited.
 - (4). Parking requirements. Zoning Official shall be responsible for the following:
 - a. Plan approval. Approval of any plans for re-striping or modifying any existing parking plan created prior to the adoption of or in compliance with the provisions of Article 10 [Section 10.1].
 - b. Parking surfaces. Approval of paving materials, with gravel or other stabilization material without a permanent wearing surface explicitly prohibited [Section 10.3(d)].
 - c. Parking aisle width. Approval of parking aisle widths which exclusively serve Low Speed Vehicles [FS 316.2122] and/or Motorcycle/Scooter parking spaces [Section 10.3(f) (6)].
 - d. Loading Specifications. Approval of reduced loading space requirements for freight vehicles based upon on-site uses or the

availability of shared loading facilities or off-site loading facilities within reasonable proximity of the development site.

- (5). Landscape Requirements. Zoning Official may modify the provisions of Article 12 Landscaping Standards as delineated in Section 12.2, Section 12.15, Section 12.16, and Section 12.17.
 - (6). Certificates of Appropriateness. Zoning Official has approval authority without HPAB review of certain Certificate of Appropriateness applications as delineated in Section 16.3 (a).
 - (7). Application Submittal Requirements. Zoning Official may waive certain application submittal requirements codified in Article 16, if the Zoning Official determines that such requirement is not material to the application review process.
 - (8). Temporary Use Permits. Zoning Official has the authority make decision on any temporary use application, unless the Zoning Official determines that the application requires Development Review Committee review and/or City Council decision.
 - (9). Variances. Zoning Official has the authority to determine if a variance application meets the criteria for an Administrative Variance Approval as codified in Section 16.10 (d).
- (b). Procedures. The Zoning Official shall undertake their powers and duties in the administration and enforcement of Chapter 26, Land Development Regulations to further the implementation of the City of Punta Gorda Comprehensive Plan. All decisions of the Zoning Official shall be in writing and maintained by the City as a public record.
- (c). Appeal of Decision. Any person or persons jointly or severally aggrieved by any decision of the Zoning Official may appeal the decision to City Council within 30 days after rendition of the decision by the Zoning Official.

Article 16

Application Review and Approval Requirements

Section 16.1. General Requirements for Applications

Applications required under this Article must be submitted in a form and in such numbers as specified below. Application forms and checklists of required submittal information are available from the official responsible for accepting the application.

- (a) **Application Filing Fee.** Applications must be accompanied by the fee that has been established by the City Council. Fees are not required with applications initiated by the City Council or an advisory board of the City. In addition, application filing fees shall not be required of any public agency, whether local, county, regional, state or federal. Unless otherwise expressly stated in this Article, application fees are nonrefundable.
- (b) **Application Completeness and Accuracy.** An application will be considered complete if it is submitted in the required number and form, includes all mandatory information, is accompanied by the applicable fee, and all information material to the application is accurate. This provision does not preclude the identification and correction of inaccurate or misleading information submitted by the applicant after an application is accepted.
- (c) **Acceptance for Processing.** Determination of application completeness shall be made within ten business days of application filing. If an application is determined to be incomplete, the Zoning Official shall provide written notice to the applicant along with an explanation of the application's deficiencies. No further processing of the application shall occur until the deficiencies are corrected. The deficiencies must be addressed by the applicant in writing within 30 days of the date of the deficiency notice provided by the Zoning Official. If all of the deficiencies are not addressed, the application shall be considered withdrawn. In the event an application is deemed withdrawn under this provision, the applicant shall be entitled to a refund of 90 percent of the application filing fee.
- (d) **Burden of Proof or Persuasion.** In all cases, the applicant shall have the burden of establishing that an application complies with applicable approval criteria.
- (e) **Pre-Application Conference.** A pre-application conference is required in the case of Map Amendments, Special Exceptions and Comprehensive Plan Amendments. In all

other cases, applicants are encouraged to schedule and attend a pre-application meeting with the appropriate Community Development Department staff prior to submitting an application for review under this Article. The purpose of a pre-application conference is to inform the applicant of review procedures, submittal requirements, development standards, and other pertinent matters before the applicant finalizes the development proposal. Staff opinions presented during a pre-application meeting are informational only and do not represent a commitment on behalf of the City regarding the acceptability of the development proposal.

- (f) Official Review. In conducting required reviews, the Zoning Official shall be authorized to distribute the application and other submittals to other departments and agencies for the purpose of soliciting comments and ensuring that the proposal complies with all applicable standards and requirements.
- (g) Notice Provisions. Upon receipt of a complete application, the City shall fix a date, time and place for a public hearing(s) and publish notice of such hearing(s) in the following manner. Each notice shall describe the property involved by street address and/or property identification number along with the intent and purpose for the application and where additional information on the matter may be obtained.
 - (1) Newspaper notice. The City shall publish notice in a newspaper of general circulation in the City, at least 15 days prior to the time set for the public hearing. Prior to final action on the application, the City Clerk shall be responsible for certifying that notices have been published.
 - (2) Mailed notice. The City shall prepare and mail notice of the hearing by first class mail to all owners of record, whose name appears on the latest available tax rolls of the County and to all parcels within 200 feet of the boundary line of the property for which the application applies. The notice shall be mailed at least 10 days prior to the hearing. Where the land is part of, or adjacent to, land owned by the same person, the 200 foot distance shall be measured from the boundaries of the entire ownership, except that notice need not be mailed to any property owner located more than 600 feet from the land for which the application applies. Prior to the final action on the application, the City Clerk shall be responsible for certifying that notices have been mailed.
 - (3) Posted notice. The City shall post a notice which is no less than 1.5 square feet in area in a manner clearly visible to neighboring residents and passers-by from each public street bordering the property involved. At least one sign shall be posted at least 15 days prior to the public hearing. Prior to final action on the application, the Urban Design Manager shall provide evidence that notices have been posted.

Section 16.2. Application for Appeal of Administrative Decision

Any person or persons claiming to be aggrieved on account of any ruling by an official charged with enforcing the land development regulations may appeal to the official involved and to the Planning and Zoning Board (PZB), other than appeals of decisions on Certificates of Appropriateness which must follow the procedures in Section 16.3, and other than appeals of minor variation decisions and architectural review decisions in the Traditional Punta Gorda, TPG zoning district, as provided in Section 3.2(i). Appeals of administrative decisions must be filed in writing within 30 days after the act or decision upon which any appeal is made and must specify the grounds thereof.

- (a) **Application Filing.** The filing of a complete application for appeal from ~~the Zoning an~~ official's ruling shall stay all proceedings and all work on the premises involved unless such stay shall be deemed to imperil life or property. In such cases, proceedings or work shall not be stayed except by an order granted by the City Council or by the Circuit Court if the same shall have been refused by the City Council.
- (b) **Record of Administrative Decision.** Upon acceptance of a complete application of the appeal of administrative ruling, the Zoning Official shall transmit to the PZB all papers or other records upon which the action or decision of appeal was taken.
- (c) **Public Hearing by the PZB.** The PZB shall hold a public hearing and thereafter determine whether the requested relief should or should not be granted. The public hearing requires newspaper notice as set out in Section 16.1(g). Any party in interest may appear in person or by agent or attorney. Unless an appeal is filed in writing within 30 days of the written decision, the PZB's decision shall be final. An appeal may be filed by the applicant or by any person who provided input on the appeal or who owns property within 200 feet of any boundary line of the property for which the appeal is being requested.
- (d) **Public Hearing by City Council.** If a valid appeal is filed in writing within 30 days, the City Council shall hold a public hearing. The public hearing requires newspaper notice as set out in Section 16.1(g). The City Council may reverse or affirm, wholly or partly, or may modify the order, requirement or decision or determination made by the City in the enforcement of any adopted zoning regulation or may make such decision or take such activities as the Zoning Official should have made or taken.
- (e) **Approval Criteria.** An appeal shall be sustained only if the PZB or City Council finds that the administrative official erred. The decision shall be accompanied by written findings of fact and conclusions stating the reason for the decision. The Zoning Official shall serve a copy of the decision on the applicant and upon each other person who was a party of record at the hearing.
 - (1) Consideration for appeals.

In reaching a decision, the following criteria shall be considered as well as any other issues which are pertinent and reasonable:

- a. Whether or not the appeal is of a nature properly brought to them for decision, or whether or not there is an established procedure for handling the request other than through the appeal process (i.e. variance, special exception, etc.)
 - b. The intent of the regulation in question.
 - c. The effect the ruling will have when applied generally to the zoning regulations.
 - d. Staff recommendation, the testimony of the appellant and the testimony of substantially interested parties shall also be considered.
- (f) Appeal. Any person aggrieved by a decision of the City Council may appeal said decision to the Circuit Court within 30 days from the date of the decision.
- (g) Withdrawal of Appeal. An appeal may be withdrawn by the applicant at any time prior to the deadline of cancellation of the newspaper advertisement for the public hearing on the application; after this deadline an appeal may be withdrawn only with the permission of the PZB or City Council.

Section 16.3. Application for Certificate of Appropriateness

No structure, building, or sign shall be erected, reconstructed, altered, or restored on designated property until a Certificate of Appropriateness has been approved by the City in accordance with the procedures of this Section. A structure shall include anything man-made, including but not limited to outbuildings, fences, walls, lamp posts, light fixtures, signs, sign posts, driveways, walkways, and paving. The provisions of this Section shall not apply to the regular maintenance of structures, buildings, or signs.

For the purposes of this Section, the term “designated property” shall be defined as any lot with a structure listed on the Local Register of Historic Places. See Section 8.1.

Applications for a Certificate of Appropriateness may ~~shall~~ be approved by the Zoning Official. Certain applications as specified below shall only be reviewed by the Zoning Official ~~and~~ while certain other applications shall first be submitted to the Historic Preservation Advisory Board (HPAB) for review and recommendation to the Zoning Official. All decisions on an application for a Certificate of Appropriateness shall be based upon the fullest possible compliance with the relevant architectural provisions in Section 3.2(f), while considering the scale, massing, and detailing of nearby designated properties and the extent of changes resulting from a proposed rehabilitation. These architectural standards will be evaluated in a manner that takes into account site constraints and technical feasibility and that avoids creating unreasonable economic hardships.

- (a) Zoning Official Approval without HPAB Review. For the purposes of this Section, applications for Certificates of Appropriateness for the following activities on designated property may be approved or denied by the Zoning Official without HPAB review and recommendation:
- (1) Minor-changes in the exterior, appearance, or material of existing buildings or structures that do not constitute major rehabilitation (see subsection (b) below). (Changing the color of paint on painted surfaces is not regulated.)
 - (2) New construction of outbuildings or of additions to existing buildings that are not readily noticeable from the street.
 - (3) Reconstruction of existing walls and fences, or construction of new walls and fences in side and back yards.
 - (4) Lamp posts, light fixtures, ~~sign posts~~, mailboxes, rooftop solar panels, driveways, paving, and similar minor accessory structures.
- (b) HPAB Review Recommendation. For the purposes of this Section, applications for Certificates of Appropriateness for the following activities on designated property shall first be reviewed by the HPAB for recommendation purposes:
- (1) Moving any building or structure (see Section 8.1).
 - (2) Demolition of any building or structure, in whole or in part (see Sections 8.1 and 16.5).
 - (3) Signs.
 - (4) Variances (see Section 8.1).
 - (5) Special Exceptions (see Section 8.1).
 - (6) Major rehabilitation that affects the exterior appearance or a building, structure, or other physical feature.
 - a. Rehabilitation means updating a structure through repair, remodeling, or alteration to allow efficient contemporary use while preserving those portions or features which are significant to its historic, architectural, or cultural value. Major rehabilitation specifically includes the following:
 - i. Visible additions that physically expand a building either outward or upward.
 - ii. Replacement of windows or doors that are visible from the street.
 - iii. Replacement of roofing, siding, and/or exterior trim other than restoration or replacement of original materials.
 - iv. Changes to porches and decks that are readily visible from the street.
 - v. Changes to fences in front yards or readily visible from the street.

- vi. New, expanded, or modified accessory structures such as garages, carports, stairways, ramps, or pools that are readily visible from the street.
 - vii. Removal or severe pruning of heritage or specimen trees.
 - viii. Changes to significant landscape elements such as patios or walkways that are readily visible from the street.
- b. Major rehabilitation specifically excludes the following:
- i. Minor exterior changes that do not involve substantial alterations, additions, or demolition that could impair the integrity of a structure.
 - ii. Ordinary maintenance and repair that does not change the design, material, or appearance of exterior elements.
 - iii. Changing the color of paint on painted surfaces (paint colors are not regulated).
- (7) New construction of a principal building that would replace a contributing building that has been demolished or relocated in accordance with the provisions of Section 8.1(g).
- (c) Required Contents of Applications. Applicants for a Certificate of Appropriateness shall have the burden of demonstrating that the proposed activity complies with all provisions of this code. At a minimum, applications for Certificate of Appropriateness shall submit the following information:
- (1) Architectural elevations drawn to scale.
 - (2) Site plans.
 - (3) Exterior materials list, with product images or samples
 - (4) Photographs or drawings relating the proposed project to the surrounding streetscape.
 - (5) Lighting, if being altered.
 - (6) Landscaping, if being altered.
 - (7) A scale drawing of any proposed sign, including proposed materials, lighting method, style and size of lettering, and a sketch or photograph showing the proposed location of the sign on the building or site.
 - (8) Structural engineer's analysis of structure, if required by the Zoning Official.
- (d) Required Procedures. An application for a Certificate of Appropriateness shall be obtained from and, when completed, filed with the Urban Design Department.

- (e) Decisions on Certificate of Appropriateness Applications. The HPAB shall review all Certificate of Appropriateness applications required to come before them at their next regularly scheduled meeting, but no later than 45 days after a complete application has been filed. The HPAB shall make a recommendation on the matter presented at the public meeting or continue until the next regularly scheduled meeting. If the HPAB determines that the proposed improvement complies with all relevant provisions of Sections 8.1 and 16.3, it shall recommend approval and issuance of the Certificate of Appropriateness to the Zoning Official. If the HPAB determines the proposed improvement does not comply with these provisions, the HPAB shall present its reasons for noncompliance on the record and shall make a recommendation to the Zoning Official that a Certificate of Appropriateness should not be issued, or should be issued only if specified changes are made. The Zoning Official shall review the application and the minutes of the HPAB meeting, which includes the HPAB's recommendation, and shall thereafter determine whether the applicant demonstrated compliance with this code. The Zoning Official shall then issue or deny the Certificate of Appropriateness and notify the applicant of such determination, furnishing the applicant a copy of reasons and recommendations, if any, as they appear in the records of the HPAB and in the Zoning Official's findings. In all matters coming before the HPAB, the applicant shall have the burden of providing clear, competent and substantial evidence in support of the application.
- (f) Appeals.
 - (1). Appeal of a decision of the Zoning Official shall be heard by the Historic Preservation Advisory Board.
 - (2). Appeal of a decision of the Historic Preservation Advisory Board shall be heard by City Council.
- (g) Preservation of Features in Public Right-of-Way. In order to prevent destroying or seriously damaging the historic, architectural, or aesthetic values of the physical features lying within public rights-of-way, all public utility companies and transportation departments shall be required to obtain a Certificate of Appropriateness prior to initiating any changes to the character of streetscapes, paving, and sidewalks.
- (h) Interior Arrangements Not Considered. The HPAB shall not consider interior arrangement nor take any action to restrict interior changes except for the purpose of preventing the construction, reconstruction, alteration, restoration, moving or demolition of buildings, structures, appurtenant features, or outdoor advertising signs which would be incongruous with the historic aspects.

- (i) Reasons for HPAB Actions to Appear in Minutes. The HPAB shall cause to be entered into the minutes of its meeting the basis for its recommendations, whether it be approval, approval with modifications, or denial.
- (j) Submission of New Application. If the staff determines that a Certificate of Appropriateness should not be issued, a new application affecting the same property may be submitted only if substantial change is made in plans for the proposed construction, reconstruction, alteration, restoration, or moving.
- (k) Valid for 18 months. A Certificate of Appropriateness shall be valid for a period of 18 months from the date of issuance. Failure to secure a building permit within a 6-18 month period shall be considered as a failure to comply with the Certificate of Appropriateness and the Certificate shall become null and void. If a building permit is not required, failure to complete the approved work within 18 months shall also cause the Certificate to expire. The Certificate may be renewed by the staff upon written request of the applicant if the request is received not more than 2 years from the date of original issuance.

Section 16.4. Application for Concurrency

Prior to development plan application approval the Zoning Official shall make a finding and certify in writing that public facilities and services needed to support the development will be available concurrent with the impacts of the development upon such facilities and services.

- (a) Concurrency Verification. Concurrency review shall be limited to the availability of roadway facilities, potable water service, sanitary sewerage service, stormwater drainage facilities, solid waste removal service, public schools and park facilities. Concurrency verification shall be based upon maintaining the level of service for these public facilities and services as adopted and as may be amended in the City's Comprehensive Plan. A development plan shall be approved only if one of the following conditions is met:
 - (1) The necessary facilities are in place or will be in place when the impacts of development occur.
 - (2) The necessary facilities are under construction when a permit is issued.
 - (3) The necessary facilities are subject to a binding contract/development agreement for their construction.
 - (4) The necessary facilities have been included in the local government's capital budget.
- (b) Concurrency Review. The Zoning Official, through review and approval by the responsible department shall initiate the review to certify that public facilities and

services will be available concurrent with the impacts generated by the proposed development. Specifically, the Zoning Official shall proceed as follows with the review:

- (1) The current available capacity of roadway facilities, water service, sewerage facilities, stormwater drainage, solid waste removal service, public schools and parklands shall be established [i.e., sewer plant capacity equals 800,000 gallons per day unreserved].
- (2) The projected impact on each of the seven public services and facilities listed above will be calculated for the proposed development using the required levels of service contained in the City's Comprehensive Plan, and in this section, as may be amended from time to time [i.e., single-family home will use 190 gallons per day of the unreserved sewer plant capacity].
- (3) The projected impacts on the seven public services and facilities shall be subtracted from the current available capacity presented in A. above [i.e., 800,000 gallons per day in sewer plant minus 190 gallons per day equals 799,810 gallons per day new capacity].
- (4) Certify that the new capacity of the seven public facilities and services is not below zero. At such time the available capacity for any of the seven public facilities is less than 25 percent of the total capacity of the facility, then the Development Review Committee (DRC) shall be alerted to this fact [i.e., sewer plant total capacity equals 4,000,000 gallons per day, and the current available capacity equals 0.25 times 4,000,000, or 1,000,000 gallons per day]. If the available capacity of any of the seven public services falls below this 25 percent level then all concurrency shall be granted at the time a building permit is issued for the development. There shall be no reservation of capacity at the time of final development plan approval.
- (5) A written statement certifying the availability, or lack of availability, of capacity in each of the seven public facilities and services shall be forwarded to the DRC prior to the issuance of a development permit, and to the Building Department prior to the issuance of a building permit for all one- and two-family dwellings.
- (6) Upon issuance of a development plan or a building permit, the capacity of the seven public services and facilities needed to meet the demands of the development being approved shall be reserved for a period of one year. The Zoning Official, upon a recommendation from the DRC, may reserve the public service capacities for a period no longer than one year, unless a valid and binding development agreement between the City and a developer is executed extending the time period.
- (7) As an alternative to analyzing capacity for each proposed development as described in subsections (1) through (5), the Zoning Official may conduct a quarterly or annual concurrency review that compares the remaining capacity of

each of the seven public facilities and services to development that is anticipated during the same period. If adequate capacity is available to meet the anticipated development, the Zoning Official shall submit that a written statement to that effect to the DRC and to the Building Department, including a conclusion as to whether any public facility or service would have less than 25 percent capacity remaining. The DRC and Building Department may rely on this written statement of the Zoning Official in issuing development permits and building permits, unless development being approved during that period would exceed the level anticipated by the Zoning Official in the quarterly or annual concurrency review.

- (c) Concurrency Review Standards. When a development plan application or a building permit request is submitted to the Zoning Official, the following criteria shall be applied to determine whether or not sufficient public services and facilities capacity exists. A finding that services and facilities will be available must be based upon a capital improvements project currently funded by the City and/or County that demonstrates there is a plan to construct or expand the required services and facilities with sufficient capacity to provide for the needs of the development proposed by the applicant, and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect, or for which capacity has been reserved. The proposed development shall be designed and constructed to provide adequate area and rights-of-way which may be necessary for the installation and maintenance of the roadway system, which meet all applicable federal, state and local regulations.
 - (1) Roadway Facilities. Roadway facilities must be available prior to occupancy to provide for the needs of the proposed development. A finding must be made that the level of service standard for average peak hour and peak season traffic flows shall be maintained on the various types of roadways for the time period listed in Table 16.1. In considering whether the roadway has such capacity to maintain level of services, only the portion of the roadway within one mile of the applicant's property shall be considered. Street capacities shall be determined by standards established by or approved by the Florida Department of Transportation as they may be amended from time to time.

Table 16.1.

Type of Roadway	Classification	Urbanized Area
State / County	Limited access	D
	Principal arterial	D
	Major arterial	D
	Minor arterial	D
	Major collector	D
	Minor collector	D
City	Major arterial	D
	Minor arterial	D
	Major collector	D
	Minor collector	D

- (2) Potable Water Facilities. Potable water service from the City must be available prior to occupancy to provide for the needs of the proposed development. The proposed development shall be designed and constructed to provide adequate areas and easements which are necessary for the installation and maintenance of potable water distribution systems which meet all applicable federal, state and local regulations. A finding must be made that the existing City water supply and distribution system has sufficient capacity to provide 141 gallons per person or 287 gallons per ERU per day for residential uses and at an equivalent residential unit rate established by the City for non-residential structures or uses. A finding must be made that the potable water supply needs of the service area for which building permits have been issued, which are occupied, available for occupancy, or for which water treatment capacities have been reserved, have sufficient existing water treatment.

- (3) Sanitary Sewers Facilities Concurrency Findings. Sanitary sewer facilities must be made available from the City prior to occupancy to provide for the needs of the proposed development. The proposed development shall be designed and constructed to provide adequate areas and easements which are necessary to the installation and maintenance of sanitary sewer distribution system. A finding must be made that the existing sanitary sewer facilities have sufficient capacity to provide 83 gallons per person per day per residential use or 169 gallons per ERU per day at an equivalent residential unit rate established by the City for non-residential structures or uses. A finding must be made that the sanitary sewer facility needs of the service area for which building permits have been issued, which are occupied, available for occupancy, or for which sanitary sewer facilities have been reserved, have sufficient existing wastewater capacity.

- (4) Stormwater and Drainage Facilities. Stormwater and drainage facilities must be made available prior to occupancy to provide for the needs of the proposed development by the City where on-site retention is not required by Code. In the case where the City is required to provide stormwater facilities a finding

will be made that such facilities will be made available. Where on-site stormwater retention is required of an applicant, the DRC shall ensure such facilities are in place prior to the impacts of the development. This shall be accomplished via a copy of the letter of substantial compliance from the engineer of record, and a copy of a letter of acceptance from the Southwest Florida Water Management District. The proposed development shall be designed and constructed to provide adequate areas and easements needed in the installation and maintenance of any public stormwater facilities. A finding must be made that the existing stormwater and drainage facilities, including any on-site facilities required of the applicant/developer, will retain a 25-year frequency design storm with a 24-hour duration in accordance with current Southwest Florida Water Management District regulations [type 2 modified storm with 7.5 inches of total rainfall]. A finding must be made that the stormwater retention needs of the service area for which building permits have been issued, or which are occupied, available for occupancy, or for which stormwater facilities capacity have been reserved, have sufficient existing retention capacity.

- (5) Solid Waste Removal. Solid waste removal facilities must be made available by the City prior to occupancy to provide for the needs of the proposed development. A finding that solid waste removal service will be made available must be based upon existing removal capacity or upon a capital improvement project currently funded by the City that demonstrates there will be sufficient removal service available at the time that the demand for service from the development will occur. In addition, a finding must be made that sufficient solid waste removal facilities exist for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which solid waste removal capacity has been reserved, prior to the issuance of a development order for a new development project. The existing City solid waste removal facilities shall be capable of removing up to 7.2 pounds per person per day for any new development. Criteria for the storage and removal of solid waste in a development project shall follow those standards contained in Chapter 10 of the City Code.
- (6) Parks and Recreation. City-provided park and recreation facilities must be made available by the City prior to occupancy to provide for the needs of any proposed residential development. A finding that parklands and recreation facilities will be made available must be based upon existing facilities or upon a capital improvements project currently funded by the City that demonstrates there is a plan to acquire and/or develop such facilities which will meet the needs of the development proposed by the applicant. In addition, a finding must be made that sufficient parklands and recreation facilities exist for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which parkland and recreation facility capacity has been reserved. A finding must be made that the existing City parks and recreation inventory has sufficient capacity to provide five acres of parkland per thousand functional residents for any new residential development. The

standards for provision of recreation facilities shall be those contained in the City comprehensive plan. The proposed development shall be designed to provide adequate access to and use of any adjacent public parks or recreation facilities. Private recreation facilities and open spaces shall be designed so that existing water bodies, vegetation, and other natural features are preserved. Area-wide accessibility by car, boat, or bike, environmental problems, and maintenance factors should also be considered in the design of any recreation or park facilities.

- (1) Public Schools. Public School facilities must be in place at the time a residential development order or permit is issued, or the developer, prior to occupancy, provide for the needs of any proposed residential development. A finding that public school capacity must exist based upon existing facilities and services, currently in place or under construction; or the residential development is considered exempt from the requirements of school concurrency by meeting one or more of the following criteria:
 - a. The residential development consists of single family lots of record at the time the School Concurrency implementing ordinance becomes effective;
 - b. The residential development that has a site plan, subdivision plan, preliminary or final plat approval or the functional equivalent for a site specific development order prior to the commencement date of the School Concurrency Program;
 - c. The residential development is an age restricted community with no permanent residents under the age of 18. Exemption of an age restricted community must be subject to a restrictive covenant limiting the age of residents to 18 years and older;
 - d. The residential development, or the amendment to previously approved residential development, is calculated to generate less than one student. Such development shall be subject to payment of school impact fees;
 - e. The development order or permit issued subject to the condition that, at the time of site plan approval, subdivision approval, preliminary plat approval or functional equivalent, the school capacity necessary to serve the new residential development is scheduled to be in place or under actual construction within the first three years of the School Board's adopted 5-Year District Facility Work Program;
 - f. At the time the development order or permit is issued, the necessary facilities and services (mitigation) are guaranteed in a binding and enforceable agreement with the School Board, County and City. Acceptable forms of mitigation may include, but are not limited to:

1. Contribution of land or payment for land acquisition in conjunction with the provision of additional school capacity; or
2. Mitigation banking based on the construction of a public school facility in exchange for the right to sell capacity credits; or
3. Provision of additional student stations through the donation of buildings for use as a primary or alternative learning facility; or
4. Construction or expansion of permanent student stations or core capacity; or
5. Construction of a public school facility in advance of the time set forth in the School District's 5 Year Work Program.

A finding must be made that at the time the development order or permit is issued Public Schools have sufficient capacity to provide a level of service as follows:

1. Elementary 95% utilization for any new residential development.
2. Middle School 100% utilization for any new residential development.
3. High School of 100% utilization for any new residential development.

The issuance of a School Concurrency Approval Determination Letter (SCADL) by School Board staff identifying that capacity exists within the adopted Level of Service (LOS) indicates only that school facilities are currently available, and capacity will not be reserved for the applicant's proposed residential development until the City issues a Certificate of Concurrency (COC). The City shall not issue a COC for a residential development until receiving confirmation of available school capacity within the adopted level of service for each school type, in the form of a SCADL from the School Board staff. Once the City has issued a COC, school concurrency for the residential development shall be valid for the life of the COC. Expiration, extension or modification of a COC for a residential development shall require a new review for adequate school capacity to be performed by the School District.

The City shall notify School Board staff within ten working days of any official change in the validity (status) of a COC for a residential development.

The City shall not issue a building permit or its functional equivalent for a non-exempt residential development without confirming that the development received a COC prior to site plan, subdivision plan, plat approval or functional equivalent, and the COC is still valid. Once the City has issued a COC, school concurrency for the residential development shall be valid for the life of the COC.

- (d) Development Agreement Required. In the event a finding is made by the Zoning Official and/or the Development Review Committee that adequate capacity to meet

the needs of a development with regard to roadways, water, sewer, stormwater, solid waste, public schools or park facilities does not and will not exist at the projected time of occupancy, then a development agreement must be entered into to establish how the municipal service capacity for each of the seven facilities will be made available concurrent with the needs or impacts of the development.

- (e) Capital Improvements Program Review. In order to ensure that proposed capital improvement projects are being planned to meet the concurrency requirements outlined in this Section, the DRC shall draft and review the City's 5-year capital improvements program [CIP]. Following the Development Review Committee's drafting of the CIP, the chairman shall forward it to the Planning Commission for their review and amendment.

Section 16.5. Application for Demolition Permit

Unless otherwise expressly exempted, a person shall not demolish, remove or begin demolition of a structure or part of a structure without review and approval of a demolition permit from the City.

- (a) Exemptions. A demolition permit is not required for demolition of a fence, demolition work performed is in conjunction with remodeling, alteration, or repair of a structure for which a permit is obtained; or demolition of a structure with a total gross floor area of less than 150 square feet, unless specifically required in other sections of this code.
- (b) Application Submittal. Every application for a demolition permit shall be submitted to the City and be accompanied by plans in duplicate, drawn to scale, showing actual shape and dimensions of the lot upon which the demolition is to take place; the exact location, size, elevation and height of any building or structure to be removed or demolished; the existing and intended use of each building or structure or part thereof; the number of families or housekeeping units the building is designed to accommodate; and, such other information required by the Zoning Official with regard to the lot and neighboring lots as may be necessary for the enforcement of this Ordinance.
- (c) Demolition Requirements.
 - (1) If the primary structure and use is being demolished, all other accessory structures, such as but not limited to driveways and driveway aprons, parking lots, walkways, swimming pools, sheds or detached garages must also be demolished and removed from the property.
 - (2) If a permit for a new primary structure is submitted in conjunction with the demolition permit and construction of the new primary structure commences within six (6) months of the demolition, conforming accessory structures will not

be required to be removed. Any non-conforming accessory structures will be required to be removed in any case.

- (3) Extensions. The Zoning Official or designee may grant an extension of the time limits proposed by this subsection for an additional period of time where it is found that such additional period of time is necessary in order to avoid unnecessary hardship not caused by the petitioner and such extension is not contrary to the public interest. As a condition of any extension of time, the property owner shall be responsible for continued property maintenance to prevent any detrimental effect on the neighborhood.
 - (4) Any person aggrieved by the requirement to demolish all accessory structures may appeal said decision pursuant to the provisions of Section 16.2 of this Chapter.
 - (5) Failure to complete required demolitions within six (6) months of issuance of demolition of the primary structure shall be deemed guilty of a noncriminal infraction and the City of Punta Gorda Code Enforcement Board shall have jurisdiction to hear and decide cases when a violation is alleged.
- (d) Additional Requirements. An application for demolition or relocation of a historic building or structure shall be referred to the Historic Preservation Advisory Board for review and recommendation. See Section 8.1 of this code for additional requirements for demolition permits for historic buildings and structures.
- (e) Display of Permit. Upon receipt, a demolition permit shall be posted in a prominent place on the premises during the period of demolition or removal.
- Before a demolition permit is issued the plans and intended use shall indicate conformity in all respects to the provisions of this Code.
- (f) Lapse of Permit. Every demolition permit shall expire and become void unless the activity authorized therein commences within 60 days of the date of issue.
- (g) Upon completion of any demolition of a single-family residence, or other single family structure such as but not limited to detached garages, swimming pools or sheds, all rights-of-way and drainage areas along sideyards and property within six feet of the seawall shall be sodded completely. The remainder of the lot or property may be stabilized by the combined use of strip sodding and seeding provided each row of sod is separated by no more than 12 inches. In all cases, a minimum 32 inch wide strip of existing grass or newly placed sod shall form the perimeter of all disturbed areas.

- (h) For demolition of any multi-family or commercial structure, all vacant land areas are required to be completely sodded.
 - (1) The use of hydro-seeding to prevent soil erosion and promote grass growth may be permitted on parcels that are 100 feet or more in distance to an improved lot, provided the property is cleared of all debris, concrete, rocks and the grade has been leveled and is without ruts prior to seeding. All areas of the lot within 100 feet of an improved lot must be sodded.
 - (2) The hydro-seed slurry must be sprayed over the prepared ground in a thick uniform layer that is easily visible.
 - (3) Repeat applications will be required if the grass does not begin growing within two weeks of the hydro-seeding, or if a healthy stand of grass, free of bare spots is not established.

Section 16.6. Application for Development Plan (Development Review Committee)

Where a zoning district requires a Development Plan to initiate a specific use of land or construct a specific building, there shall be no development activity until a Development Plan approval letter is issued by the Zoning Official verifying concurrence with the requirements of this Ordinance. If it is determined by the Zoning Official and/or the Development Review Committee (DRC) that physical or environmental problems may exist, they may, at their discretion, ask for additional reports from the developer before or during the review of a Development Plan. Any member of the DRC may require additional information not specified herein, when it serves the health, safety or welfare of the community or is deemed pertinent to the approval.

- (a) Procedure. Where approval of a Development Plan is required prior to the issuance of a building permit:
 - (1). Development Plan shall be submitted to the Zoning Official.
 - (2). Zoning Official shall circulate the Development Plan to the Development Review Committee (DRC), for review and comments.
 - (3). Recommendations of the DRC along with all pertinent comment and criticism shall be submitted to the Zoning Official.
 - (4). Applicant shall be responsible for addressing any and all issues prior to issuance of a final approval letter.
 - (5). In order to receive the final approval letter, the applicant shall submit, final complete CAD Deliverables reflecting the final approved plans, including all boundary and property lines, all utilities (lines, hydrants, etc.) and the

topographic survey shall be delivered to the Zoning Official as individual layers. CAD Deliverables shall include 2 points tied to the Stateplane Florida West-Zone 3626, Datum: NAD83, Units: meters.

- (6). Development Plan approval shall be valid for a period of one year, and shall in effect reserve any existing water, sewer, solid waste removal, drainage, park, and roadway capacities needed to meet the needs of the approved project for the same one-year period.
- (b) Plan Submission and Review. Any Development Plan required to be submitted under the provisions of this Ordinance shall include the following elements, unless the Zoning Official determines that one or more of said elements does not apply to the particular development:
- (1) Statement of ownership and control of the proposed development.
 - (2) Statement describing in detail the character and intended use of the development.
 - (3) General location maps showing relation of the site for which development plan approval is sought to major streets, schools, existing utilities, shopping areas, important physical features in and adjoining the projects site, and the like.
 - (4) If common facilities, such as recreation areas or structures, private streets, common open space, etc., are to be provided, statements as to how such facilities are to be permanently maintained. Such statements may take the form of proposed deed restrictions, deeds of trust, homeowners association, surety arrangements, or other legal instruments providing adequate guarantees to the City that such common facilities will not become a future liability of the City.
 - (5) Storm drainage and sanitary sewage plans.
 - (6) Architectural definitions for buildings in the development; exact number of dwelling units, sizes and types.
 - (7) Plans for signs, if any.
 - (8) Landscaping plan, including types, sizes and locations of vegetation and decorative shrubbery, and showing provisions for irrigation and maintenance.
 - (9) Plans for recreation facilities, marinas, docking facilities, both accessory and principally permitted uses, and any buildings and/or structures related to such uses.
 - (10) The location and proposed use of any historic structures or artifacts as defined by the City historic preservation ordinance.

- (11) A written natural resources impact statement disclosing any land use activities proposed for the site which might degrade local air or water quality, alter any existing wetlands or designated environmentally sensitive areas, involve any mining or excavation, disturb or destroy existing wildlife habitats, and affect in any way a threatened or endangered plant or animal.
 - (12) Additional data, maps, plans, surveys or statements as may be required for the particular use or activity involved.
 - (13) Any additional data the applicant may believe is pertinent to the Development Plan.
 - (14) A Development Plan containing the title of the project and the names of the project planner and developer, date, and north arrow, and based on an exact survey of the property drawn to a scale of sufficient size to show:
 - a. Boundaries of the project, any existing streets, buildings, watercourses, natural features, vegetation and topography, easements, and section lines;
 - b. Exact location of all buildings and structures;
 - c. Access and traffic flow and how vehicular traffic will be separated from pedestrian and other types of traffic;
 - d. On-site parking and loading areas;
 - e. Recreation facilities locations;
 - f. Refuse collection areas; and
 - g. Access to utilities and points of utilities hookups.
 - h. Tabulations of total gross acreage in the project, and the percentage devoted to each proposed use, the ground coverage of each structure, and the total impervious surface area on the site.
 - i. Tabulations indicating the derivation of numbers of on-site parking and loading spaces
 - j. Total project density in dwelling units per acre.
- (c) Urban Design Findings. Before any Development Plan shall be approved, approved with changes, or denied, the Urban Design Manager or designee shall make a written finding that the specific land use and development requirements governing the individual use or building type have or have not been met and, further, that the development plan has or has not met the following standards:
- (1) Streets and roads shall conform to criteria and design characteristics established in the comprehensive plan and this code.

- (2) Rights-of-way and streets which are located on the traffic circulation plan maps of the City shall be conveyed to the City by deed, grant of easement or reserved to be acquired by the City at a later date. The minimum right- of-way for the various roadway types shall be:

Roadway Type	Urban
Local	50 feet
Collector	70 feet
Minor arterial	80 feet
Major arterial	100 feet

NOTE 1: At the city's discretion, a street section described in article 9 of this code may be selected for any of these roadway types, in which case the right-of-way widths described in article 9 would replace these widths.

- a. A maximum of two driveways may be permitted for ingress and egress purposes to and from a single property or development on each road abutting the property, to include phased developments.
 - b. Two driveways may be allowed to enter a single street from a single property, to include phased developments if the minimum distance between the 2 driveways measured at the property line is equal to or exceeds 20 feet in residential districts and 50 feet for other districts.
 - c. In tract development where the minimum distance between adjacent driveways on a single street exceeds 100 feet or the development exceeds 2 acres of land area, the number of driveways may be increased upon the recommendation by Urban Design.
 - d. The minimum distance from the property line on any ingress or egress driveway to the outer edge of any interior drive or parking space shall be 10 feet.
- (3) Building setbacks shall comply with the requirements of this Ordinance.
- (4) Landscaping and tree preservation shall comply with the standards of this Ordinance.
- (5) Bikeways and walkways shall be required as part of any development plan when these facilities would further the implementation of the sidewalk and/or trail network as identified in the adopted City of Punta Gorda Comprehensive Plan or in the judgment of the Zoning Official or their designee these facilities they will enhance the use and connection of adjoining areas.
- (6) All on-site parking areas shall be arranged and marked in compliance with the provisions of Article 10.

- (7) Conservation of natural resources. At the determination of the Zoning Official the applicant may be required to submit natural resources impact statement. The Zoning Official shall, provide recommendations on the potential impacts of proposed developments upon the natural environment prior to plan approval, and shall consider the following standards for review:
- a. The performance standards contained in this Ordinance shall be applied to all development projects.
 - b. Development Plans submitted for review should seek to leave natural drainage features, such as sloughs, wetlands, lakes, rivers, etc., unaltered.
 - c. Any alteration of natural drainage features, in particular wetlands and any parts of the estuarine system, must be mitigated to offset the wetland values lost.
 - d. Alterations of isolated wetlands greater than one-half acre in size are subject to Southwest Florida Water Management District regulations.
 - e. Naturally vegetated upland buffers in compliance with the provisions of Article 12, will be required around natural drainage features, particularly wetlands, except for those uses requiring access to the water such as docks and boat ramps. Bridges, utility crossings, removal of prohibited trees, etc., shall be some of the permitted activities in an upland buffer.
 - f. All mining or excavation activities shall be prohibited. This prohibition excludes activities related to on-site cut and fill operations as permitted by an approved Southwest Florida Water Management District Permit and/or Army Corps of Engineers permit.
 - g. When endangered or threatened species of plants or animals are known to live on a development site the applicant must identify them, and provide a plan acceptable to State and/or Federal agencies for their protection.
- (8) Preservation of any historic structures, artifacts, or archeological sites shall comply with provisions of this Code.
- (9) Signage shall be comply with-in the provisions of this Code.
- (10) The Zoning Official in consultation with the City Fire Marshal shall ~~has issued~~ issue street numbers for all buildings and unit numbers within buildings where required.
- (d) Public Works Findings. Before any development plan shall be approved, approved with changes, or denied, the Public Works Director or designee shall make a written finding that the following standards have been met:
- (1) Access to arterials, collectors and local streets shall be designed to facilitate the safe and efficient movement of vehicles between the City and/or County

streets and the proposed development and shall comply with the following requirements:

- a. A minimum deceleration lane 12 feet wide with a 150 foot transition taper shall be provided unless a traffic engineering study demonstrates the absence of such a lane will not adversely impact traffic conditions.
 - b. Acceleration lanes shall be constructed in compliance with Florida Department of Transportation standards and regulations based upon the posted speed limits of the roadway being accessed.
 - c. A left turn storage lane with a minimum 150 foot long storage lane and a 100 foot transition taper shall be provided for each driveway when the average peak hour inbound left turn volume is 25 vehicles or more.
 - d. A joint access driveway will be considered as adequate access for any two adjacent developments. For any development where an additional driveway is requested and where the driveways do not meet the spacing requirements, the applicant/s shall be required to provide a written traffic statement justifying the need. This traffic statement will describe the internal circulation and parking arrangements and identify the apparent impact of the development on the operation of the adjacent street system.
 - e. Access to a lot is limited to streets other than major and minor arterials whenever possible. However, commercial and industrial development shall not be given access by a residential street. No new development shall be platted to be allowed to have direct driveway access to a major or minor arterial or a collector road unless it shall first receive a variance from the City Council.
 - f. On any properties where an applicant proposes development of an area abutting any street, a distance of 300 feet or more, the Public Works Department may require the applicant to construct a marginal access street, such street intended to provide limited access to streets and providing direct access to each business use along the property which it abuts. The cost of constructing marginal access streets shall be borne by the applicant.
 - g. No point of access shall be allowed within 40 feet of the intersection of 2 right-of-way lines of any 2 intersecting public streets.
- (10) Signalization of any driveway or intersection shall conform to those warrants specified in the manual of uniform traffic control devices.
- (11) A minor arterial may intersect a major arterial if aligned with and extending an existing minor arterial as shown on the City traffic circulation map or if it

is located a minimum distance of 2,640 feet from the nearest intersection of another existing minor arterial and major arterial.

- a. A collector may intersect an existing major or minor arterial if aligned with and extending an existing collector street as shown on the City traffic circulation map or if it is located a minimum distance of 1,320 feet from the nearest intersection of another existing collector or arterial.
 - b. A collector may intersect another collector but only if aligned with an extending and existing collector as shown on the City traffic circulation map or if it is located a distance of 660 feet from the nearest intersection of another existing collector.
 - c. A local street may not intersect a major or minor arterial unless unavoidable, in which case the local street may intersect an arterial but only if aligned with and extending an existing local street which intersects the arterial at a minimum distance of 660 feet from the nearest intersection of the existing major or minor arterial.
 - d. A local street may intersect a collector if spaced at a minimum distance of 660 feet from any other intersection, or in the case of a "T" type intersection, at a minimum distance of 330 feet from any other intersection.
 - e. The minimum spacing requirements may be reduced by the Public Works Department upon a finding that such reduction will not compromise operational or safety standards.
- (12) No median opening shall be spaced at a distance less than 660 feet from any other median opening unless approved by the City Engineer or [on] a finding that the particular conditions of the proposed development will not compromise traffic operations and safety. Where dedicated public streets intersect along a roadway having center medians, they are given priority considerations for new openings.
- (13) Sight distance standards shall comply with standards of this Ordinance.
- (14) Traffic impact analysis shall be required for all projects larger than 5 acres. The traffic impact analysis shall be prepared by a registered professional engineer according to guidelines acceptable to the City.
- (15) Hurricane evacuation provisions for all development plans shall be evaluated for their impact upon area-wide hurricane evacuation. The Development Review Committee's review should consider the following information, to be submitted by the applicant:

- a. The traffic impact upon designated hurricane evacuation routes and evacuation times, and any proposals to maintain acceptable times.
 - b. The impact of residential developments in category 1 and category 2 storm zones on inland storm shelters, and identification of any available inland shelter space which could be used by residents of the development.
 - c. All matters related to Stormwater drainage requirements of and related to National Pollution Discharge Elimination System permit regulations and Southwest Florida Water Management District regulations.

- (e) Utilities Department Findings. Before any Development Plan shall be approved, approved with changes, or denied, the Utilities Director or designee shall make a written finding that the following standards have been met:
 - (1) Utilities easement for water and wastewater lines to be maintained by the City which are installed by a private company shall be installed in a dedicated easement or in a dedicated right-of-way as approved by the Utilities Director. The standards for such easements are as follows:
 - a. A lot line easement shall be a minimum of 12 feet and may be shared by adjoining lots or parcels.
 - b. A minimum ten-foot separation shall be maintained between water and wastewater lines, and should be considered in the design and acceptance of any easements, unless otherwise required by the City Engineer.
 - c. An easement adjacent to a dedicated road right-of-way shall be parallel to the road right-of-way and 12 feet in width, and shall not be part of the road dedication.

 - (2) All utility issues as they relate to Best Management Practices.

- (f) Building Department Findings. Before any Development Plan shall be approved, approved with changes, or denied, the Building Official or designee shall make a written finding that the following standards have been met:
 - (1) Where site development leaves an area of land without vegetative cover and exposed land shall be staked and entrenched with hay bales, siltation screens or other barriers designed to stop soil erosion and siltation into the adjacent water feature.

 - (2) FEMA Regulations will be enforced by the Building Department.

 - (3) Handicap parking requirements will be enforced by the Building Department.

- (4) DRC evaluations/approvals do not vest building permit approval.
- (g) Fire and Police Department Findings. Before any development plan shall be approved, approved with changes, or denied, the Police Chief and Fire Chief or designees shall make a written finding that the following standards have been met:
 - (1) Fire flow and hydrant spacing shall be designed and constructed in accordance with all state and federal standards, including the Standard Fire Code and all the appendices as referenced in Chapter 9C of the City Code.
 - (2) A plan for evacuation and/or sheltering of residents of a development project who may have limited mobility and needs for special care [i.e., nursing home, ACLF, etc.].
 - (3) Public safety, health, and welfare issues.

Section 16.7. Application for Ordinance Text Amendments

Whenever the public necessity, convenience, general welfare, or practice requires, the City Council may amend, supplement, change or repeal the regulations in this Ordinance in conformity with the provisions of this Article. Amendments to the text of this Ordinance may be initiated by City Council, motion of the Planning and Zoning Board (PZB), or as provided for in the City Charter. The City Council shall either initiate the text amendment requested, or shall deny the petition.

- (a) Public Hearing Notice. The PZB and City Council shall hold public hearings on proposed Ordinance Text Amendments. Each public hearing requires notice as set out in Section 16.1(g).
- (b) PZB Review and Recommendation. The Zoning Official shall set a time and a place for a public hearing by the PZB on a proposed Ordinance Text Amendment. Following the public hearing, the PZB shall forward the proposed amendment to the City Council, together with its recommendation and a statement setting forth its reasons for such recommendation. The PZB shall make its recommendation within 60 days after the first meeting of the ~~Commission~~ PZB after the proposed amendment has been referred to it unless the City Council specifies a shorter time period, or unless the proposed amendment has been withdrawn by the applicant prior to the expiration of the time period.
- (c) City Council Review and Decision. Once the PZB has forwarded a recommendation to the City Council, the Zoning Official shall set a time and a place for a public hearing by the City Council. The City Council may act upon a text amendment within

60 days unless the applicant requests or consents to action beyond that period or unless the proposed amendment has been withdrawn.

- (d) Approval Criteria. In acting on proposed text amendments, the PZB and City Council shall consider whether the proposal is consistent with the Comprehensive Plan and the stated purposes of this Ordinance.

Section 16.8. Application for Special Exception

The special exception process provides the City of Punta Gorda Council with the opportunity to exercise discretionary powers in considering the establishment of certain uses that, due to their nature, design or location, may have the potential for adverse impacts on adjacent land uses and/or the health, safety or welfare of the community. This Ordinance designates such uses "special exceptions." When considering such uses, the City Council shall have the authority to impose conditions that are designed to remove or mitigate potentially adverse impacts upon the community or other properties in the vicinity of the proposed use. Special exception uses shall only be allowed if reviewed and approved in accordance with the procedures of this section.

- (a) **Initiation of Application.** An application for a special exception may be filed with the Urban Design Department by a property owner, board or bureau of any government or their agent, or other parties provided by law.
- (b) **Pre-application Meeting.** Prior to filing an application for a special exception, the applicant shall meet with the Urban Design ~~Division~~ Department to discuss the requirements of this Section and the nature of the special exception use proposed. For the purposes of this meeting, the applicant may provide a concept plan of the proposed use drawn to scale, showing the general layout of the special exception and its relationship to the surrounding area.
- (c) **Application Filing.** Special Exception applications shall be filed with the Urban Design Department. The required application form must be completed and signed by the applicant and owner/s of the property or their agents. Upon receipt of an application, the Zoning Official shall acknowledge acceptance or rejection of the application within ten business days from the date of submittal. Upon acceptance of a completed application, the application shall be forwarded to all appropriate reviewing agencies for comment. Once the Urban Design Division has received all comments, the comments shall be forwarded to the applicant for resolution.
- (d) **Concurrent Review.** If the property subject to the special exception application is also under consideration for a map amendment, the special exception application will be reviewed concurrently with the amendment application. A separate application form and applicable fee must be submitted for each review process. A concurrent review of the special exception application and the amendment application shall automatically waive the specific time limitations otherwise applicable to special exception matters, but will not waive any of the time limitations applicable to a map amendment.
- (e) **Submittal Requirements.** A special exception application shall be accompanied by the following items:
 - (1) An application on a form provided by the City, completed and signed by the applicant and owner/s of the property or their agents.

- (2) Associated fee, payable to the City of Punta Gorda.
- (3) Written statement with supporting evidence regarding compliance with subsection (k), (l) or (m) below as applicable, and use standards of Article 3, if applicable.
- (4) A disclosure statement of the real parties in interest on a form provided by the City, signed by the applicant and notarized. The applicant shall keep this information current at all times during processing of the application.
- (5) Applications for Special Exception requests for all uses ~~except home occupations~~ shall submit two (2) copies, or other number as determined by the Zoning Official, of a concept plan, drawn to ~~a scale of 1 inch = 100 feet,~~ ~~or~~ a scale agreed to by the City, containing the following information:
 - a. Boundaries of the entire property;
 - b. Total area of the property in square feet and acres;
 - c. Location of all existing and proposed structures, including but not limited to lighting, signs and buildings;
 - d. Location and distance of all off-site structures within 50 feet of the property, including but not limited to lighting, signs and buildings;
 - e. All required minimum yards and the distances of all existing and proposed structures to the lot lines;
 - f. Public right/s of way, indicating names, route numbers, and width;
 - g. Proposed means of ingress and egress to the property from a public street;
 - h. Parking spaces, existing and/or proposed, indicating minimum distance from the nearest property line/s;
 - i. Where applicable, seating capacity; usable outdoor recreation area, emergency access, fencing, limits of clearing, landscaping and screening, outside lighting, loudspeakers and required and/or proposed improvements to public rights-of-way; and
 - j. Existing zoning designation and use of subject and adjacent properties.
- (6) RESERVED
- (7) Written statement describing the proposed use and providing the following information:
 - a. Type of operation;
 - b. Hours of operation;

- c. Traffic impacts, including the maximum expected trip generation and the distribution of such trips by mode and the time of day based on current Institute of Transportation Engineers [ITE] Manual, internal road network, and connection into the existing transportation network. A traffic study will be required for all applications that contain or are adjacent to roads that carry or are proposed to carry more than 1,000 Annual Average Trips per Day (AADT); and
 - d. Impacts on adjacent uses and measures proposed to mitigate such impacts.
- (f) **Waivers/Modifications of Submittal Requirements.** Any submittal requirements that accompany the application, with the exception of the applicable fee, may be waived by the Zoning Official. The applicant must clearly indicate by section and paragraph in the application or in a letter attached to the application, which waiver or modification is requested. To grant a waiver or modification the Zoning Official must determine that a requirement is not necessary for the full and adequate consideration of the application. The Zoning Official shall set forth in writing the reasons for such determination.
- (g) **Public Hearing Notice.** A public hearing shall be held on proposed Special Exception applications. Each public hearing requires notice as set out in Section 16.1(g).
- (h) **Planning and Zoning Board Review and Decision.** Upon acceptance of a completed application, the Zoning Official shall set a time and a place for a public hearing by the Planning Commission. Following the public hearing, the Planning Commission shall issue its decision in writing with a statement setting forth its reasons for such decision within a reasonable time. Unless an appeal is filed in writing within 30 days of the written decision, the Planning and Zoning Board's decision shall be final. An appeal may be filed by the applicant or by any person who provided input on the requested Special Exception or who owns property within 200 feet of any boundary line of the property for which the Special Exception is being requested.
- (i) **City Council Review and Decision.** If a valid appeal is filed in writing within 30 days, the Zoning Official shall set a time and place for a public hearing by the City Council. The City Council shall take action to approve, approve with conditions or deny the application for a Special Exception with a statement setting forth its reasons for such decision within a reasonable time of the public hearing.
- (j) **Withdrawal of Applications.** Any application filed with the City may be withdrawn upon written request by the applicant at any time. However, if the request for withdrawal is made after publication of the notice of hearing, such withdrawal shall be only with the consent of either the Planning and Zoning Board or the City Council, whichever body has advertised the hearing. No new application concerning any or all of the same property shall be filed within 12 months of the consent to withdrawal action unless the consent of action specifies that the time limitation shall not apply and permits the

application to be withdrawn “without prejudice.” In the event an application is withdrawn, all action on the application will cease and the file will be closed out.

- (k) Approval Criteria for Requests Other Than an Additional Driveway. The Planning and Zoning Board and City Council shall use the following criteria, in addition to other reasonable considerations, in making their decision regarding approval or disapproval of a special exception application:
 - (1) The proposed use will not adversely affect the use of neighboring properties.
 - (2) The use shall comply with applicable district regulations and applicable provisions of the adopted Comprehensive Plan and Citywide Master Plan.
 - (3) The location, size and height of buildings structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings.
 - (4) The proposed use will be such that pedestrian and vehicular traffic generated will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood and on the streets serving the site.
- (l) Reserved.
- (m) Approval Criteria for Special Exception Requests for three driveway ingress/egress access for a single family property.
 - (1) Subject property must have a minimum of 150 linear feet of street frontage on a single street.
 - (2) The proposed driveways will not adversely affect the access or use of neighboring properties.
 - (3) The proposed driveways must maintain a minimum 20 foot separation through the right-of-way between each driveway.
 - (4) Maximum width. One driveway may be up to 24 feet in width through the right-of-way. Driveways two and three shall not exceed 16 feet in width through the right-of-way.
 - (5) No driveway shall be located closer than 7.5 feet from an adjoining lot under other ownership or in a recorded easement.
 - (6) All driveways shall meet all other regulations as delineated in Chapter 26, Article 10, Punta Gorda Code.
- (n) Compliance with Use Standards. As part of its special exception approval action, the Planning and Zoning Board and City Council shall have the authority to waive or modify

applicable use standards for particular uses set forth in Article 3 when determined necessary to accommodate reasonable use of the subject property. The Planning and Zoning Board and City Council shall have no authority to waive or disregard any of the Approval Criteria noted above.

- (o) Conditions and Safeguards. The Planning and Zoning Board and City Council may impose such additional conditions and safeguards as deemed necessary for the protection of the general welfare and individual property rights, and to ensure compliance with the intent and objectives of this Ordinance. Additional conditions may include, but need not be limited to, the following:
 - (1) Hours of operation;
 - (2) Landscaping, screening, buffer-yard and other site-related development standards;
 - (3) Access to the subject property;
 - (4) Lighting of the site, to include intensity and shielding, so as not to adversely affect adjacent or nearby property owners;
 - (5) Noise limitations as necessary to protect nearby property owners;
 - (6) Location, size and height of buildings;
 - (7) Location and height of walls and fences;
 - (8) Timing or phasing of development;
 - (9) Control of smoke, dust and odors; and
 - (10) Bonds and other performance guarantees, as required to ensure standards are met, plans are met and plans are implemented.
- (p) Amendments to Approved Special Exceptions. An amendment is a request for any enlargement, expansion or increase in intensity, or relocation of any previously approved and currently valid special exception use or condition thereof. The application and review process for an amendment of a special exception shall be the same as specified for the approval of the original exception.
- (q) Termination of Use. A special exception use shall be deemed terminated upon the occurrence of any of the following conditions:
 - (1) Two (2) years after the date of the approval of a Special Exception, unless a permit or occupancy permit has been issued for the use, if required. The Planning and Zoning Board or City Council, whichever issued final approval of the Special Exception, shall have in its sole discretion the authority to grant additional time, not to exceed a total of five (5) years from the initial Special Exception approval date, if no less than ninety (90) days prior to the date of expiration of the Special

Exception, the property owner makes application for an extension of the approved Special Exception. As part of the application, the property owner shall demonstrate that since the date of Special Exception approval it has been pursuing in good faith all required governmental authorizations for its proposed use and additional time is necessary to secure all such approvals.

- (2) If the use is discontinued, vacant or inactive for any reason for a continuous period of two years or more. The use shall be re-established only if a new Special Exception approval is obtained.
- (r) Revocation. A special exception approval may be revoked by the City Council, upon non-compliance and/or violation of any condition attached to the special exception, after notice and a public hearing pursuant to this Article.
- (s) Successive Applications. No application for a special exception use, which has been denied wholly or in part by the City Council, shall be resubmitted until the expiration of 12 months or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed conditions found to be sufficient by the Zoning Official to justify consideration by the City Council.

Section 16.9. Temporary Use Permits

- (a) Uses Permitted with a Temporary Use Permit.
 - (1) Retail sales of Christmas Trees, produce stands and other seasonal agricultural products and related goods on commercially zoned property, not to exceed 60 days.
 - (2) Temporary storage container on residential single family private property during minor construction or renovation/repair, not to exceed 45 days.
 - (3) Temporary office use, not to exceed six months; may be renewed if conditions warrant.
 - (4) Temporary construction office/sales center for associated development.
 - (5) If a State of Emergency is activated, the time allowances of temporary uses may be extended.
 - (6) Uses not otherwise permitted in the zone that can be made compatible for periods of limited duration and/or frequency.
 - (7) Limited expansion of any use that is otherwise allowed in the zone but which exceeds the intended scope of the original land use approval.

- (8) Other temporary uses, which, in the opinion of the Zoning Official are similar to the uses listed in this section or would be needed in a State of Emergency.

- (b) Any person desiring to establish a temporary use shall submit an application for a temporary use permit to the Zoning Official on an application provided by the City. Upon receipt of the temporary use application the Zoning Official shall determine if Development Review Committee review and/or City Council decision is required. If the Zoning Official deems that City Council decision is not required the Zoning Official is hereby authorized to grant a temporary use permit.

- (c) Criteria for Approval:
 - (1) The proposed temporary use will be compatible with adjacent uses and will not adversely affect the surrounding neighborhood by means of odor, noise, dust or other nuisances.
 - (2) If additional parking is required by the temporary use, the parking shall be provided on site.
 - (3) Increase in traffic caused by the temporary use will not adversely affect the surrounding neighborhood or City at large.
 - (4) The proposed site for the temporary use or structure is adequate in size and shape to accommodate the temporary use.
 - (5) The proposed site is adequately served by streets or highways having sufficient width and improvements to accommodate the kind and quality of traffic that such temporary use will or could reasonably generate.
 - (6) Permanent alterations to the site are prohibited.
 - (7) Permanent signs are prohibited. All approved temporary signs associated with the temporary use shall be removed when the activity ends.
 - (8) Placement of paper “flyers” on parked vehicles is prohibited.
 - (9) No person who is a repeat violator of the provisions of this Section may be issued a Temporary Use Permit for the use that was in violation.

- (d) General Regulations:
 - (1) Each temporary use shall be described in a permit thereby issued by the Zoning Official prior to commencement of the use. This permit shall be in addition to all other licenses, permit or approvals otherwise required by any governmental entity.

- (2) The number of additional parking spaces required for the temporary activity shall be determined by the Zoning Official.
 - (3) All sites shall be completely cleaned of debris and temporary structures including, but not limited to: trash receptacles, signs, stands, poles, electrical wiring or any other fixtures and appurtenances or equipment connected therewith within twenty-four hours after the termination of the sale or temporary use.
 - (4) Sanitary facilities: either portable or permanent, shall be made available to all employees, attendants and participants of the activity during its operation hours, as approved by the Zoning Official.
 - (5) No area of public right-of-way may be used without obtaining approval from the City Council.
 - (6) Proof of ownership or a notarized, signed letter from either the property owner or their authorized representative, for the property on which the activity is to take place shall be presented at the time the temporary permit is requested.
- (e) Conditions of Approval. The Zoning Official may impose such conditions on a temporary use permit as is necessary to meet the purposes of the Code and protect the public health, safety and welfare and adjacent uses. Conditions which may be imposed may include, but are not limited to:
- (1) Yard setback and open space requirements and visibility triangle.
 - (2) Parking.
 - (3) Fences, walls or other screening.
 - (4) Signs.
 - (5) Vehicular and pedestrian ingress and egress.
 - (6) Property maintenance during the course of the activity.
 - (7) Control of illumination, noise, odor, vibration or other nuisances.
 - (8) Hours of operation.
 - (9) Exterior lighting.
- (f) Termination. At the end of the time period for which the temporary use was permitted, including any renewal or extension periods, the use shall be discontinued and all temporary structures and signs shall be removed within twenty-four (24) hours. Failure to comply with this requirement shall be a violation of this Ordinance. The Zoning Official reserves the right to terminate any temporary use permits to protect the public health, safety and welfare.

- (g) Renewals, Extensions. Requests for the renewal or extension of a temporary use permit shall be made to the Zoning Official. The procedure for the renewal of a temporary use permit shall be the same as specified in this section for the approval of the original temporary use permit.
- (h) Revocation of Permit. The Zoning Official may revoke a temporary use permit at any time upon the failure of the owner or operator of the use covered by the permit to observe all requirements of the permit, this section and other relevant provisions of law, including failure to obtain appropriate business licenses. Notice of such revocation shall be given in writing by the Zoning Official to the owner or operator of the use, by hand delivery or certified mail, setting forth the reasons for the revocation, the date and time upon which the revocation is effective and the appeals procedure. This provision shall not preclude the use of any other remedy prescribed by law with respect to violations of the provisions of this Ordinance.
- (i) Appeal. Any person aggrieved by an action of the Zoning Official in granting, denying or revoking a temporary use permit may appeal the decision pursuant to Chapter 26-16.2 of the City Code. In the case of an appeal from the revocation of a temporary use permit, the aggrieved party may request a meeting with the Zoning Official. Within two business days of the meeting, the Zoning Official shall inform the aggrieved person, in writing, of the decision to affirm, modify or rescind revocation of the permit.

Section 16.10. Application for Variance

Owners of lands or structures or their designated agents may apply to the City of Punta Gorda for variance from the requirements or restrictions of the land development regulations; except that no appeal for use or density issues may be considered. Such applications must be submitted through the Zoning Official, stating specific variances requested.

- (a) Application. An application for a variance shall be filed with the Zoning Official on forms within the Urban Design Department. Required application forms, completed and signed by the applicant and property owner, shall accompany each application. Upon receipt of an application, the Zoning Official shall acknowledge acceptance or rejection of the application within ten business days from the date of submission. Upon acceptance, the Zoning Official shall determine if the application may be approved administratively or be transmitted to the Planning and Zoning Board for decision.

An application for a variance shall include a written statement with supporting evidence regarding compliance with the following approval criteria:

- (1) The particular provision of the Code which prevents the proposed construction on, or use of the property.
 - (2) The existing zoning of the property, including any previously approved conditions, or modifications.
 - (3) The special circumstances, conditions or characteristics of the land, building or structure that prevent the use of the land in compliance with the terms of this Ordinance.
 - (4) The particular hardship that would result if the specified provisions of the ordinance were to be applied to the subject property.
 - (5) The extent to which it would be necessary to vary the provisions of this Ordinance in order to permit the proposed construction on, or use of, the property.
 - (6) A disclosure statement of the real parties in interest signed by the applicant and notarized
- (b) Approval Criteria. No variance shall be approved unless all of the following statements are true with respect to the subject property:
- (1) That special conditions or circumstances exist which are particular to the size and characteristics of the land, structure or building involved which are not applicable to other lands, structures or buildings in the same zoning district.
 - (2) The strict and literal enforcement of the zoning regulations would create an undue hardship as distinguished from a mere inconvenience on the property owners. Physical handicaps or disability of the applicant and other considerations may be considered where relevant to the request.
 - (3) That such hardship is not shared generally by other properties in the same zoning district and in the same vicinity.
 - (4) The granting of the variance would not be injurious to or incompatible with contiguous uses, the surrounding neighborhood or otherwise detrimental to the public welfare.
 - (5) That the variance requested is the minimum modification of the regulation at issue that will afford relief.
 - (6) The condition giving rise to the requested variance has not been created by any person presently having an interest in the property and/or the conditions

cannot reasonably be corrected or avoided by the applicant.

- (7) The variance requested does not involve any use which is prohibited in the district where the property is located.
 - (8) The requested variance is consistent with the City of Punta Gorda Comprehensive Plan.
- (c) Burden of Persuasion. The burden of showing that a variance should be granted to alleviate undue hardship shall be on the applicant. The applicant shall be required to demonstrate that the granting of a variance will alleviate a clearly demonstrable hardship approaching confiscation as distinguished from a special privilege or convenience sought by the applicant or that strict application of the ordinance would effectively prohibit or unreasonably restrict reasonable use of the property by reason of any one of the following:
- (1) Exceptional narrowness, shallowness, size or shape of a specific piece of property at the time of enactment of this Ordinance.
 - (2) Exceptional topographic conditions or other extraordinary and exceptional situation or condition of such property.
 - (3) The condition situation or development of property immediately adjacent to the subject property.
- (d) Administrative Variance Approval. A variance application may be approved by the Zoning Official if the application meets the following requirements:
- (1). Variance requested must be for a relaxation of the minimum development standards of no more than ten (10) percent of the requirements but no greater than one foot of minimum yard requirements for an existing building. Existing buildings, as it applies to variances, means a building that has had the Certificate of Occupancy issued and has received approval for all location surveys as required during construction or has had the Certificate of Occupancy issued for a minimum period of three years prior to the discovery of a setback encroachment.
 - (2). Variance request must meet all of the conditions required by subsection (a), (b), and (c) above.
 - (3). Notice of intention to grant the required variance, stating the description of the property affected, including a description by street address if possible, the nature of the variance requested, and the existence of the right of appeal, shall be:

- a. published one time in a newspaper of general circulation published in the county
 - b. mailed to the owners as revealed by the current tax roll of each contiguous parcel
- (4). Within 15 calendar days of the publication of notice, but not thereafter, any interested person may apply in writing stating his name, the nature of his interest, and the nature of his objection, for a hearing of the matter before the BZA which shall conduct a public hearing on the matter in accordance with the procedures of subsections (e) through (l) below
- (e) Public Hearing. A public hearing shall be held on proposed variance applications. In the event the variance request is for a structure or modification of the lands located within six feet of the seawall for structures other than the required six feet of sod, a public hearing shall also be held before the appropriate canal advisory board to provide a ~~for~~ recommendation to the PZB. In addition to the variance criteria contained in Subsection (b) of this Section, applicants for variances to allow structures within six feet of a seawall must present evidence demonstrating that the proposed structures will not be detrimental to the integrity of the seawall, tie rods or deadmen. Absent a finding that the proposed structure will not be detrimental to the integrity of the seawall, tie rods or deadmen, the variance must be denied. Each public hearing requires newspaper and mail notification as set out in Section 16.1(g) of this Article.
- (f) PZB Review and Decision. Upon acceptance of a completed application, the Zoning Official shall set a time and a place for a public hearing by the PZB. The Zoning Official shall investigate the conditions pertaining to the particular variance requested and shall submit a written report at the hearing giving the facts involved. The parties in interest may appear. Following the public hearing, the PZB shall issue its decision in writing with a statement setting forth its reasons for such decision within a reasonable time. Unless an appeal is filed in writing within 30 days of the written decision, the PAB's decision shall be final. An appeal may be filed by the applicant or by any person who provided input on the requested Variance or who owns property within 200 feet of any boundary line of the property for which the Variance is being requested.
- (g) City Council Review and Decision. If a valid appeal is filed in writing within 30 days, the Zoning Official shall set a time and place for a public hearing by the City Council. The City Council shall take action to approve, approve with conditions or deny the application for a Variance with a statement setting forth its reasons for such decision within a reasonable time of the public hearing.
- (h) Approval. A variance shall be sustained only if the PZB or City Council finds through written findings of fact and conclusions that all of the conditions required by subsections (a), (b), and (c) above exist. The PZB or City Council shall file with the

Zoning Official its findings and shall provide a copy of the decision to the applicant and upon each other person who was a party of record at the hearing.

- (i) Conditions. In granting the variance, the PZB or City Council may prescribe appropriate conditions and safeguards in conformity with the zoning regulations, including but not limited to reasonable time limits within which the action for which variance is required shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of zoning regulations.
- (j) Withdrawal of Application. A variance may be withdrawn by the applicant at any time prior to the deadline for cancellation of the newspaper advertisement for the public hearing on the application. After that deadline, an application may be withdrawn only with the permission of the PZB or City Council.
- (k) Re-Application. If the appeal of a variance decision is denied by the City Council on its merits, no application requesting the same relief with respect to all or part of the same property shall be considered by the City within 12 months after the date of such denial.
- (l) Appeal. Any person aggrieved by the approval or denial of a variance by the City Council may appeal said decision to the Circuit Court within 30 days from the date of the decision.

Section 16.11. Zoning Map Amendments

Whenever the public necessity, convenience, general welfare, or practice requires, the City Council may amend, supplement, change or repeal the regulations in this Ordinance, or the boundaries or classification of property on the Zoning Map, in conformity with the provisions of this section.

- (a) Initiation of Application. Amendments to the boundaries or classification of property shown on the Official Map may be initiated by City Council, motion of the Planning and Zoning Board, or application of the owner, owner's authorized agent, or contract purchaser with the owner's written consent.
- (b) Pre-application Meeting. Prior to filing an application, the applicant shall meet with representatives from the Urban Design Department to discuss the requirements and the nature of the proposal. For purposes of this meeting, the applicant may provide a sketch plan of the proposed use drawn to scale, showing the general layout of the development and the relationship to the surrounding area.
- (c) Application Filing. Amendment applications shall be filed with the Urban Design

Department. The required application form must be completed and signed by the applicant and owner[s] of the property or their designated agent. Upon acceptance of a completed application, the application shall be forwarded to all appropriate reviewing agencies for comment.

- (d) Submittal Requirements. All amendment applications shall be accompanied by the following items:
 - (1) An application, on a form provided by the City, completed and signed by the applicant and owner[s] of the property or their designated agent.
 - (2) A disclosure statement of the real parties in interest signed by the applicant and notarized. The applicant shall keep this information current at all times during the processing of the application.
 - (3) A survey, signed and sealed by a certified land surveyor, completed not longer than 12 months in advance of the date of the application that contains the following information:
 - a. Boundaries of the entire property, with bearings and distances of the perimeter property lines and of each existing and proposed district classification.
 - b. Total area of the property and of each existing and proposed district classification presented in square feet and acres.
 - c. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat.
 - d. Location of all existing buildings and structures.
 - e. Names and route numbers of all boundary roads or streets, and the width of existing rights-of-way.
- (e) Planned Developments. Planned Development Districts shall be established in accordance with the procedures of this Section, as supplemented by the standards and procedures of Article 5.
- (f) Request for Waivers/Modifications of Submittal Requirements. Any submittal requirements may be waived by the Zoning Official. The applicant must clearly indicate by section and paragraph in the application and in a letter attached to the application, which waiver or modification is requested. To grant a waiver or modification the Zoning Official must determine that a requirement is not necessary for the full and adequate consideration of the application. The Zoning Official shall set forth in writing the reasons for such determination.
- (g) Consistency with City Plan. All amendment applications shall be reviewed for

consistency with the City's Comprehensive Plan. Inconsistency with the Plan shall be ~~one~~ reason for denial of an application.

- (h) Public Hearing Notice. The Planning and Zoning Board and City Council shall each hold a public hearing. The public hearing requires notice as set out in Section 16.1(g).
- (i) Planning and Zoning Board (PZB) Review and Recommendation. Upon acceptance of a completed application, the Zoning Official shall set a time and a place for a public hearing by the PZB. Following the public hearing, the PZB shall forward the proposed amendment to the City Council, together with a statement setting forth its reasons for such recommendation.
- (j) Withdrawal of Applications. Any application filed with the City of Punta Gorda may be withdrawn upon written request by the applicant at any time. However, if the request for withdrawal is made after publication of the notice of hearing, such withdrawal shall be only with the consent of either the Planning and Zoning Board or the City Council, whichever body has advertised the hearing. No new application concerning any or all of the same property shall be filed within 12 months of the consent to withdrawal action unless the consent of action specifies that the time limitation shall not apply and permits the application to be withdrawn "without prejudice." In the event an application is withdrawn, all action on the application will cease and the file will be closed out.
- (k) Approval Criteria. The Planning and Zoning Board and City Council shall use the following criteria, in addition to other reasonable considerations, in making their decision regarding approval or disapproval of an amendment application:
 - (1) Consistency with the Comprehensive Plan, including but not limited to the Land Use
 - (2) Compatibility policies.
 - (3) Consistency with any binding agreements with Charlotte County, as amended, or any regional planning issues, as applicable.
 - (4) Mitigation of traffic impacts.
 - (5) Compatibility with surrounding neighborhood and uses.
 - (6) Provision of adequate public facilities.
- (l) Successive Applications. Upon denial by the City Council of any application, the

same application shall not be filed within 12 months of the date of denial.

- (m) Appeals. An action contesting a decision of the City Council, adopting or failing to adopt a proposed map amendment, shall be filed within 30 days of the decision with the Circuit Court having jurisdiction of the land affected by the decision.

- (n) Amendment to Official Map. No changes or amendments to the Official Map shall be adopted, except in compliance and conformity with all procedures and requirements of this Ordinance. If, in accordance with procedures of this Ordinance, changes are made in district boundaries or other such information portrayed on the Official Map, such changes shall be made by the Zoning Official after adoption of the amendment. It shall be unlawful for any person to make any unauthorized change in the Official Map.

Article 17

Non-Conformities

Section 17.1. Purpose

The purpose of this Article is to regulate and limit the continued existence of non-conforming uses as defined in Article 19 that were established prior to the effective date of this Code Ordinance, or any amendment thereto, and that do not conform to this Code Ordinance. Any non-conformity created by a change in the classification of property or the text of these regulations shall be regulated by the provisions of this Article. Many non-conformities may continue, but the provisions of this Article are designed to curtail substantial investment in non-residential non-conforming uses non-conformities and to bring about their eventual elimination and/or lessen their impact upon surrounding conforming uses in order to preserve the integrity of the area in which it is located and the intent of this Ordinance.

Section 17.2. Non-conforming Uses

Non-conforming uses of land or structures, and nonconforming structures that contain nonconforming uses, may continue only in accordance with the provisions of this Article. This Article shall only apply to the extent said non-conformities fully and clearly meet the definition of “non-conforming use” in Article 19 of this Ordinance.

- (a) Non-conforming Residential Uses. Normal repair and maintenance to structures may be performed to allow the continuation of a non-conforming residential use in that structure. The structure may be modified, enlarged, or rebuilt as permitted by current regulations provided that residential density is not increased and that no new non-conforming uses are created. Note the following special requirements in this code:
- (1) Changes to the exterior of any residential structure that has been listed on the Local Register of Historic Places must first obtain a certificate of appropriateness in accordance with Section 16.3.
 - (2) All residential structures in the designated floodplain that are being modified or rebuilt at a cost above 50% of the market value of the existing structure are subject to special provisions that may require elevating the lowest floor above the base flood elevation for that property. See Article 5 of Chapter 7 for the entire floodplain management code, including certain exceptions for structures listed in the Local Register of Historic Places that are within the floodplain.

- (b) Non-conforming Non-Residential Uses.
- (1) A non-conforming non-residential use shall not be enlarged by additions to the structure in which the non-conforming non-residential use is located, either attached or detached; and the continued existence of the non-conforming non-residential use cannot be the basis for creating additional non-conforming uses in the structure.
 - (2) However, if a non-conforming non-residential use can expand within the existing structure, it may do so as long as the Zoning Official determines that the interior expansion will not have a negative impact upon surrounding conforming uses. Any occupation of additional lands beyond the boundaries of the lot on which said non-conforming non-residential use is located is prohibited.
 - (3) Changes to the exterior of any non-residential structure that has been listed on the Local Register of Historic Places must first obtain a certificate of appropriateness in accordance with Section 16.3.
 - (4) All non-residential structures in the designated floodplain that are being modified or rebuilt at a cost above 50% of the market value of the existing structure are subject to special provisions that may require elevating the lowest floor above the base flood elevation for that property. See Article 5 of Chapter 7 for the entire floodplain management code, including certain exceptions for listed historic structures in the floodplain.
- (c) Less intense Non-Conforming Use. A non-conforming use may be changed to another equal or less intense non-conforming use pursuant to approval by the City Council, upon review and recommendation of the Planning Commission, when such change is not detrimental to the health, safety, and welfare of the surrounding area.
- (d) Changed to a Conforming Use. Once a non-conforming use has been changed to a conforming use, it shall not thereafter be used for any non-conforming use.
- (e) Non-conforming Use is abandoned. If a non-conforming use is abandoned for 365 +80 days or more, the use shall not be allowed to re-establish. All new uses in said structure shall thereafter be conforming.

Section 17.3. **Reserved**

Section 17.4. **Reserved**

Section 17.5. Reserved

Section 17.6. Non-conforming Lots of Record

- (a) When a non-conforming lot of record can be used in conformity with all the regulations applicable to the intended use, except the lot is smaller than the required minimums set forth in Article 3, the lot may be used as proposed just as if it were conforming. However, no use that requires a greater lot size than the minimum lot size for a particular zone is permissible on a non-conforming lot.
- (b) When the use proposed for a non-conforming lot of record is one that is conforming in all respects but the applicable setback requirements cannot be reasonably complied with, the Board of Zoning Appeals may allow variances ~~deviations~~ from the applicable setback requirements based upon conditions found in Article 16.10.

ARTICLE 18

VIOLATIONS, PENALTIES, AND ENFORCEMENT

Section 18.1. Responsibility for Enforcement

The Zoning Official or his designee shall have the authority and the duty to ensure that all buildings and structures and the use of all land complies with the provisions of this Ordinance. In acting to enforce this Ordinance, the Zoning Official or his designee, or authorized agent thereof, shall act in the name of the City of Punta Gorda. The Zoning Official or his designee shall have all necessary authority on behalf of the City Council to administer and enforce this Ordinance.

Section 18.2. Violations

Unless otherwise expressly allowed by this Ordinance or state law, any violation of this Ordinance, including but not limited to the following, shall be subject to the remedies and penalties provided for in this Ordinance.

- (a) To use land or buildings in any way not consistent with the requirements of this Ordinance.
- (b) To erect a building or other structure in any way not consistent with the requirements of this Ordinance.
- (c) To engage in the development or subdivision of land in any way not consistent with the requirements of this Ordinance.
- (d) To transfer title to any lots or parts of a development unless the land development plan or subdivision has received all approvals required and an approved plan or plat, if required, has been filed in the appropriate office.
- (e) To submit for recording, any subdivision plat, land division or other land development plan that has not been approved in accordance with the requirements of this Ordinance.
- (f) To install or use a sign in any way not consistent with the requirements of this Ordinance.
- (g) To engage in the use of a building or land, the use or installation of a sign, the subdivision or development of land or any other activity requiring one or more permits or approvals under this Ordinance without obtaining all such required permits or approvals.
- (h) To engage in the use of a building or land, the use or installation of a sign, the subdivision or development of land or any other activity requiring one or more

permits under this Ordinance in any way inconsistent with any such permit or approval or any conditions imposed thereon.

- (i) To violate the terms of any permit or approval granted under this Ordinance or any condition imposed on such permit or approval.
- (j) To obscure, obstruct or destroy any notice required to be posted or otherwise given under this Ordinance.
- (k) To violate any lawful order issued by any person or entity under this Ordinance.
- (l) To continue any violation as defined above, with each day of continued violation to be considered a separate violation for purposes of computing cumulative civil or criminal penalties.

Section 18.3. Penalties and Remedies

In case any structure is erected, constructed, reconstructed, altered, repaired, converted or maintained in violation of this Ordinance, or any lands or buildings are used in violation of this Ordinance, an action for injunction, mandamus, or other appropriate action or proceeding to prevent such violation may be instituted by the Zoning Official or designee.

- (a) Primary Remedy. The primary vehicle for enforcement of the Regulating Ordinance will be vested within the Code Enforcement Board of the City of Punta Gorda, or a Special Master appointed by City Council.
- (b) Secondary Remedy. The Zoning Official or designee may apply to a court of competent jurisdiction for any appropriate equitable remedy to enforce the provisions of this Ordinance. It is not a defense to the Zoning Official or his designee's application for equitable relief that there are other remedies provided under general law or this Ordinance.
- (c) Injunction. Enforcement of the provisions of this Ordinance may also be achieved by injunction. When a violation occurs, the Zoning Official or his designee may, either before or after the institution of other authorized action, apply to the Circuit Court for a mandatory or prohibitory injunction commanding the defendant to correct the unlawful condition or cease the unlawful use of the property.
- (d) Order of Abatement. In addition to an injunction, the Zoning Official or his designee may apply for an order of abatement as part of the judgment in the case. An order of abatement may direct any of the following actions:
 - (1) Buildings or other structures on the property be closed, demolished, or removed
 - (2) Fixtures, furniture or other moveable property be moved or removed entirely.
 - (3) Improvements, alterations, modifications or repairs to be made.

(4) Any other action be taken that is necessary to bring the property into compliance with this Ordinance.

(e) Criminal. Any person, firm or corporation convicted of a criminal act violating the provisions of this Ordinance shall, upon conviction, be guilty of a misdemeanor and shall be fined an amount not to exceed \$500 and/or imprisoned for a period not to exceed 30 days. Each day of violation shall be considered a separate offense, provided that the violation of this Ordinance is not corrected within 30 days after notice of said violation is given.

(f) Stop Work/Use Order Issuance and Revocation of Permits. Whenever a building, structure or part thereof is being constructed, demolished, renovated, altered, or repaired or any lands or buildings are being used in substantial violation of any applicable provision of this Ordinance, the Zoning Official or his designee may order the specific use or part of the work that is in violation, or would be when the work is completed, to be immediately stopped. The stop work/use order shall be in writing, directed to the person performing or in charge of the use or doing the work, and shall state the specific use or work to be stopped, the specific reasons for cessation and the actions necessary to lawfully resume a use or work. The Zoning Official or his designee may revoke any permit by written notification to the permit holder when violations of this Ordinance have occurred. Permits may be revoked when false statements or misrepresentations were made in securing the permit, a use or work is being or has been done in substantial departure from the approved application or plan, there has been a failure to comply with the requirements of this Ordinance, or a permit has been mistakenly issued in violation of this Ordinance. Failure to comply with a Stop Work/Use Order is punishable as provided in Section 1-6, Chapter 9A, and Section 18.3, Chapter 26 of the City Code of Ordinances.

Section 18.4. Liability

The owner, tenant or occupant of any land or structure, or part thereof, or any architect, builder, contractor, agent or other person who participates in, assists, directs, creates or maintains any situation that is contrary to the requirements of this Ordinance shall be held jointly and severally responsible for the violation and be subject to the penalties and remedies provided herein.

Section 18.5. Remedies and Enforcement Powers

The City shall have the following remedies and enforcement powers:

- (a) Revoke Permits. Any permit or other form of authorization required under this Ordinance may be revoked by Zoning Official or his designee when Zoning Official or his designee determines:
- a. That there is departure from the plans, specifications, or conditions as required under terms of the permit.
 - b. That the development permit was procured by false representation or was

issued by mistake.

- (b) Stop Work/Use. Whenever a building or part thereof is being constructed, reconstructed, altered or repaired or lands or buildings used in violation of this Ordinance, the Zoning Official or his designee may order the work or use to be immediately stopped. The stop-work/use order shall be in writing and directed to the person performing or in charge of the use or doing the work. The stop-work/use order shall state the specific use or work to be stopped, the specific reasons for the stoppage, and the conditions under which the use or work may be resumed. Failure to comply with a stop work/use order is punishable as provided in Section 1-6, Chapter 9A, and Section 18.3, Chapter 26 of the City Code of Ordinances.
- (c) Injunctive Relief. The City may seek an injunction or other equitable relief in court to stop any violation of this Ordinance or of a permit, certificate or other form of authorization granted hereunder.
- (d) Abatement. The City may seek a court order in the nature of mandamus, abatement, injunction or other action or proceeding to abate or remove a violation or to otherwise restore the premises in question to the condition in which they existed prior to the violation.
- (e) Penalties. The City may seek such other penalties as are provided by law.
- (f) Other Remedies and Powers. The City shall have such other remedies and enforcement powers as are and as may be from time to time provided by Florida law for the violation of zoning, subdivision, sign or related provisions.

Section 18.6. Continuation of Previous Enforcement Actions

Nothing in this Ordinance shall prohibit the continuation of previous enforcement actions, undertaken by the City pursuant to previous and valid ordinances and laws.

Section 18.7. Remedies Cumulative

The remedies and enforcement powers established in this Ordinance shall be cumulative, and the City may exercise them in any order.

Section 18.8. Persons Subject to Penalties

The owner or tenant of any building, structure, premises, or part thereof, and any architect, builder, contractor, or agent, or other person who commits, participates in, assists in, or maintains such violations may each be found guilty of a separate offense and be subject to the above penalties.

Article 19

Definitions

Section 19.1. Intent

Words and terms used in this Code shall be given the meanings set forth in this section. All words and terms not specifically defined in this section shall be given their common, ordinary meanings, as the context may reasonably suggest. The reference for common, ordinary meanings shall be the latest online edition of Merriam-Webster Dictionary.

Section 19.2. Interpretation

- (a) Words used in the present tense include the future tense.
- (b) Words used in the singular number include the plural, and words used in the plural number include the singular.
- (c) Any word denoting gender includes the female and the male.
- (d) The word "person" includes a firm, association, organization, partnership, corporation, trust, ~~and~~ or company as well as an individual.
- (e) The words "lot", "plot", "parcel", or "tract" may be used interchangeably.
- (f) The word "shall" is always mandatory and not merely directory.
- (g) The word "structure" shall include the word "building."
- (h) The word "District Map," or "Land Development Map," shall mean the Official Zoning Map of Punta Gorda, Florida.
- (i) The term "City Council" shall mean the "City Council of the City of Punta Gorda, Florida."
- (j) The term "Planning and Zoning Board " or "PZB" shall mean the "Planning and Zoning Board of the City of Punta Gorda, Florida."
- (k) The term "Zoning Official" shall mean the "Zoning Official of Punta Gorda, Florida."
- (l) The term "Urban Design Department" shall mean the "Urban Design Department of the City of Punta Gorda, Florida."

- (m) The terms “Ordinance”, “Code”, and “Land Development Code” shall be synonymous and refer to the “City of Punta Gorda Land Development Regulations.”

Section 19.3. Use Groups

For purposes of this section, the words and terms defined below shall have the following meaning:

Use Groups: Use group means any of the four groups of land uses that the TPG (Traditional Punta Gorda) zoning district employs to define uses that are permitted by right, permitted by right with conditions, permitted by special exception, permitted as accessory uses, or as not permitted. The four use groups are Residential Uses, Lodging Uses, Business Uses, and Civic & Education Uses. Some terms used in these four groups are defined alphabetically in this article; the following terms are defined immediately below as they apply to these four groups:

(a) Residential Uses

- (1) Residences: A residence is a building or portion of a building used primarily as a non-transient private dwelling. Other uses may be permitted on the same lot if those uses qualify as residential accessory uses. (New residential buildings must comply with limits on height and density and with building-type limitations for each regulating district; see Section 3.3)
- (2) Assisted living facilities: An establishment that provides housing for the infirm or elderly and which may also provide meals and limited personal services. Assisted living facilities may be a part of a larger facility such as a nursing home, but for purposes of the TPG zoning district, those additional services may not be provided in the same facility unless they are specifically permitted.
- (3) Transitional community residences: A transitional community residence provides a relatively temporary (less than a year) living arrangement for unrelated people with disabilities, including those with substance use disorder who have undergone detoxification at another location. A transitional community residence emulates a biological family and integrates residents into the surrounding community. Medical treatment is incidental as in any home. Transitional community residences include, but are not limited to, those residences that comport with this definition that are licensed by the Florida Agency for Persons with Disabilities, the Florida Department of Elder Affairs, the Florida Agency for Health Care Administration, and the Florida Department of Children and Families, under F.S. ch. 419, and sober homes

certified by the State's designated credentialing entity established under F.S. § 397.487.

(4) Residential accessory uses: Residential accessory uses are any uses of a building or lot that are customarily incidental and subordinate to the permitted residential use. Residential accessory uses include, but are not limited to, the following uses:

- Home-based business that complies with Article 4 of this code.
- Accessory dwelling that complies with Article 4 of this code.
- Day care home, as defined in Article 19.

(b) Lodging Uses

(1) Lodging accessory uses: Lodging accessory uses are any uses of a building or lot that are customarily incidental and subordinate to hotels and which, if enclosed, require less than 10 percent of the gross floor area. Lodging accessory uses include, but are not limited to, the following uses:

- Meeting rooms
- Recreational facilities such as swimming pools
- Restaurants
- Certain uses within or connected to hotels are not considered lodging accessory uses and are allowed only if specifically permitted as Business Uses in Section 3.3 of this code; these uses include bars, nightclubs, marinas, conference centers, drive-through facilities, etc.

(c) Business Uses

(1) Stores & services, general: Establishments that sell food or merchandise or provide personal, professional, or business services. The following uses are NOT considered 'Stores & services, general' for purposes of this code:

- Adult establishment
- Amusement facilities (indoor)
- Bars and nightclubs
- Convenience stores with fuel
- Drive-through facilities
- Health care facilities
- Kennels, indoor/outdoor
- Light industrial uses
- Marinas and yacht clubs

- Mini-storage facilities
 - Nursing homes
 - Offices, general and medical
 - Parking (as primary use)
 - Restaurants
 - Sidewalk café
 - Stores & services, large format
 - Vehicle and boat sales & service
 - Warehousing or distribution
- (2) Convenience Store with Fuel: An establishment that provides limited services primarily to the motoring public such as fuel sales, car washing, or car detailing, and that may also sell merchandise including food and beverages.
- (3) Pharmacy: An establishment as defined by Florida Statute 465 and any other establishment treated equally by Florida Statute
- (4) Stores & services, large format: This term has the same meaning as ‘Stores & services, general’ as defined by this code, except that the establishment contains over 30,000 square feet of enclosed floor area or over 10,000 square feet of outdoor sales or outdoor storage area.
- (5) Offices, general and medical: An office, general and medical, is a room or group of rooms not within a residence that is used to conduct the affairs of a business, profession, service, or government and that is generally furnished with desks, tables, files, and equipment specific to the enterprise.
- (6) Nursing Homes: An establishment that provides housing, meals, personal care, and nursing care to ill, disabled, or elderly people. Nursing homes provide around-the-clock care for intermediate and long-term stays. Nursing homes may be a part of a larger facility that also includes an assisted living facility or other ancillary facilities.
- (7) Vehicle and boat sales & service: An establishment whose primary business is selling or servicing new or used vehicles including automobiles, motorcycles, golf carts, light trucks, boats, recreational vehicles, trailers, etc.
- (8) Light industrial uses: Establishments that conduct light manufacturing, but not heavy manufacturing, as those terms are defined alphabetically in Article 19. Also excluded are impound lots, junkyards, scrapyards, auto salvage yards, construction/demolition yards, essential services Class 3, helistops, warehouse/district centers, and other uses with external impacts greater than light manufacturing.

- (9) Business accessory uses: Uses and structures which are customarily incidental and subordinate to permitted business uses.

(d) Civic & Education Uses

- (1) Places of worship: A special-purpose building that is architecturally designed and particularly adapted for the primary use of conducting formal religious services on a regular basis. Some places of worship wish to include related uses such as schools, day care centers, or conference centers; the inclusion of such uses are regulated by Section 3.3 as if they were separate uses.
- (2) Conference centers: An establishment that hosts public or private events and may also host regional or national meetings or exhibitions. A conference center may be an independent entity or may be associated with or be an integral part of a hotel.

Section 19.4. General Definitions

For purposes of this section, the words and terms defined below shall have the following meaning. For definitions associated with Airports, Electric Vehicles and Charging stations, Fences, Privacy Walls, & Hedges, Landscaping, Mobile Food Dispensing Vehicles, and Signs, see Sections 19.5 through 19.10

Auto-Dependent Use: means that the use serves automobiles and/or other motor vehicles and the use cannot function without them.

Auto-Oriented Use: means any use that provides service to, or predominantly accommodates access for, motor vehicles. These include, but are not limited to, large surface parking lots, drive-thru facilities, motor vehicle sales, service and repair, motor vehicle fuel sales and service and similar uses that, by their nature, are built with special accommodations for service directly to the automobile.

Applicant means any person who makes application to the City of Punta Gorda for a non-motorized vehicle for hire permit.

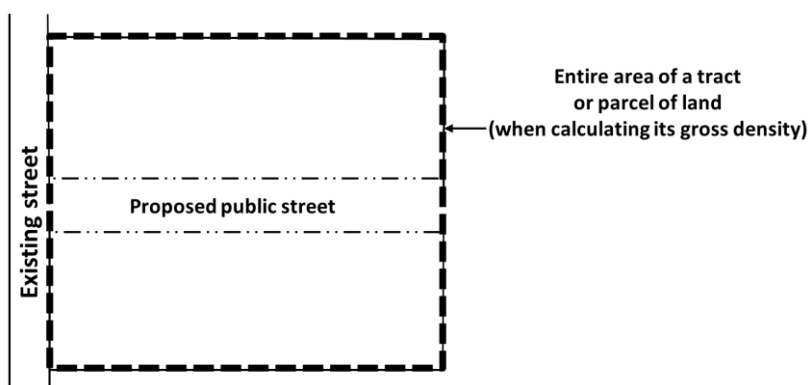
Day-Night Sound Levels (DNL): A day-night 24-hour average sound level measurement, expressed in decibels, obtained after addition of ten decibels to sound levels during the nighttime period from 10:00 PM to 7:00 AM.

Day Care Centers: A place licensed by the State, if applicable, where daytime care, which may include some instruction, is provided to 6 or more children or adults who

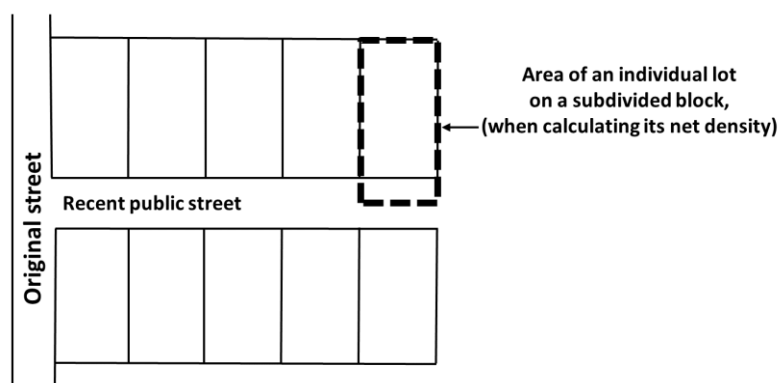
do not reside in the facility, and who are not the legal wards or foster children or relatives of the attendant adult within an occupied residence.

Day Care Home [small]: A facility in a dwelling unit; licensed by the State, if applicable; providing care for six or fewer children or adults who do not reside in the facility, are present during daytime hours, and do not stay overnight; and which may include some instruction.

Density, Gross: The number of dwelling units on the entire area of a tract or parcel of land.



Density, Individual Lot: The net density of individual lots on subdivided blocks is calculated by dividing the number of dwelling units on the lot by the area of the lot plus one-half the area of a public right-of-way abutting that lot.



Density, Net: The number of dwelling units on a tract or parcel of land minus the area of public rights-of-way, areas of flood hazard, lakes or water bodies, or wetlands under the jurisdiction of the U.S. Army Corps of Engineers.

Department shall mean the Urban Design Division, Growth Management Department.

District: An area delineated on the Zoning Map which sets forth standards and guidelines for all development within. See Section 3.1 for a list of base, overlay, and planned development districts, and see Section 3.2 for a list of regulating districts and overlay districts in the Traditional Punta Gorda (TPG) base district.

Division: shall mean the Florida Department of Business and Professional Regulation, Division of Hotels and Restaurants.

Driver or operator means any individual operating a non-motorized vehicle for hire, either as an owner, agent, employee or otherwise.

Employee or employees shall include, but is not limited to, the owner or owners of the restaurant, or any person hired to work for the restaurant or food service establishment.

Exotic Animals: means and includes any wild mammal, reptile or fowl which is not naturally tame or gentle, but is of a wild nature or disposition, and which, because of its size, vicious nature or other characteristics, would constitute a danger to human life or property.

Farm Animals: means any animals used for agricultural purposes.

Health Care Facility: A facility or institution, whether public or private, principally engaged in providing services for health maintenance and the treatment of mental or physical conditions. Health care facilities include general or specialty hospitals, public health centers, diagnostic centers, treatment centers, rehabilitation centers, extended care facilities, long-term care facilities, residential health care facilities, outpatient clinics and dispensaries. They may include laundries, cafeterias, gift shops, laboratories, helistops, and medical offices as accessory uses.

Horse Drawn Carriage means any hack or carriage which is drawn by a horse or mule for the transportation of passengers for hire or compensation.

License: means a current and valid license for a mobile food dispensing vehicle granted by the State of Florida Department of Business and Professional Regulation, Division of Hotels and Restaurants, the State of Florida Department of Agriculture and Consumer Affairs, or any successor agency.

Marina: means the placement and construction of structure and facilities on a parcel of land intended to establish as the principal use of such land the lease, rental or sale of boat docks located in a directly abutting navigable waters. All marinas shall at a minimum provide for permanent, on-site amenities to include: Restroom facilities, shelter from inclement weather, phone service, water and sewer service, trash collection, security lighting, emergency vehicle access and such other amenities as shall be required by the Development Review Committee. All marinas must meet the development standards contained in these zoning regulations (e.g. lot size, lot width, lot depth, etc.) The following definitions are the types of marinas permitted by this code.

- (1) **Marina Industrial:** means a marine-oriented establishment engaged in the construction, manufacture, sale, maintenance, repair, docking and storage of commercial boats, barges and watercraft; and accessories including engines, motors, winches, mechanical equipment, supplies, the sale of fuel, lubricants and provisions; (or) receiving, processing, storage and distribution of seafood products. Boats and watercraft used for living purposes shall be in the water and shall meet the requirements of the State Board of Health.
- (2) **Marina Sports:** means dockage and storage, wet or dry, of boats and watercraft used for pleasure or sports purposes and accessories, including motors, trailers, equipment and supplies. The sale of fuel and lubricants, provisions, bait and tackle shall be permitted.

Mixed Use: The presence of residential and non-residential uses within the same complex or same building. Mixed use can also refer to different categories of non-residential uses such as institutional, retail, and office within the same complex of building. The advantage of mixed uses is the promotion of architectural compatibility and pedestrian scaled environments.

Neighborhood Commercial Fueling Stations: Neighborhood Fueling Stations, by definition, permit retail sale of fuel and convenience products and minor service and repair of motor vehicles.

- (1). The number of positions where vehicles can be parked while fueling is limited to 6.
- (2). Buildings shall meet the relevant ~~design, building and architectural~~ provisions of Article 7.
- (3). Fueling pumps, canopies and associated service areas are prohibited in any required yard

Non-Conforming Lot of Record: A lot described by a plat or a deed that was recorded prior to the effective date of these regulations [or their amendments] that does not meet the minimum lot size or other development requirements of Chapter 26.

Non-Conforming Uses: Any actual and active use lawfully being made of any land, building, ~~sign~~ or structure not otherwise abandoned, which exists on the effective date of this Code or on the effective date of any amendment thereto, and renders such existing use illegal within a zoning district, or ~~which~~ when the use does not comply ~~in~~ with all of the conditions for uses (Article 4) and all the standards of general applicability for the use (Article 8) that are provided in Chapter 26.. If the property or structure is vacant or unused after 365 days from ~~on~~ the effective date of this Code or any amendment thereto, it shall be conclusively presumed that the use of the property or structure is subject to the provisions of this or any amendments thereto.

Non-motorized vehicle for hire means any pedi-cab or horse drawn carriage operated by a driver which provides seating accommodations for passengers for a fee.

Outdoor Dining Area: is that portion of a public food service establishment which is predominantly or totally open on all sides with seats and/or tables located outdoors of the restaurant, coffee shop or other food service establishment. The area is considered predominantly open on all sides if than 50% of the combined surface area of the sides creates a physical barrier which obstructs the free flow of air. The portion of the outdoor dining area that allows dogs must be able to be accessed without passing through other outdoor dining areas or the enclosed building in which the restaurant operates.

Overlay District: A set of regulations which add an additional layer of design provisions to an underlying use district. See Section 3.1 for a list of overlay districts.

Pedi-cab means any vehicle which is propelled solely by human/bicycle power and which is used for transporting passengers.

Permit means a permit authorizing the holder thereof to engage in the business of operating non-motorized vehicles for hire within the City limits.

Permittee means the person issued a permit under the provisions of this Section.

Permitted Route Area means a route or routes within the approved route overlay area that have been specifically reviewed and approved by City staff.

Person means all persons, partnerships, firms, companies, corporations and any others whatsoever owning, controlling or having charge of a non-motorized vehicle for hire.

Pharmacy: An establishment as defined by Florida Statute 465 and any other establishment treated equally by Florida Statute

Primary structure: means the structure in which the primary use of a given lot is conducted, as distinguished from a secondary or accessory structure.

Private realm: the privately owned places that aren't accessible by everyone. These can include private yards or buildings.

Public realm: the publicly owned places and spaces that belong to and are accessible by everyone. These can include municipal streets, lanes, squares, plazas, sidewalks, trails, parks, open spaces, waterfronts, public transit systems, conservation areas, and civic buildings and institutions.

Remote Docking Facilities: A dock or multiple docks where no principal use exists on the upland property directly adjoining the facility, or the adjacent property does not meet the minimum development standards contained in these regulations for development. Remote docking shall also include the anchoring or docking of any live aboard boat except as authorized by Section 8.6 of Chapter 26. A single non-commercial dock abutting a vacant property zoned general single family (GS) that meets minimum development standards shall not be considered a remote docking facility and may only be used for a single boat owned by the upland property owner.

Restaurant, also called a food service establishment: is an establishment where food and drink are prepared, served and consumed, mostly within the principal building.

Street means all rights-of-way, public streets, avenues, boulevards, alleys, lanes, highways, sidewalks, public parks, parking roads and other places laid out for the use of motorized and non-motorized vehicles.

Zoning Official shall mean the Zoning Official of the City of Punta Gorda and his/her designee.

Section 19.5. Airport (Section 3.19) Definitions

The terms regarding the airport from Article 3, Section 3.19 APO, Airport Protection Overlay, and all other airport-related terms are defined below:

- (1) **Aeronautical Study:** A Federal Aviation Administration study, conducted in accordance with the standards of Title 14 Code of Federal Regulations part 77 and Federal Aviation Administration policy and guidance, on the effect of proposed construction or alteration upon the operation of air navigation facilities and the safe and efficient use of navigable airspace.
- (2) **Airport:** Any area of land or water designed and set aside for the takeoff and landing of aircraft and used or to be used in the interest of the public for such purpose.
- (3) **Airport Elevation:** The highest point of an airport's usable landing area measured in feet above mean sea level. The airport elevation at the Punta Gorda Airport is 26 feet.
- (4) **Airport Hazard Area:** Any area of land or water upon which an airport hazard might be established.
- (5) **Airport Hazard:** Any structure, object of natural growth, or use of land which would exceed the federal obstruction height standards as contained in Title 14 of the Code of Federal Regulations (C.F.R.) Chapter One, Subchapter E, Part 77 and which obstructs the airspace required for flight of aircraft in takeoff,

maneuvering, or landing at an airport or is otherwise hazardous to such taking off, maneuvering, or landing of aircraft.

- (6) Airport Layout Plan: A set of scaled drawings that provide a graphic representation of the existing and future development plan for the airport and demonstrate the preservation and continuity of safety, utility, and efficiency of the airport.
- (7) Airport Notification Area for the Federal Aviation Administration (FAA): All lands within six statute miles of the airport reference point for public-use airports.
- (8) Airport Notification Area for the Florida Department of Transportation (FDOT): All lands within ten nautical miles of the airport reference point for public-use airport.
- (9) Airport Notification Area for the Heliports: All lands within one statute miles of the airport reference point for heliports.
- (10) Airport Operational Area: The area that includes all areas designated and used for landing, taking off, or surface maneuvering of aircraft. The area includes ramps, aprons, runways and taxiways.
- (11) Airport Reference Point: An airport reference point (ARP) is the center point of an airport, located at the geometric center of all the usable runways. The ARP is computed as a weighted average of the end of runway coordinates.
- (12) Approach Zone: An area longitudinally centered on the extended runway centerline and extending outward and upward from each end of a runway's Primary Zone. An Approach Zone is determined for each runway based upon the type of approach available or planned for that runway end.
- (13) Avigation Easement: The assignment of a right to an airport proprietor to a portion of the total benefits of the ownership of real property. The selected rights may be granted to the airport proprietor or may be purchased by him.
- (14) Heliport: A landing facility to be used by helicopters only
- (15) Nautical Mile: A nautical mile is equal to 6,076 feet.
- (16) Noise Reduction (NR): Reduction in decibels of sound pressure levels between two designated locations or rooms for a stated frequency or band.

- (17) Non-conforming Use: For purposes of airport protection and land development regulations in this section, any pre-existing structure, object of natural growth, or use of lands, which is inconsistent with these provisions.
- (18) Non-precision Instrument Runway: A runway having a non-precision instrument approach procedure utilizing air navigation facilities with only horizontal guidance, or area type navigation equipment, for which a straight-in non-precision instrument approach procedure has been approved or planned, and for which no precision approach facilities are planned or indicated on an FAA planning document or military services' military airport planning document.
- (19) Precision Instrument Runway: A runway having an instrument approach procedure utilizing an instrument landing system (ILS) or a precision approach radar (PAR). It also means a runway for which a precision approach system is planned and is so indicated on an FAA-approved airport layout plan; a military services' approved military airport layout plan; any other FAA planning document, or military services' military airport planning document.
- (20) Private-Use Airport: A privately-owned airport not open to the public or operated for public benefit.
- (21) Public-Use Airport: An airport, licensed by the state, which is open to public use without prior permission. It may or may not be publicly owned. The Punta Gorda Airport, also referred to as "PGD", operated by the Charlotte County Airport Authority is a public-use airport.
- (22) Qualified Acoustical Consultant: A person who, because of his training and experience in the science and technology of acoustics and his knowledge of construction methods and materials, is considered qualified to pass judgment on acoustical designs, materials and methods of construction for the attenuation of noise.
- (23) Runway: A defined rectangular area on an airport prepared or suitable for the landing or takeoff of aircraft.
- (24) Runway Protection Zone: An area at ground level beyond the runway end to enhance the safety and protection of people and property on the ground.
- (25) Sound Level Reduction (SLR): Different in decibels between the sound level outside a building and the sound level inside a designated room of the building which is caused by exterior noise.
- (26) Site-Specific Analysis (SSA): The process by which a proposed land use in a designated aircraft noise-impacted area is examined for compliance with the

county land use plan, and the noise zone map or land use guidance chart contained herein. Site-specific analysis enables the permit or plot applicant to be advised of the type of construction needed to meet the sound level reduction requirements.

- (27) Statute Mile: A statute mile is equal to 5,280 feet.
- (28) Structure: Any object, constructed or installed by man, including but not limited to: buildings, towers, smoke stacks, utility poles and overhead transmission lines.
- (29) Utility Runway: A runway that is constructed for and intended to be used by propeller driven aircraft of 12,500 pounds maximum gross weight and less.
- (30) Visual Runway: A runway intended solely for the operation of aircraft using visual approach procedures and without an existing straight-in instrument approach.

Section 19.6. Electric Vehicles and Charging Stations
(Section 10.3 (k)) Definitions

The terms for electric vehicles and charging stations from Article 10, Section 10.3 (k), and all other related terms are defined below:

- (1) Electric vehicle shall mean any motor vehicle register to operate on public roadways that operates either partially or exclusively on electric energy. Electric vehicles include:
 - i. Battery-powered electric vehicles
 - ii. Plug-in hybrid electric vehicles
 - iii. Electric motorcycles
- (2) Electric vehicle charging level shall mean the standardized indicator of electrical force or voltage at which the battery of an electric vehicle is recharged, as follows:
 - i. Level 1 transfers 120 volts (1.4-1.0kW) of electricity to an electric battery.
 - ii. Level 2 transfers 220 volts (up to 19.2kW) of electricity to an electric vehicle battery
 - iii. Level 3 (also known as DC Fast Chargers) transfer a high voltage of at least 400 volts or 50kW, depending on the electrical current, of direct current electricity to an electric vehicle battery.

- (3) Electric vehicle parking space shall mean an off-street parking space this is equipped with an electric vehicle charging station.
- (4) Electric vehicle charging station shall mean battery charging equipment that has as its primary purpose the transfer of electric energy (by conductive or inductive means) to a battery or other energy storage device in an electric vehicle.

Section 19.7. Fences, Privacy Walls, and Hedges (Section 8.5) Definitions

The terms for fences, privacy walls and hedges from Article 8, Section 8.5, and all other related terms are defined below:

- (1) Fence. Any artificially constructed barrier of any material or combination of materials constructed along the full length, or portion thereof, of any or all property line(s), or within the property for the purpose of protection or confinement or as a boundary or for the purpose of blocking part of the property from view or access that is not a privacy wall.
- (2) Fence, Chain-Link. Fence made of steel wire woven to form a diamond-shaped mesh.
- (3) Fence, Picket. A fence constructed of upright pickets or pales attached to horizontal stringers between upright posts made of finished wood, vinyl, or metal, with the distance between each picket equaling or exceeding the width of each picket to create visibility between each picket.
- (4) Fence, Stockade. A fence constructed of vertical wood strips or material similar in appearance placed close together so that it is opaque.
- (5) Fence, Welded Wire or Wire Mesh. A steel fence using wire strands welded together in a square or rectangular shape which forms a high strength mesh. Welded wire is made of material that will not rust, rot, discolor or burn. Welded wire specifically excludes chain link fence.
- (6) Gate. A movable frame or solid structure which swings, slides, or rolls controlling ingress and egress through an opening in a fence, wall, or vegetation.
- (7) Hedge. A group or row of closely planted vegetation that forms a physical or visual fence, screen, or boundary. A hedge can consist of any mixture of plant species that grows to a height of three feet or more.
- (8) Landscape and Xeriscape. Shall consist of grass, ground covers, shrubs, vines, hedges, trees, berms, and decorative material such as mulch, concrete

curbing, and rock. Building and/or zoning permits are required for structural landscaping components such as decks, landscape walls, pergolas, fountains and retaining walls, etc.

- (9) Privacy Wall. Any artificially constructed barrier of brick, concrete blocks or Styrofoam covered with stucco or other approved finish, constructed within the buildable area of property for the purpose of protection or confinement or as a boundary or for the purpose of blocking part of the property from view or access. A privacy wall ~~that~~ is not a fence but is regulated in a similar manner.
- (10) Visibility Triangle. For purposes of this Section, The visibility triangle shall be the triangular area formed by a diagonal line connecting two points located on intersecting right-of-way lines, with one point 10 feet and one point 35 feet from the point of intersection. The required visibility triangle on a state road is regulated by the Florida Department of Transportation.

Section 19.8. Landscaping (Article 12) Definitions

The terms for landscaping from Article 12, Landscaping Standards, and all other landscaping-related terms are defined below:

- (1) ANSI 300. The American National Standards Institute 300 Series which provides standards for products and processes on a national and global setting. ANSI 300 requirements cover standard requirements for tree care practices. These guidelines cover general processes and procedures to prune, fertilize and transplant trees and shrubs.
- (2) Building Footprint. Building footprint will include the gross area of exterior walls of the primary structure, including the area of all windows and doors installed therein. Also included are the areas of required amenities, such as driveways, water lines, walks and equipment pads.
- (3) Building Frontage.
 - i. Building frontage shall mean the horizontal length of a building on the side facing the street. If the building has more than one street front, each street front shall be included.
 - ii. If that side is a straight wall, then the building frontage shall be the length of the wall.
 - iii. If the side is not a straight wall, the building frontage shall be the horizontal distance from the corner at one end of the side of the

building facing a street to the other corner on the same side of the building.

- (4) Building Site. The total land area used for the proposed development including single family or duplex structures or commercial and multi-family development is a building site.
- (5) DBH. Diameter at Breast Height. The caliper of a semi-mature or mature tree measured at four feet above the existing ground level.
- (6) Florida Friendly Landscaping Program. A program administered by the University of Florida that includes nine basic principles designed to help property owners prevent stormwater runoff, limit irrigation usage and preserve water quality.
- (7) Florida Friendly Landscaping or Xeriscape. Quality landscapes that conserve water and protect the environment and are adaptable to local conditions and which are drought tolerant. The principles of Xeriscape include planning and design, appropriate choice of plants and soil analysis which may include the use of solid waste compost, efficient irrigation, practical use of turf, appropriate use of mulches and proper maintenance. (Ref. §373.185 F.S.).
- (8) Florida Native. Any plant recognized as occurring naturally in the State of Florida prior to the 1500s, as identified in Atlas of Florida Vascular Plants by R.P. Wunderlin and B.F. Hansen. 2008. (<http://www.plantatlas.usf.edu/>), by the Institute for Systematic Botany, University of South Florida, Tampa, or other scientific documentation recognized by the City.
- (9) Groundcover. Any low growing plant, 12 inches in height or less, that can be used to cover areas where sod or turf is not desired or will not grow.
- (10) Hardscape. Tangible objects and features other than plant materials, including but not limited to steps and ramps, fountains and pools, fences, screens, dividers and walls, overhead structures, i.e., trellis, decks, retaining walls, play equipment, benches and planters, drainage structures, lighting, pavement, curbs and site furnishings.
- (11) Inorganic Mulch. A mulch that was never living such as shell or rock or lava rock, or other synthetic materials such as plastic sheeting landscape fabric and pelletized bits of rubber.
- (12) Landscaping. Landscaping shall consist of any of the following materials or combination thereof: grass, groundcovers, shrubs, vines, hedges, trees or palms and nonliving durable material commonly used in landscaping but excluding paving, gravel, rock, shell and artificial flora. Building permits are

required for structural landscaping components such as decks, landscape walls, fountain, retaining walls, pergolas, trellis' or arbors, etc.

- (13) Organic Mulch. Non-living organic materials placed in landscaped areas that aid in moisture retention/detention and weed control.
- (14) Ornamental Grass. A self-supporting, non-woody, perennial species of the plant family, Poaceae, Juncaceae or Cyperaceae that is not mowed but is allowed to grow to its full potential and is used in the landscape in the same way as a shrub.
- (15) Shrub. A low growing, self-supporting, woody deciduous or evergreen species of plant.
- (16) Tree. A perennial, self-supporting, woody plant with a main trunk or multiple trunks at least seven feet in height in a clean condition at maturity and branches forming a distinct elevated crown.

Section 19.9. Mobile Food Dispensing Vehicles (Section 4.40.) Definitions

The terms for mobile food dispensing from Section 4.40, Mobile Food Dispensing Vehicles, and all other related terms are defined below:

- (1) Mobile Food Dispensing Vehicle: Means a public food service establishment mounted on wheels and axle(s) that is movable from place to place and which is regulated and licensed by the State of Florida Department of Business and Professional Regulation or the State of Florida Department of Agriculture and Consumer Affairs, or any successor agency, pursuant to Chapter 500, Florida Statutes and the rules and regulations promulgated thereunder. Such a vehicle may be self-propelled or mounted on a trailer, and includes bicycles and pushcarts.
- (2) Mobile Vendor: Means a public food service establishment mounted on wheels and axle(s) that is movable from place to place and which is regulated and licensed by the State of Florida Department of Business and Professional Regulation or the State of Florida Department of Agriculture and Consumer Affairs, or any successor agency, pursuant to Chapter 500, Florida Statutes and the rules and regulations promulgated thereunder. Such a vehicle may be self-propelled or mounted on a trailer, and includes bicycles and pushcarts.

Section 19.10. Sign (Article 11) Definitions

The terms for Signage from Article 11, Sign Standards, and all other sign-related terms are defined below:

- (1) A-Frame (Sandwichboard, T-Frame or Sidewalk) sign: means a self-supporting sign which is ordinarily in the shape of an “A” or some variation thereof, which is readily movable, and is not permanently attached to the ground or any structure.
- (2) Abandoned sign: means any sign remaining in place after such sign has not been maintained or, if the activity conducted on the subject property ceases, for 180 or more consecutive days. An abandoned sign is a sign that, because of passage of time, has faded, peeled, cracked, or otherwise become deteriorated or dilapidated, or is no longer affixed to the ground, or is missing the sign face. Unauthorized signs placed on public property including but not limited to public right-of-way shall be deemed abandoned signs. Any political advertisement regulated by Section 106.1435, Florida Statutes which has not been removed within thirty (30) days after a candidate has withdrawn from candidacy; after a candidate has been eliminated as a candidate; or after a candidate has been elected to office, shall be considered an abandoned sign.
- (3) Air-Activated sign: means a sign, all or any part of which is designed to be moved by action of forced air so as to make the sign appear to be animated or otherwise to have motion.
- (4) Alter: means to change the copy, color, size, shape, illumination, position, location, construction or supporting structure of a sign, but does not include ordinary maintenance or minor repairs.
- (5) Animated sign: means any sign, or any portion of the sign, affected by the movement of air or other atmospheric or mechanical means, or that uses natural or artificial changes of lighting, to depict action or create a special effect or scene. Animated signs include, but are not limited to, flashing signs, inflatable signs, rotating signs, pennants, streamers, balloons, searchlights, spinners, and propellers. Changeable copy signs and electronic changeable copy signs are not considered animated signs for the purposes of this Article.
- (6) Athletic field: means facilities used for sporting activities such as softball, baseball, football, soccer, running track, tennis, and other non-motorized sports. Athletic fields may include bleachers, concession stands, lights, restrooms, and other supporting facilities.
- (7) Awning or canopy sign: means a nonelectric sign that is printed on, painted on, or attached to the surface or flap of an awning or canopy. An awning is a

decorative or functional structure which is attached to, and wholly supported by a building providing shade or cover from rain. A canopy is similar in design to an awning but is freestanding or is not wholly supported by a building.

- (8) Balloon sign: means a sign that is an air inflated object, which may be of various shapes, made of flexible fabric, resting on the ground or a structure, and equipped with a portable blower motor that provides a constant flow of air into the device. Balloon signs are restrained, attached, or held in place by a cord, rope, cable, or similar method.
- (9) Banner sign: means a sign composed of flexible material, such as fabric, pliable plastic, or other similar non-rigid material, with no enclosing framework or electrical components and that is supported or anchored on two or more edges or at all four corners, or along either one edge or two corners with weights installed that reduce the reaction of the sign to wind. A special event banner is a banner expressly authorized as part of a special event permit.
- (10) Bench sign: means a sign painted on, located on, or attached to any part of the surface of a bench, seat or chair placed on or adjacent to a public place or public roadway, and include bicycle racks installed by the City.
- (11) Blade (Feather, Teardrop, Flag, or Flutter) sign: means a sign that is constructed of cloth, canvas, plastic fabric, or similar lightweight, non-rigid material that is supported by a single vertical pole mounted into the ground or on a portable structure.
- (12) Building-mounted sign: means any sign attached to the face of a building, including, without limitation, wall signs, marquee signs, under canopy signs, and projecting signs.
- (13) Changeable copy sign: means a sign with copy that can be changed or altered by manual, electric, electromechanical, or electronic means and without changing or altering the sign frame, sign supports, or electrical parts.
- (14) Copy: means the graphic content of a sign surface, including, but not limited to, graphics, letters, numbers, figures, symbols, and trademarks.
- (15) Copy Area: means that area which displays the actual copy on a sign, excluding any blank area surrounding the copy.
- (16) Drive/Bike/Walk-Thru sign: means any sign to facilitate the use of a drive-thru or walk up window for provision of a good or service.

- (17) Electric sign: means a sign or sign structure in which electrical wiring, connections, or fixtures are used.
- (18) Exposed building face: means the building exterior wall of a single occupant building or the building exterior wall of an individual tenant's leased space in a multi-tenant complex, viewed as a vertical plane between the finished grade and the roofline or top of parapet wall. This vertical plane will be used to calculate the sign area for building-mounted signs. In the case of an interior business without a separate exterior entrance, the exposed building face will be the vertical plane of the entrance wall measured between the floor and ceiling. As an option, for those businesses having oblique walls, the exposed building face is that area between the finished grade and the roofline that is shown on the elevation drawing submitted with the required drawings for a building permit.
- (19) Façade sign: means a sign affixed to the exterior wall of a commercial building, typically within a designated sign band located near the top of the building, which includes an occupant's name and/or logo.
- (20) Fighting words: are words or graphics which by their very utterance have a direct tendency to incite immediate breach of the peace by the person to whom, individually, the remark is addressed. The test is whether persons of common intelligence would understand such words would be likely to cause an ordinary addressee to fight. Fighting words include, but are not limited to, defamatory remarks made to private citizens and epithets based on the addressee's race, color, religion, disability, national origin, ethnicity, or sex.
- (21) Flag: means any piece of cloth of individual size, color, and design, hoisted on a pole permanently affixed to the ground or displayed via a pole bracket permanently affixed to a building. If any single dimension of a flag is more than three times greater than any other single dimension, for the purposes of this Article such a flag is classified and regulated as a banner, regardless of how it is anchored or supported.
- (22) Flashing sign: means an electric sign or any portion of an electric sign that changes light intensity in sudden transitory bursts or switches on and off in a repeated manner (e.g., strobe lights).
- (23) Freestanding sign: means a sign on a frame, pole, or other support structure that is not attached to any building, located in a commercial zoning district.
- (24) Frontage, building: means the length of an outside building wall.
- (25) Frontage, street: means the length of the property line along the public right-of-way or private street on which it borders.

- (26) Graffiti: means writing or drawings scribbled, scratched, or sprayed illicitly on a wall or other surface in public right-of-way or public space, or on a private property viewable from a public right-of-way, public space, or another private property.
- (27) Ground sign means a sign that is permanently attached to the ground with the bottom of the sign base no more than 1 foot above finished grade.
- (28) Height, sign means the vertical distance measured from the highest point of the sign to either the grade of the adjacent street or the surface grade beneath the sign, whichever is less.
- (29) Illuminated sign, internally, means a sign with an artificial light source installed internally with light visible thru a transparent or translucent sign face.
- (30) Illuminated sign, externally, means a sign with an artificial light source installed externally.
- (31) Illuminated sign, indirectly, means a sign with an artificial light source installed internally to the sign structure with an opaque sign face, where the light shines onto a wall or other surface to highlight the outlines of the sign.
- (32) Indecent speech is language or graphics that depict or describe sexual or excretory activities or organs in a manner that is offensive as measured by contemporary community standards.
- (33) Inflatable sign means any object enlarged or inflated by air or gas, and is tethered in the air, or is located on the ground or on a building with or without copy or other graphics. These signs include large single displays or a display of smaller inflatable items, such as balloons, connected in some fashion to create a larger display.
- (34) International Maritime Signal Flags means a signal flag for each letter of the alphabet, and pennant for numerals. Each flag (except the R flag) has an additional meaning when flown individually, and take on other meanings in certain combinations.
- (35) Light Pole/Support Pole sign means a sign that is designed to be attached to a permanent light pole or other pole structure
- (36) Maintenance means the cleaning, painting, changing of lighting fixtures, or minor repair of a sign in a manner that does not alter the basic copy, design, or structure of the sign.

- (37) Marquee sign means a sign attached to or mounted on top of a roof-like structure that cantilevers from the wall of a building or its principal entrance and has no vertical supports other than the wall from which it cantilevers.
- (38) Minor repair means fixing or replacement of broken or worn parts of a sign. Replacement includes comparable materials only. Repairs may be made with the sign in position or with the sign removed.
- (39) Multi-tenant sign means a sign used by more than tenant occupying the same multi-use complex [Section 19.3(154)].
- (40) Neon (outline tubing) sign means a sign consisting of glass tubing, filled with neon gas or other similar gas, which glows when an electric current is sent through it.
- (41) Nonconforming sign means any sign that was constructed, erected, and maintained in conformance with all City of Punta Gorda rules and regulations in effect at the time the sign was established and that no longer conforms to the rules and regulations of this Article.
- (42) Obscene means language or graphics that depict or describe sex or sexual organs in a manner appealing to, or intended to appeal to the average viewer/reader's visceral sexual (prurient) interests, and taken as a whole, lacks any justification from a political, literary, artistic, or scientific value.
- (43) Parcel means any plot of land that has been assigned a "Parcel ID Number" by the Charlotte County Property Appraiser. A parcel may consist of one or more platted lots. With respect to condominium developments, the term parcel shall mean only the land described as a "common element" and shall not apply to individual units which have been assigned a "Parcel ID Number."
- (44) Pennant sign means a triangular or irregular piece of fabric or other material attached in strings or supported on small poles intended to flap in the wind.
- (45) Permanent means a sign attached to a building or structure, or to the ground in a manner that precludes ready removal or movement of the sign.
- (46) Person shall mean any natural person, firm, corporation, or other legal entity.
- (47) Pole or pylon signs means self-supporting signs supported permanently upon the ground by one or more solid bases.
- (48) Portable sign means a sign that is not permanently affixed and that is designed for or capable of being moved, except those signs explicitly

designed for people to carry on their persons or that are permanently affixed to motor vehicles, trailers, bicycles, or horse drawn carriages.

- (49) Portable message center sign means a sign that is mobile in nature and affixed to a trailer or vehicle.
- (50) Projected Image sign means a sign which involves an image projected on the face of a wall, structure, sidewalk, or other surface from a distant electronic device, such that the image does not originate from the plane of the wall, structure, sidewalk, or other surface.
- (51) Projecting sign means a sign, other than a wall sign, which is attached to and projects from a building wall or other structure not specifically designed to support the sign.
- (52) Right-of-way means land or water owned, dedicated, or conveyed by way of easement to the public and used primarily for the movement of vehicles, bicycle, wheelchair, vessels and pedestrian traffic, and land privately owned and used primarily for the movement of vehicles, bicycle, wheelchair, and pedestrian traffic, so long as such privately owned land has been constructed in compliance with all applicable laws and standards for a public right-of-way.
- (53) Roadway means the portion of a street that is improved for motor vehicle or bicycle travel. Roadway includes vehicle travel lanes and on-street parking areas. Roadway does not include area devoted to curbs, utility or planting strips, or sidewalks.
- (54) Roofline means that lowest portion of a pitched or flat roof visible from a public right-of-way or adjacent property.
- (55) Rotating sign means sign faces or portions of a sign face which mechanically revolve around a central axis as opposed to revolving around an imaginary axis created by a pattern of alternating lights which convey an appearance of rotation.
- (56) Sign means any device, structure, item, thing, object, fixture, painting, printed material, apparel and accoutrements, or visual image using words, graphics, symbols, numbers, or letters designed or used for the purpose of communicating a message or attracting attention.
- (57) Sign face means the portion of a sign on which the copy is placed.
- (58) Snipe sign means a tacked, nailed, posted, pasted, glued, or otherwise attached to trees, poles, stakes, fences, or other objects.

- (59) Special Event means a public event which includes the use of any public facility or private property (e.g., park, meeting hall, gazebo, shelter, street right-of-way, parking lot, etc.) by a group which could limit the normal access and use of such facility by the general public. Special Events are more particularly described in Chapter 26, Article 13, Section 13.4, Punta Gorda Code.
- (60) String light means small electric lights spaced evenly along a cable and used for decoration.
- (61) Suspended sign means any sign suspended from the underside of a horizontal plane surface and supported by the same surface.
- (62) Temporary means any sign not permanently attached, mounted, painted, or otherwise affixed to the ground, a building or a structure, and includes but is not limited to any poster, banner, pennants, placard, stake sign or sign not placed in the ground with concrete or other means to provide permanent support or stability.
- (63) Tenant space means a portion of a structure occupied by a single commercial leaseholder with its own public entrance from the exterior of the building or through a shared lobby, atrium, mall, or hallway and separated from other tenant spaces by walls.
- (64) Visibility Triangle means the triangular area formed by a diagonal line connecting two points located on intersecting right-of-way lines [or a right-of-way line and the curb or a driveway], with one point 10 feet and one point 35 feet from the point of intersection. The Florida Department of Transportation right triangle is different, with each point being 10 feet and 70 feet. There shall be a clear space with no obstruction to vision between a height of 3 feet and a height of 8 feet above the average grade of each road as measured at the centerline thereof.
- (65) Wall sign means either a sign applied with paint or similar substance on the surface of a wall or a sign with no copy on the sides or edges and attached essentially flush with and extending not more than 6 inches from the wall of a building.
- (66) Window signs mean all signs located inside and immediately adjacent to or affixed to a window and intended to be viewed from the exterior of the structure.
- (67) Yard signs means signs located within the following zoning districts: General Single-Family District (GS); General Multi-Family District (GM), which includes the Special Residential Overlay (SRO) Districts; Manufactured Home District (MH); Neighborhood Residential District (NR); Planned Development

Neighborhood (PDN) and (PD-GS), and Environmental Preserve District (EP). Yard signs do not include ground signs.