

**(d) Building Types.**

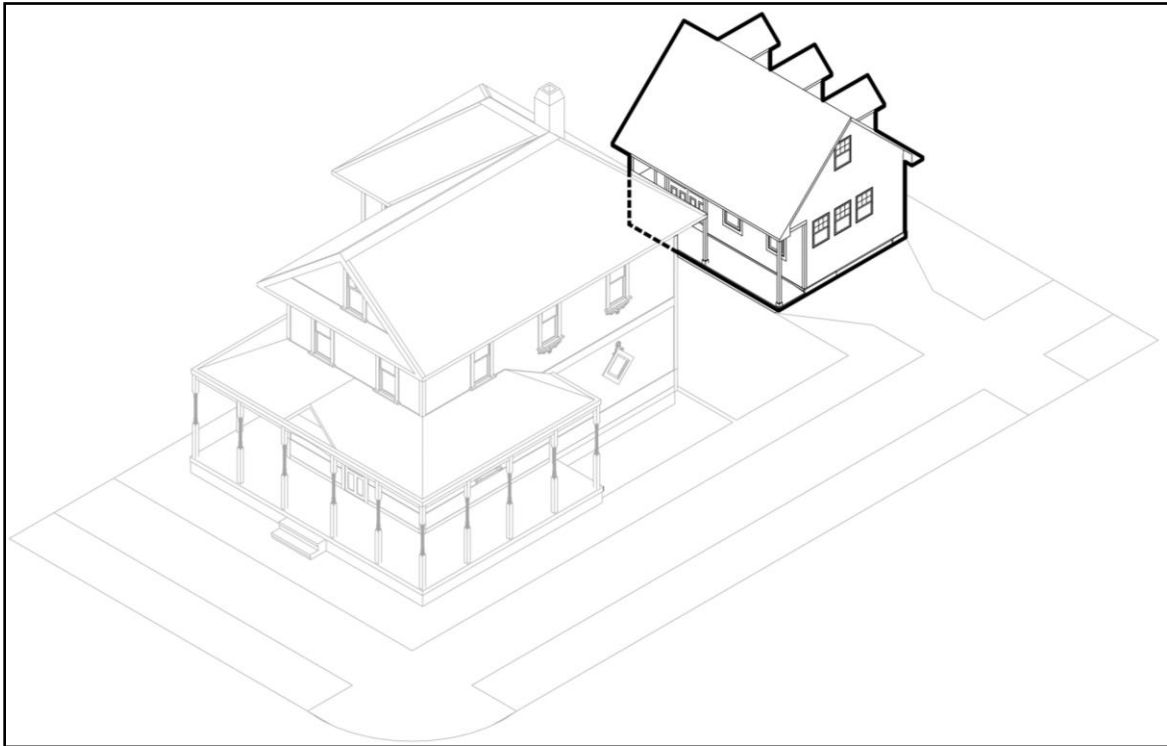
- (1) Introduction to building types.
  - a. Table 2 describes which building types are allowed in each regulating district and overlay district (Table 2 is in Subsection 3.2(c)). An “X” in the column for each district in Table 2 indicates that a particular building type is allowed in that district; other building types are not allowed in that district. If a property is in an overlay district, the allowable building types for the overlay district apply instead of those for the regulating district.
  - b. On the following pages, each building type is described in detail. The first page for each building type (subsection (a)) includes a sample drawing, a summary description, and several photographs illustrating that type; this is general information about the building type and is not regulatory. The specific development standards for each type are shown on the second and third pages (subsections (b) through (e)). Where numerical development standards for an allowable building type are different than the general regulations for the regulating or overlay district, the standards for the building type prevail.

The building types included are as follows:

1. Accessory Cottage	Residential Building Types
2. House	
3. Cottage Court	
4. Duplex	
5. Rowhouse	
6. Triplex/Fourplex	
7. Multiplex	
8. Courtyard Apartment	
9. Live/Work	Mixed-Use Building Types
10. Small Footprint Mixed-Use	
11. Medium Footprint Mixed-Use	Commercial Building Types
12. Main Street Shopfront	
13. Neighborhood Shopfront	Special Building Types
14. Liner	
15. Loft	
16. Warehouse	
17. Civic/Institutional	

- c. At the end of Subsection 3.2(d), Table 3 provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

(2) Accessory Cottage



**a. Summary**

**Description**

An Accessory Cottage is an accessory structure detached from a primary building. It is typically a stand-alone building, though it may be attached to similar accessory structures to form a mews at the rear of rowhouses. It may house a garage, small studio apartment, home-office, or some combination thereof. This unit type can only be constructed in conjunction with the House Building Type found in Section 3.2(d)(3).

**Key Characteristics**

Detached or Attached Unit

Multi-Use

1 to 2 stories

Oriented to Driveway or Alleyway

**Examples & Variations**



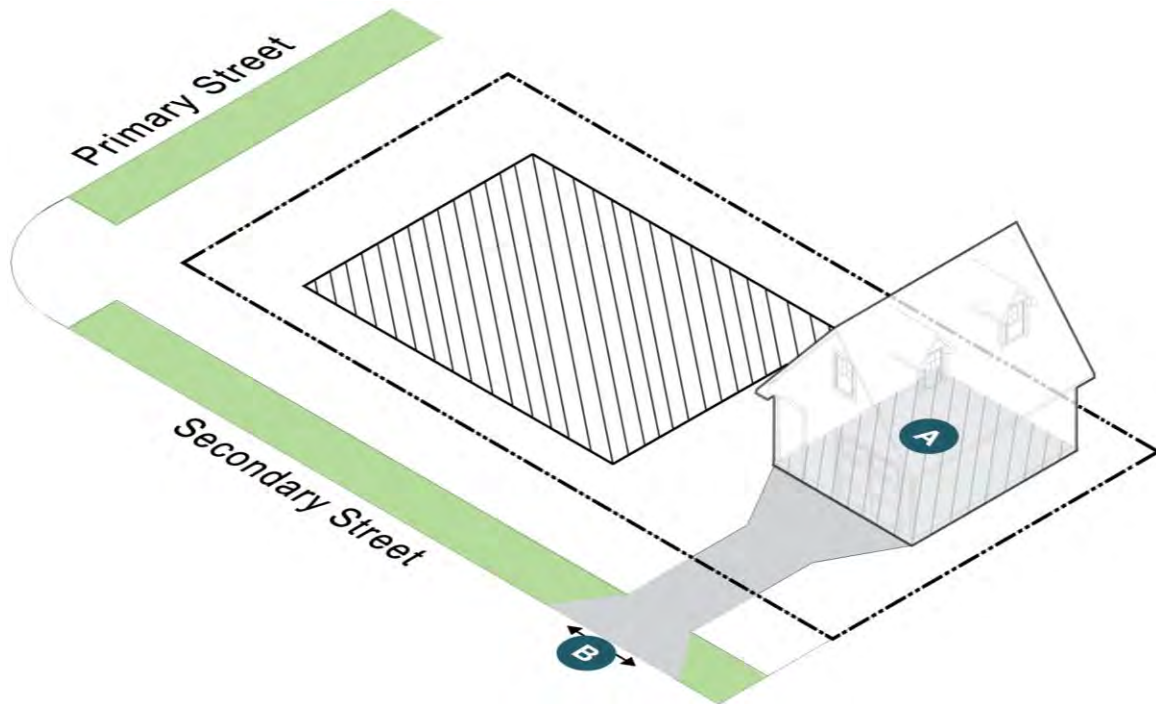
Accessory Dwelling Unit



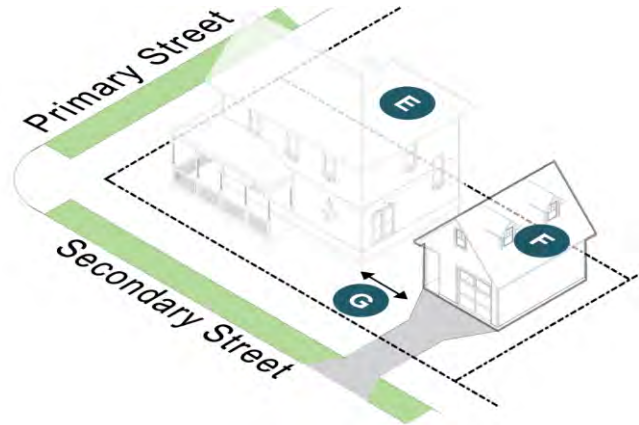
Cottage in City of San Gabriel CA



Carriage House



b. Lot & Building Standards		c. Parking & Access	
<b>Lot Dimensions</b>		<b>Parking Access</b>	
As required for the primary structure.		Number of Driveways/Curb Cuts	
<b>Building Footprint &amp; Placement</b>		Primary Street	n/a
Lot Coverage	n/a	Secondary Street	1
Building Area <b>A</b>	300-1,000 SF max., or 50% of primary building SF, whichever is less.	Driveway Width	8' min., 12' max. <b>B</b>
<b>Frontage Buildout</b>		<b>Pedestrian Access</b>	
Frontage Buildout	n/a	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
<b>Setbacks</b>			
Setbacks		Must comply with the setbacks defined in the Regulating District, Subsection 3.2(c)	
<b>Intensity</b>			
No. of Units	1 per primary building <sup>1</sup>		
Density <sup>2</sup>	1 du per individual lot		
<b>Building Height</b>			
Building Height		25' max. (2 stories)	
<sup>1</sup> Individual rowhouses units count as a single primary building, even though they may be part of a larger grouping of rowhouses <sup>2</sup> Dwelling units are only permitted where the Primary building type is a House as defined in Section 3.2(d)(3)			



**d. Building Composition**

**Front Façade Fenestration**

Ground Floor <sup>1</sup>	10% min., 50% max.	<b>C</b>
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	<b>D</b>

**Roof Type<sup>2</sup>**

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

**Permitted Building Elements<sup>2</sup>**

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

**Permitted Frontage Types<sup>2</sup>**

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup>If a ground floor contains a vehicular entry, the area of the vehicular entry is subtracted from the calculated area of the ground floor façade.

<sup>2</sup>Additional standards or limitations may apply for specific Architectural Styles, Section 7.2(e)

**e. Site Configuration**

**Number of Buildings**

Primary	1	<b>E</b>
Accessory	1	<b>F</b>

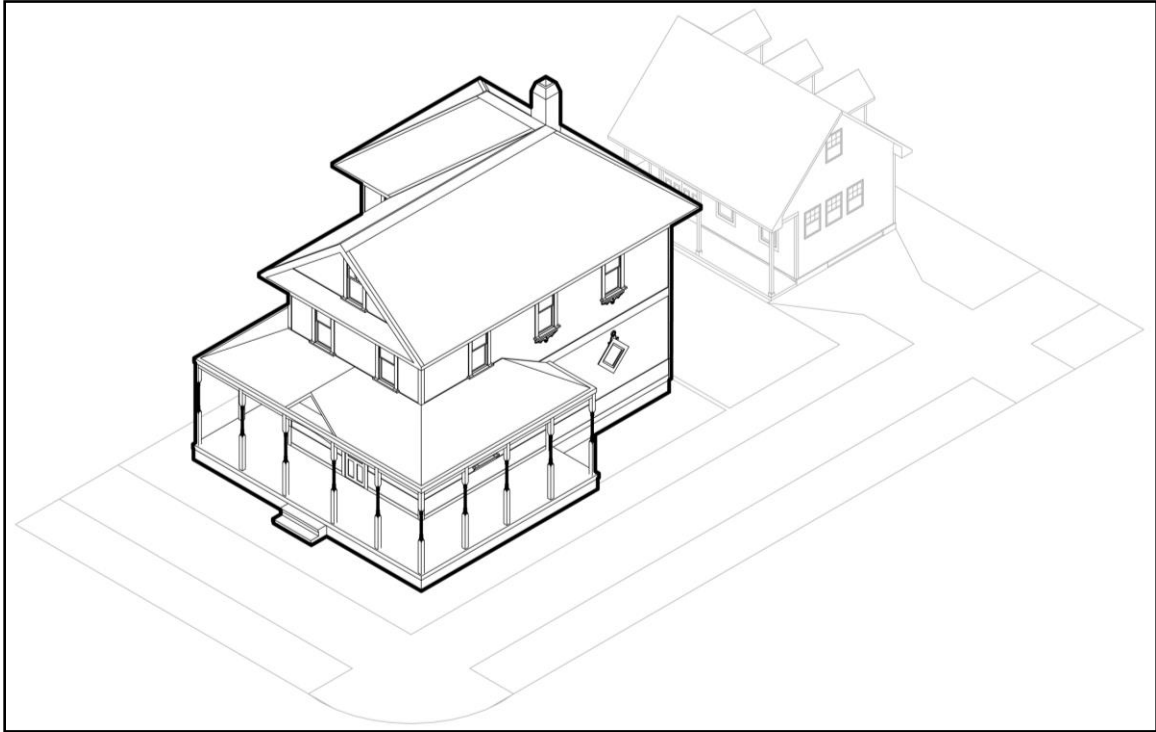
**Private Open Space**

Private open space requirements shall be determined by the main building on the lot. No additional open space is required for the accessory cottage.

**Additional**

Distance Between Primary and Secondary Building	10' min.	<b>G</b>
---	----------	----------

(3) House



**a. Summary**

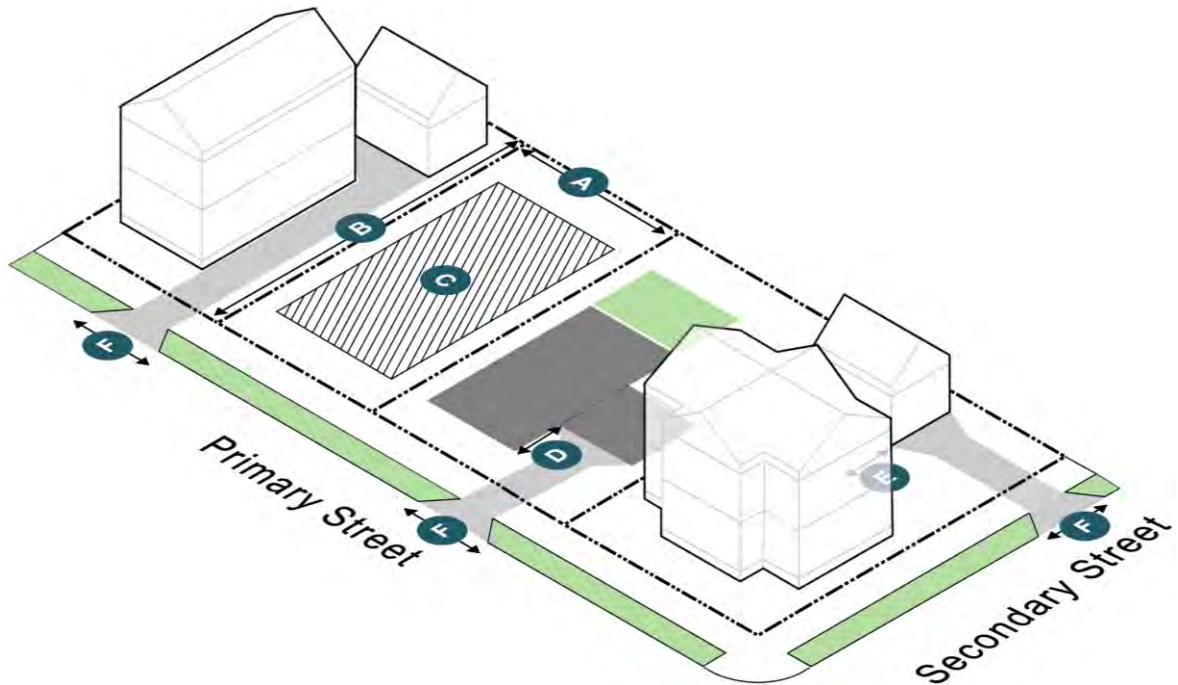
Description	Key Characteristics
<p>A House is a detached single-family residence which occupies a single lot.</p>	Detached Unit
	Residential
	1 to 2.5 stories
	Street-Oriented

**Examples & Variations**



One-and-a-Half Story House	Two-Story House	Two-and-a-Half Story House
----------------------------	-----------------	----------------------------





**b. Lot & Building Standards**

**Lot Dimensions**

Width	40' min., 150' max.	A
Depth	86' min.	B
Lot Size <sup>1</sup>	3,500 SF min., 20,000 SF max.	

**Building Footprint & Placement**

Lot Coverage	70% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		

**Intensity**

No. of Units	1 max.	
Density (Individual Lot)	Base	W/ Accessory Cottage
	13 du/a	25 du/a max.
Building Height	35' max. (2.5 stories)	

<sup>1</sup> The House Building Type shall also be permitted on any lot platted prior to March 2005

**c. Parking & Access**

**Location**

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

**Garage Door/Carport Setback**

Attached	10' min. (from front façade)	D
Detached <sup>1</sup>	Behind primary building in the rear yard only	E

**Parking Access**

Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	F

**Pedestrian Access**

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

<sup>1</sup> Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



**d. Building Composition**

**Front Façade Fenestration**

Ground Floor	30% min., 50% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	I

**Roof Type<sup>1</sup>**

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
---	-----------

**Permitted Building Elements<sup>1</sup>**

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

**Required & Permitted Frontage Types<sup>1</sup>**

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

**e. Site Configuration**

**Number of Buildings**

Primary	1	J
Accessory	1	K

**Private Open Space<sup>1</sup>**

Depth	15' min.	L
Area	300 SF min.	M

**Additional**

Distance Between Primary and Secondary Building	10' min.	N
---	----------	---

<sup>1</sup> Required street setbacks and driveways shall not be included in the private open space calculation



(4) Cottage Court

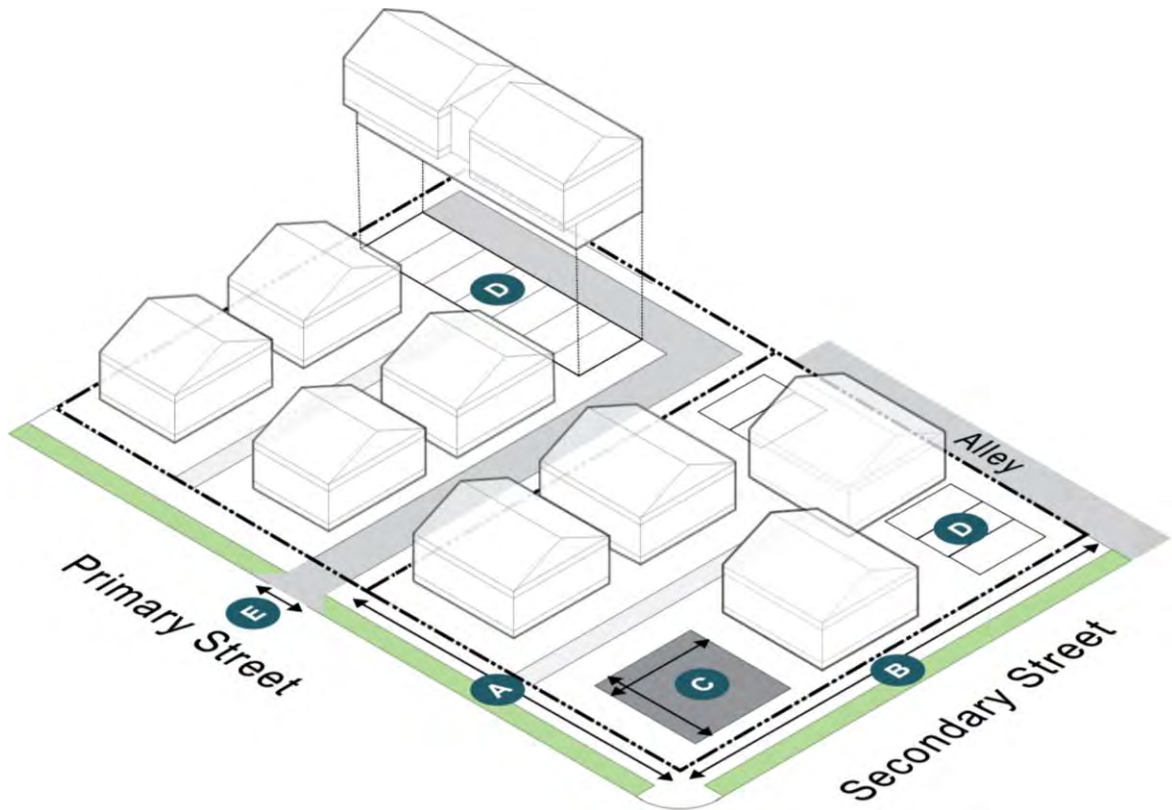


**a. Summary**

Description	Key Characteristics
<p>A Cottage Court consists of a series of small, detached structures, providing multiple units arranged to define a shared courtyard that is typically perpendicular to the street. The common yard takes the place of a private rear yard and becomes an important community enhancing element.</p>	<p>Detached Units Residential 1 to 2 stories Orients to the Street and Central Open Space</p>

**Examples & Variations**

<p>Cottage Court</p>	<p>Ericksen Cottages in Bainbridge, WA</p>	<p>Cottage Court</p>



### b. Lot & Building Standards

#### Lot Dimensions

Width	100' min., 160' max.	(A)
Depth	120' min.	(B)
Lot Size <sup>1</sup>	20,000 SF min.	

#### Building Footprint & Placement

Lot Coverage	70% max.	
Cottage Size	750 SF min.	(C)
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		

#### Intensity

No. of Units	5 min., 12 max.
Density (Individual Lot)	25 du/a max.
Building Height	30' max. (2 stories)

<sup>1</sup>Lots existing under different property ID numbers as of the adoption of this ordinance may not be combined to accommodate the development of this building type.

### c. Parking & Access

#### Location

Parking shall be located in the rear yard of the site, shielded from view from the primary street, and accessed from alleys or side streets wherever possible. (D)

#### Garage Door/Carport Setback

Attached <sup>1</sup>	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached	Not permitted

#### Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max. (E)

#### Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

<sup>1</sup> Park under units shall comply with all primary building setbacks as defined in Subsection 3.2(c)



### d. Building Composition

#### Front Façade Fenestration

Ground Floor	30% min., 50% max.	F
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	G

#### Roof Type<sup>1</sup>

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

#### Permitted Building Elements<sup>1</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

#### Required & Permitted Frontage Types<sup>1</sup>

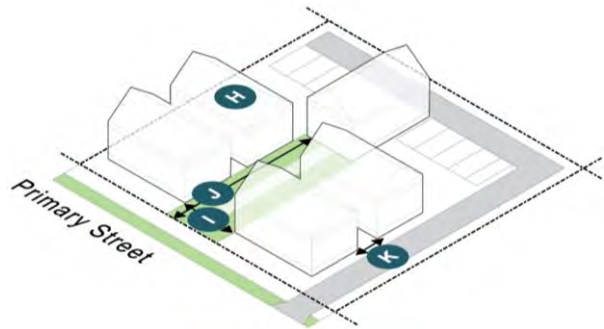
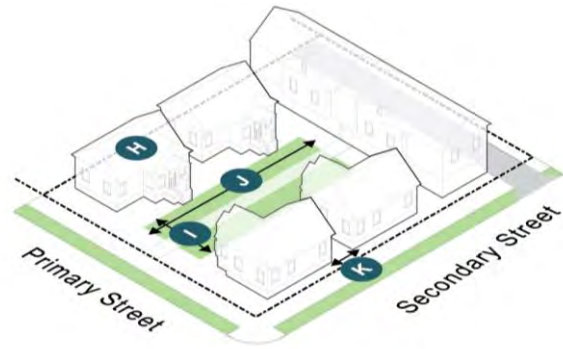
At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



### e. Site Configuration

#### Number of Buildings

Primary	5-10	H
Accessory	n/a	

#### Common Open Space<sup>1</sup>

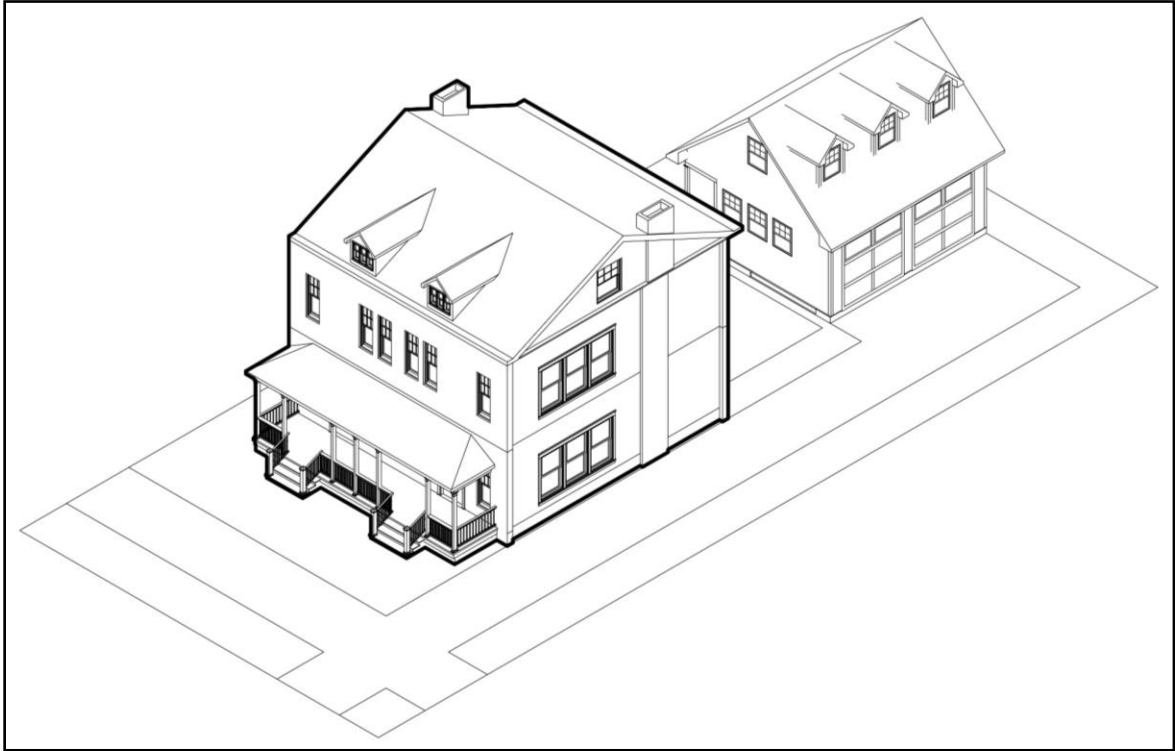
Width	15' min.	I
Depth	40' min.	J
Area	200 SF per unit min.	

#### Additional

Distance Between Buildings	10' min.	K
----------------------------	----------	---

<sup>1</sup> Required street setbacks and driveways shall not be included in the open space calculation

(5) Duplex



**a. Summary**

Description	Key Characteristics
<p>The Duplex is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing.</p>	<p>Attached Units (stacked or side-by-side)</p> <hr/> <p>Residential</p> <hr/> <p>1 to 2.5 stories</p> <hr/> <p>Small-to-Medium Street Setback</p>

**Examples & Variations**

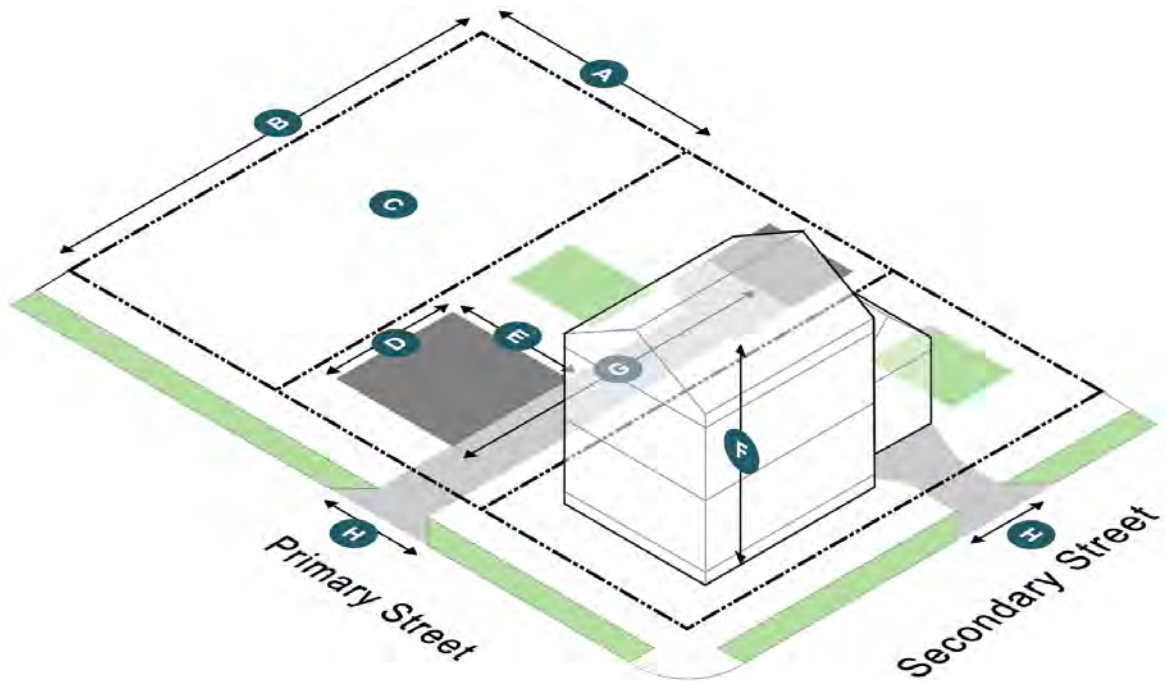


Side by Side Duplex

Side by Side Duplex

Stacked Duplex





**b. Lot & Building Standards**

**Lot Dimensions**

Width	40' min., 100' max.	A
Depth	86' min.	B
Lot Size <sup>1</sup>	3,500 SF min.	C

**Building Footprint & Placement**

Lot Coverage	70% max.	
Frontage Buildout <sup>2</sup>	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	28' min.	D
Building Width	28' min.	E

**Intensity**

No. of Units	2 units
Density (Individual Lot)	25 du/a max.
Building Height	F 35' max. (2.5 stories)

<sup>1</sup> The Duplex Type shall also be permitted on any lot platted prior to March 2005  
<sup>2</sup> Frontage Buildout requirements on secondary streets shall not apply to the Duplex type

**c. Parking & Access**

**Location**

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

**Garage Door/Carport Setback**

Attached	10' min. (from front façade)	
Detached <sup>1</sup>	Behind the primary building in the rear yard only	G

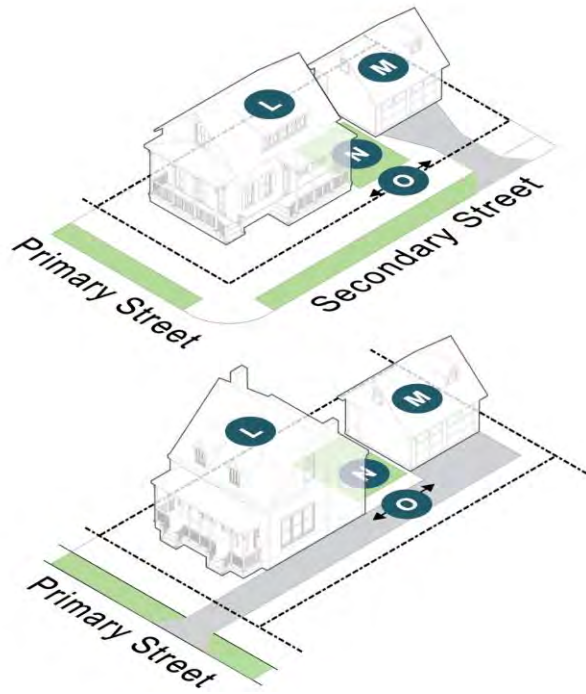
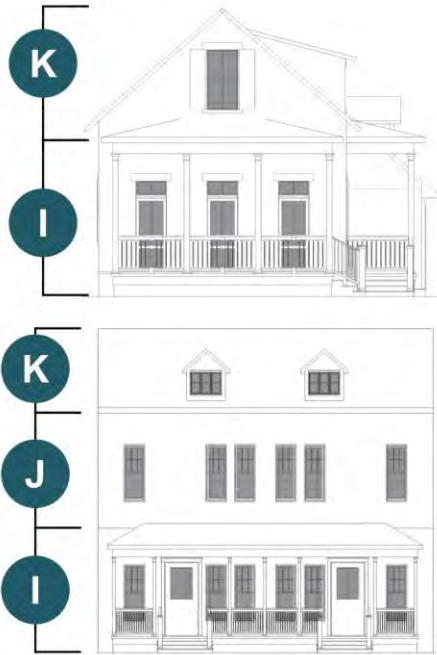
**Parking Access**

<b>Number of Driveways/Curb Cuts</b>	
Primary Street	1
Secondary Street	1
Driveway Width	H 8' min., 12' max.

**Pedestrian Access**

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

<sup>1</sup> Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)

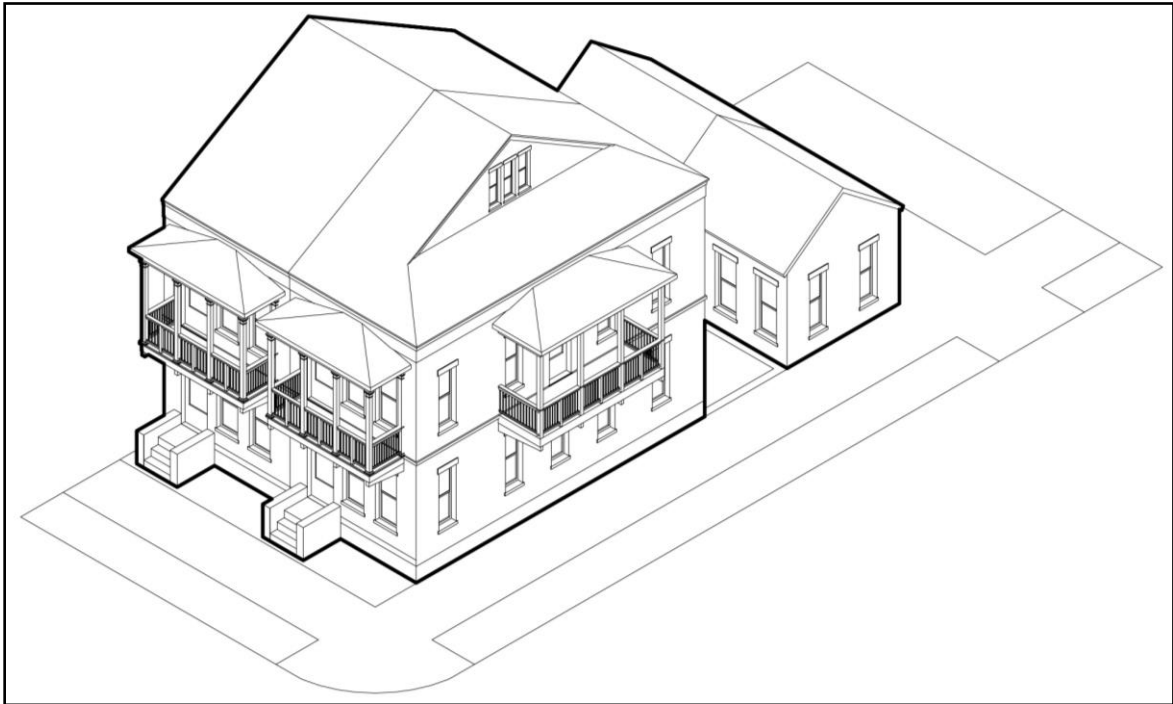


d. Building Composition	
<b>Front Façade Fenestration</b>	
Ground Floor	30% min., 50% max. <b>I</b>
Upper Story	20% min., 50% max. <b>J</b>
Habitable Half Story/Attic	10% min., 30% max. <b>K</b>
<b>Roof Type<sup>1</sup></b>	
Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
<b>Permitted Building Elements<sup>1</sup></b>	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
<b>Required &amp; Permitted Frontage Types<sup>1</sup></b>	
At least one of the following types is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
<b>Number of Buildings</b>	
Primary	1 <b>L</b>
Accessory	1 <b>M</b>
<b>Private Open Space<sup>1</sup></b>	
Area	300 SF per unit min. <b>N</b>
<b>Additional</b>	
Distance Between Primary and Secondary Building	10' min. <b>O</b>
<sup>1</sup> Required street setbacks and driveways shall not be included in the open space calculation	



(6) Rowhouse



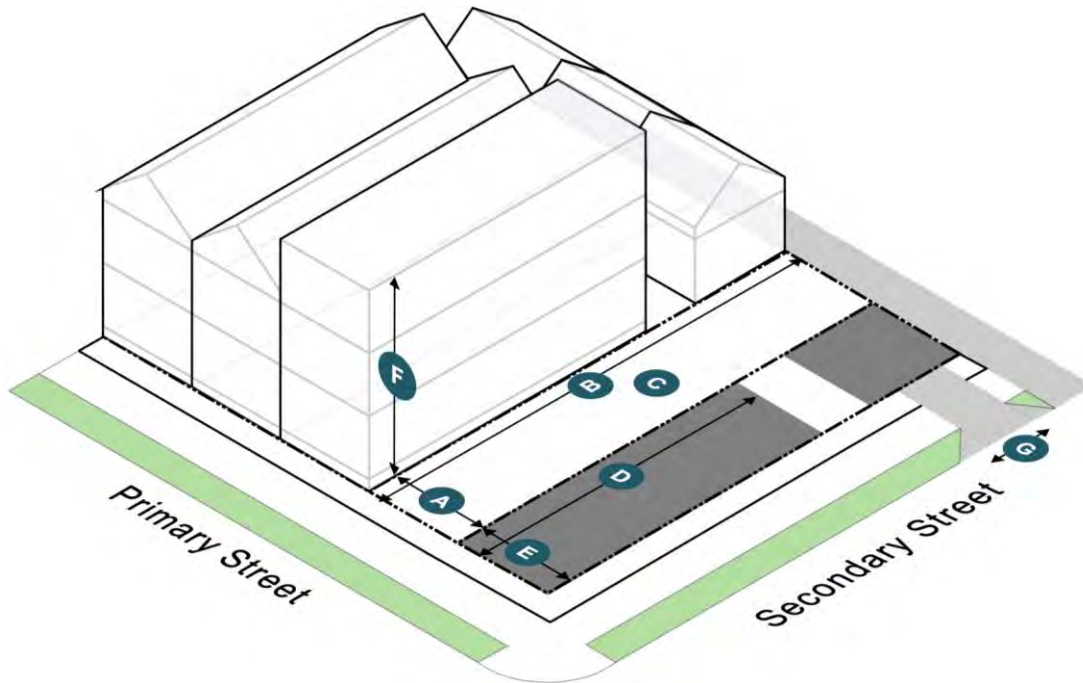
**a. Summary**

Description	Key Characteristics
<p>A Rowhouse is an attached house on a shallow lot that shares a party wall with an adjacent unit. Rowhouses may be combined under one roof form or divided by a parapet wall.</p>	Attached Units
	Residential
	1 to 3 stories
	Street-Oriented

**Examples & Variations**



Rainbow Row: Charleston, SC      Cannery Row: Delray Beach, FL      Almeria Row: Coral Gables, FL



### b. Lot & Building Standards

Lot Dimensions		
Width	18' min.	A
Depth	86' min.	B
Lot Size	1,550 SF min.	C
Building Footprint & Placement		
Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks <sup>1</sup>		
Unit Depth	35' min.	D
Unit Width <sup>2</sup>	18' min., 36' max.	E
Intensity		
No. of Units	1 unit	
Density (Individual Lot)	30 du/a max.	
Building Height	35' max. (3 stories)	F

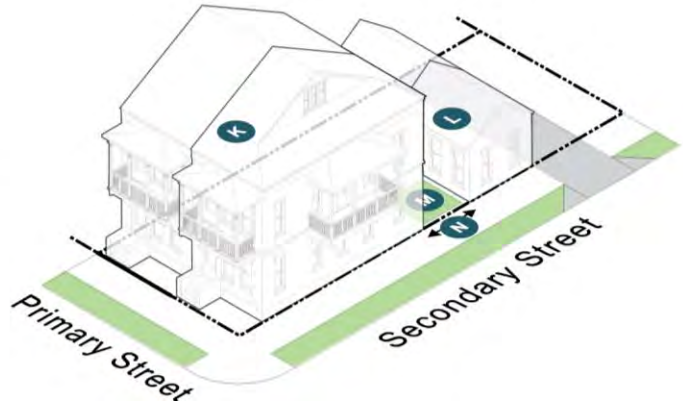
<sup>1</sup>The first and last rowhouses in a run must comply with internal side yard setbacks  
<sup>2</sup>A grouping of attached houses may not exceed 220' in aggregate width.

### c. Parking & Access

Location	
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley.	
Garage Door/Carport Setback	
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached <sup>1</sup>	Accessed from side street or rear lane/alley
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1 per grouping of at least 4 rowhouses, if no alley is present
Secondary Street	1
Driveway Width	10' min., 18' max. G
Pedestrian Access	

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

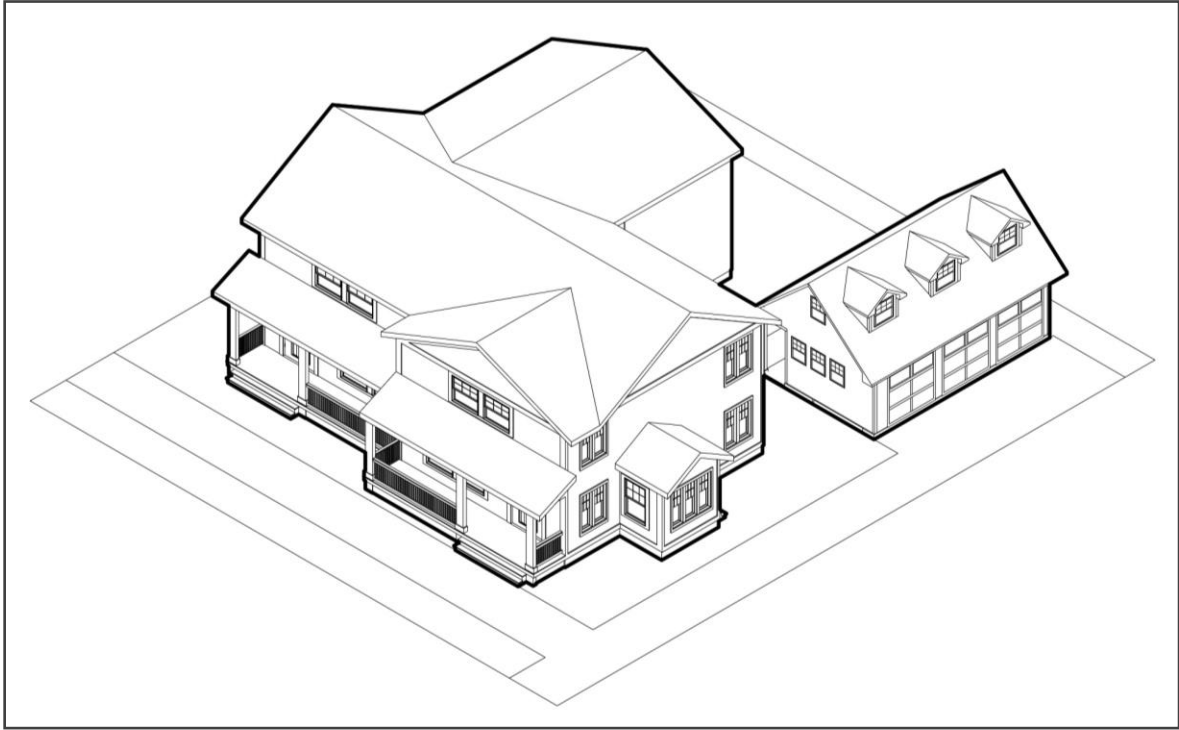
<sup>1</sup> Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



d. Building Composition	
<b>Front Façade Fenestration</b>	
Ground Floor	30% min., 50% max. <b>H</b>
Upper Story	20% min., 50% max. <b>I</b>
Habitable Half Story/Attic	10% min., 30% max. <b>J</b>
<b>Roof Type<sup>1</sup></b>	
Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
<b>Permitted Building Elements<sup>1</sup></b>	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
<b>Required &amp; Permitted Frontage Types<sup>1</sup></b>	
At least one of the following is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
<b>Number of Buildings</b>	
Primary	1 <b>K</b>
Accessory	1 <b>L</b>
Rowhouses per Run <sup>1</sup>	4 min., 10 max. or 220' in length, whichever is less
<b>Private Open Space<sup>2</sup></b>	
Area	100 SF per unit min. <b>M</b>
<b>Additional</b>	
Distance Between Runs <sup>1</sup>	10' min.
Distance Between Primary and Secondary Building	10' min. <b>N</b>
<sup>1</sup> A Run is a grouping of attached rowhouses, which can be built individually over time or all at once as a single building with internal divisions	
<sup>2</sup> Required street setbacks and driveways shall not be included in the open space calculation	

(7) Triplex/Fourplex



**a. Summary**

**Description**

A small-to-medium sized detached structure that consists of 3 to 4 units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, typically with one entry for the ground floor unit and a shared entry from the units above. This type has the appearance of a medium sized single-unit house and may include a rear yard.

**Key Characteristics**

Attached Units (Stacked or Side-by-Side)

Residential

1 to 3 stories

Small-to-Medium Street Setback

**Examples & Variations**

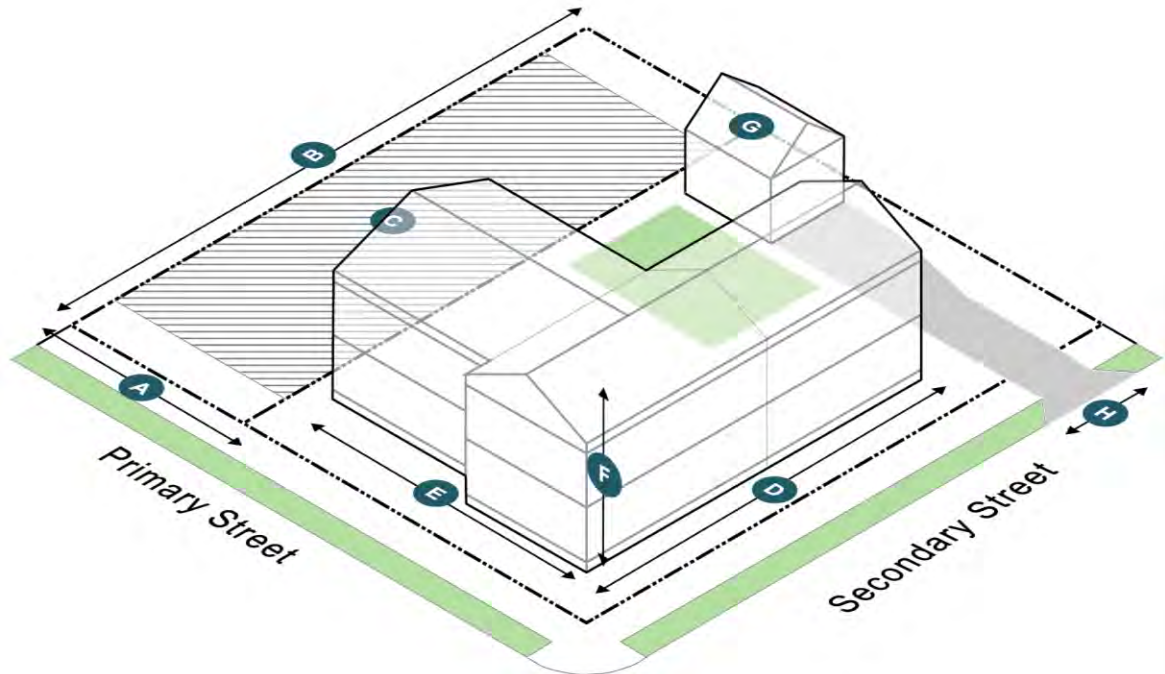


Historic Fourplex in Miami Beach, FL



Triplex at 461 W Marion Ave, Punta Gorda, FL





**b. Lot & Building Standards**

**Lot Dimensions**

Width	50' min., 84' max.	A
Depth	86' min.	B
Lot Size	Triplex	Fourplex
	4,400 SF min.	5,800 SF min.

**Building Footprint & Placement**

Lot Coverage	70% max.	C
Frontage Buildout <sup>1</sup>	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	D
Building Width	30' min.	E

**Intensity**

No. of Units	3-4 units	
Density (Individual Lot)	30 du/a max.	
Building Height	35' max. (3 stories)	F

<sup>1</sup> Frontage Buildout requirements on secondary streets shall not apply to the Triplex/Fourplex

**c. Parking & Access**

**Location**

Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.

**Garage Door/Carport Setback**

Attached	10' min. (from front façade)	
Detached <sup>1</sup>	Behind the primary building or in the rear yard only	G

**Parking Access**

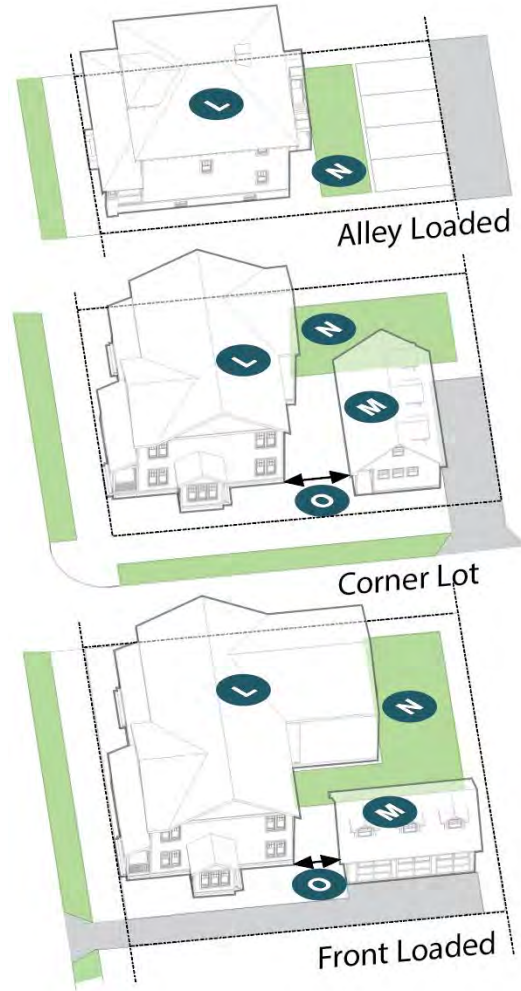
Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	H

**Pedestrian Access**

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

Common entries should be similar in appearance and compliment entrances of neighboring houses.

<sup>1</sup> Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)



#### d. Building Composition

##### Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

##### Roof Type<sup>1</sup>

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
---	-----------

##### Permitted Building Elements<sup>1</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

##### Required & Permitted Frontage Types<sup>1</sup>

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

#### e. Site Configuration

##### Number of Buildings

Primary	1	L
Accessory	1	M

##### Private Open Space<sup>1</sup>

Area	300 SF min.	N
------	-------------	---

##### Additional

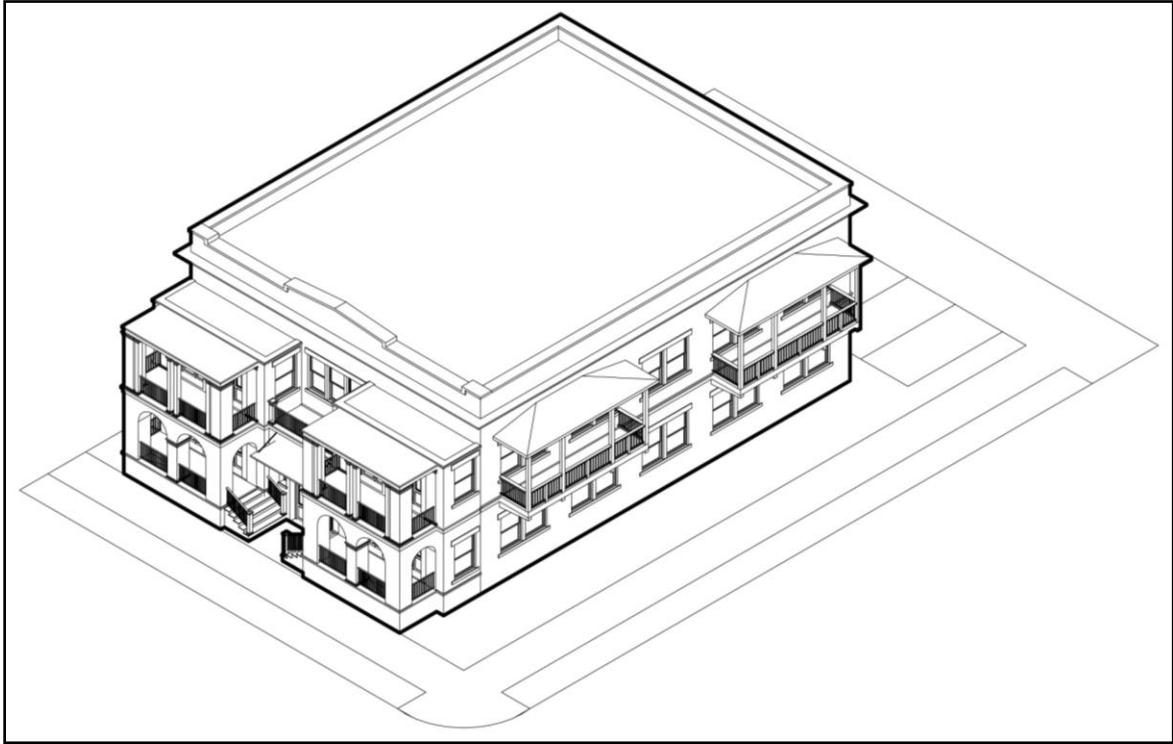
Distance Between Primary and Secondary Building	10' min.	O
---	----------	---

<sup>1</sup> Required Street setbacks and driveways shall not be included in the open space calculation

<sup>2</sup> The minimum lot dimensions only apply to the Alley Loaded configuration. The Corner Lot and Front-Loaded configurations require lots larger than the minimum 50' width and 86' depth.



(8) Multiplex



**a. Summary**

**Description**

A medium sized structure that consists of 5 or more units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, and typically with a shared entry from the street. This type may not include a rear yard.

**Key Characteristics**

Attached Units (Stacked or Side-by-Side)

Residential

2 to 3 stories

Street-Oriented

**Examples & Variations**



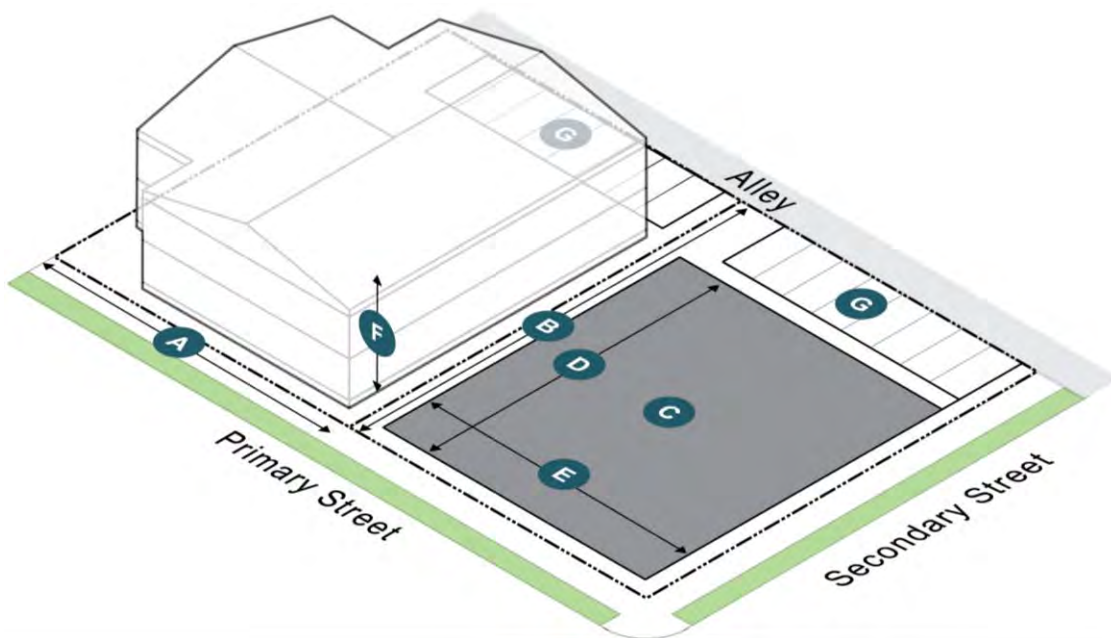
Historic Dayton Apartment:  
Portland, WA



212 Goldstein St in Punta  
Gorda, FL



Casa Laguna Apartments: Los  
Angeles, CA



**b. Lot & Building Standards**

**Lot Dimensions**

Width	80' min., 130' max.	A
Depth	86' min.	B
Lot Size	6,880 SF min.	

**Building Footprint & Placement**

Lot Coverage	80% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	60' min.	D
Building Width	50' min.	E

**Intensity**

No. of Units	5-12 units	
Density (Individual Lot)	Base 30 du/a	
Building Height	Base Defer to Regulating District	F

**c. Parking & Access**

**Location**

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.<sup>1</sup>

**Garage Door/Carport Setback**

Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Detached	Behind the primary building in the rear yard only

**Parking Access**

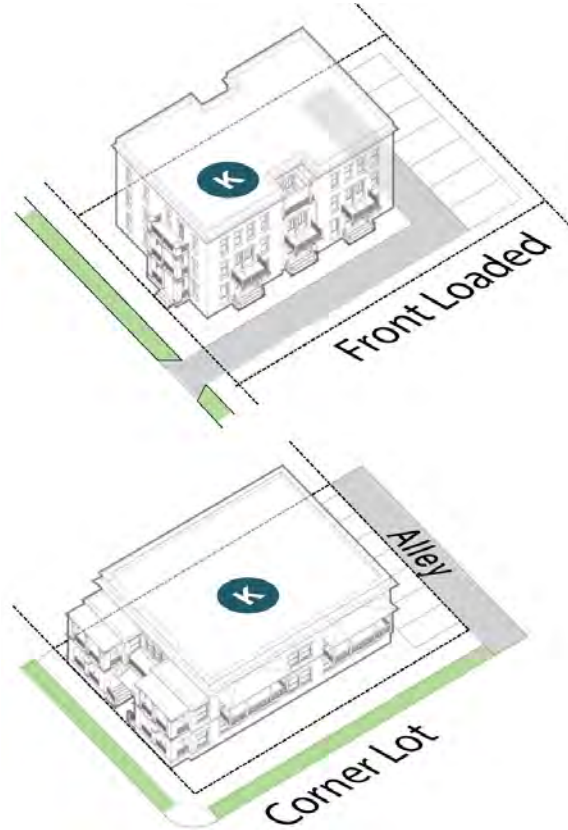
<b>Number of Driveways/Curb Cuts</b>	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 18' max.

**Pedestrian Access**

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

Common entries should be similar in appearance and compliment entrances of neighboring houses.

<sup>1</sup> Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



#### d. Building Composition

##### Front Façade Fenestration

Ground Floor	30% min., 50% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

##### Roof Type<sup>1</sup>

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
---	-----------

##### Permitted Building Elements<sup>1</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

##### Required & Permitted Frontage Types<sup>1</sup>

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

#### e. Site Configuration

##### Number of Buildings

Primary	1	K
Accessory	0	

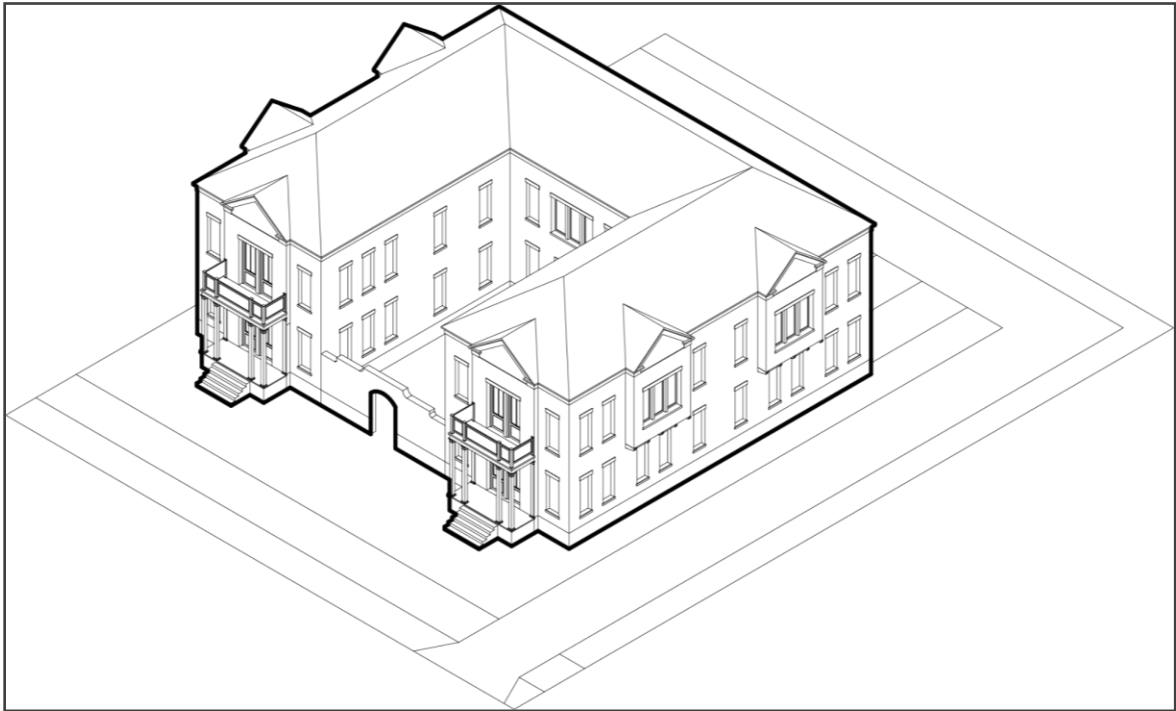
##### Private Open Space

No private open space requirement

##### Additional

Distance Between Primary and Secondary Building	n/a
---	-----

(9) Courtyard Apartment



**a. Summary**

**Description**

A Courtyard Building is a medium-to-large sized structure that consists of multiple dwelling units accessed from a central common courtyard or series of courtyards that open to the street.

**Key Characteristics**

Attached

Residential

2 to 4 stories

Orients to Street and Central Open Space

**Examples & Variations**

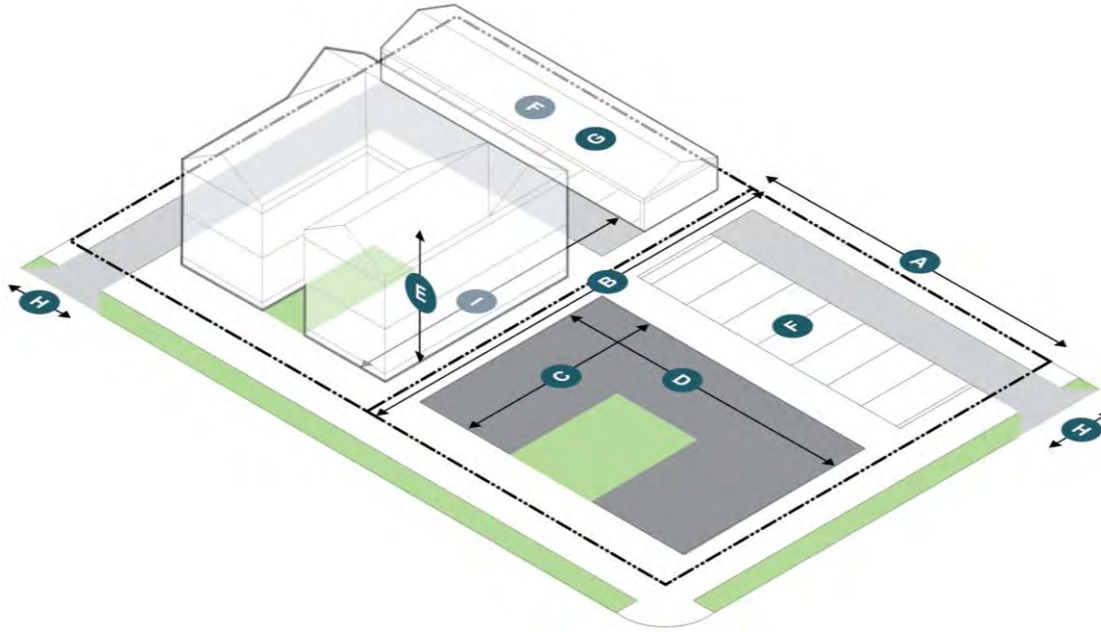


Everglade Apartments: Miami Beach, FL

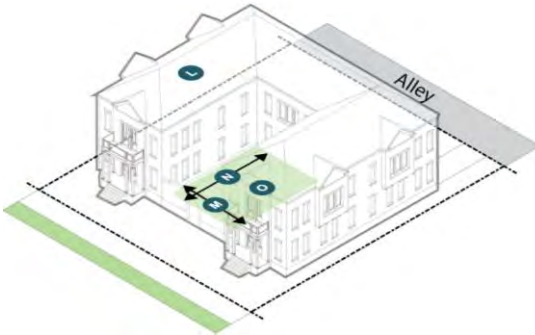
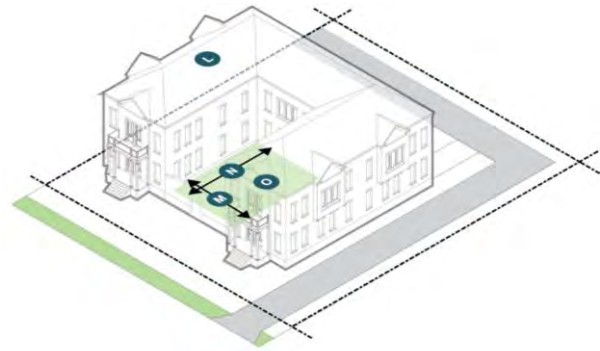
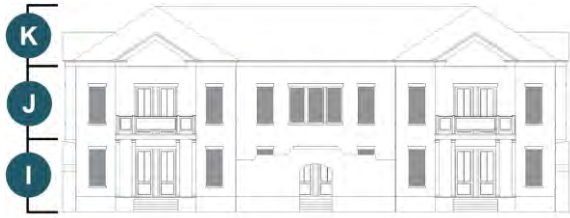


Sorrento Court: Portland, OR





b. Lot & Building Standards		c. Parking & Access	
<b>Lot Dimensions</b>		<b>Location</b>	
Width	84' min., 150' max. <b>A</b>	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. <sup>1</sup>	
Depth	100' min. <b>B</b>		
Lot Size	8,400 SF min.		
<b>Building Footprint &amp; Placement</b>		<b>Garage Door/Carport Setback</b>	
Lot Coverage	90% max.	Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Detached <sup>2</sup>	Behind the primary building in the rear yard only <b>G</b>
Setbacks			
Building Depth	40' min. <b>C</b>		
Building Width	50' min. <b>D</b>		
<b>Intensity</b>		<b>Parking Access</b>	
No. of Units	12 min.	Number of Driveways/Curb Cuts	
Density (Individual Lot)	Base 30 du/a	Primary Street	1
Building Height <b>E</b>	Base See Regulating District (2 stories min.)	Secondary Street	1
		Driveway Width	10' min., 18' max. <b>H</b>
		<b>Pedestrian Access</b>	
		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
		<sup>1</sup> Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking	
		<sup>2</sup> Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	



**d. Building Composition**

**Front Façade Fenestration**

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

**Roof Type<sup>1</sup>**

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

**Permitted Building Elements<sup>1</sup>**

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

**Required & Permitted Frontage Types<sup>1</sup>**

The following type is required:

Forecourt	7.2(d)(9)
-----------	-----------

At least one of the following types is required:

Lobby Entrance	7.2(d)(5)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Integral	7.2(d)(15)
Awning <sup>2</sup>	7.2(d)(6)
Entry Canopy: Large <sup>2</sup>	7.2(d)(7)
Overhead Balcony: Large <sup>2</sup>	7.2(d)(8)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

<sup>2</sup> At least one of these frontage types must be included with the lobby entrance, except if the lobby is recessed a minimum of 3'

**e. Site Configuration**

**Number of Buildings**

Primary	1	L
Accessory	1	

**Common Open Space<sup>1</sup>**

Courtyard Width	20' min.	M
Courtyard Depth	30' min.	O
Courtyard Area	600 SF min.	O

**Additional**

Distance Between Primary and Secondary Building	10'
---	-----

<sup>1</sup> Required street setbacks and driveways shall not be included in the open space calculation



(10) Live/Work



**a. Summary**

**Description**

The Live/Work Building Type is a small attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for office, service, or retail uses. Both the ground floor flex space and the residential unit are owned by one entity.

**Key Characteristics**

Integrated, Attached or Detached Units

Mixed Use

1 to 2.5 stories

Orients to Street

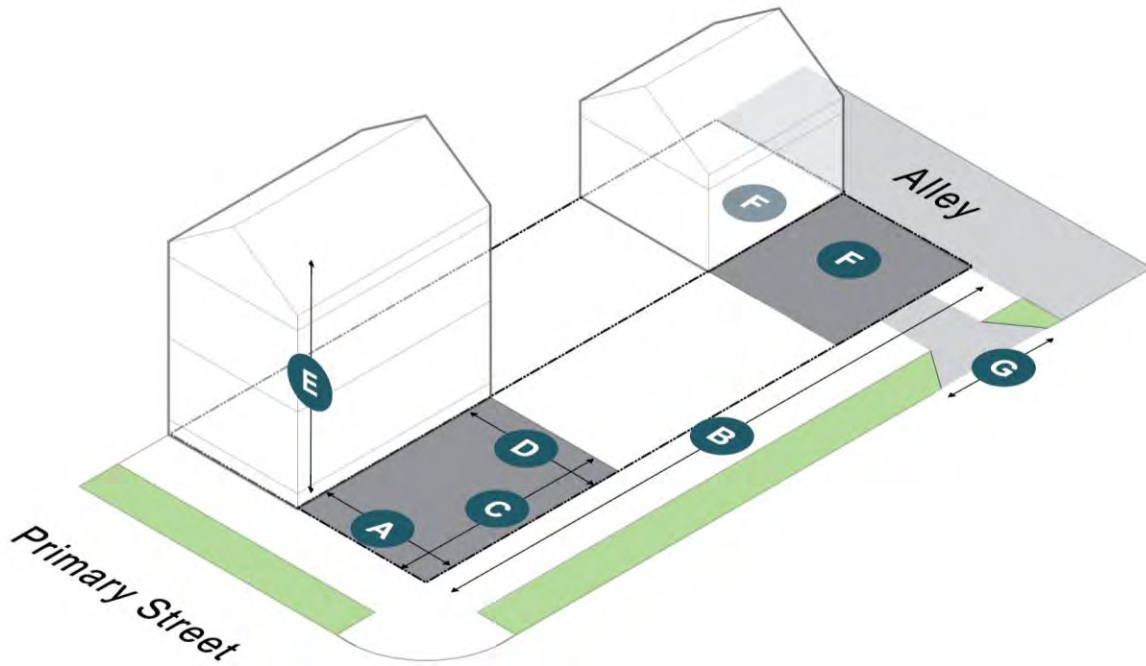
**Examples & Variations**



Attached Live/Work Unit in Beaufort, SC

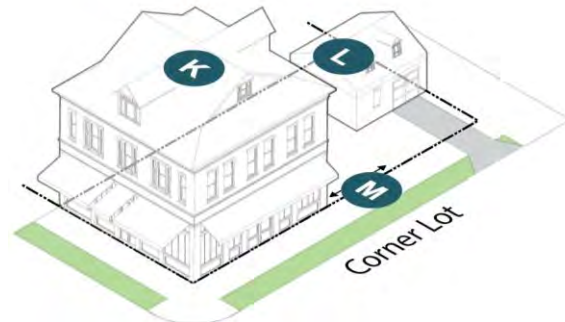
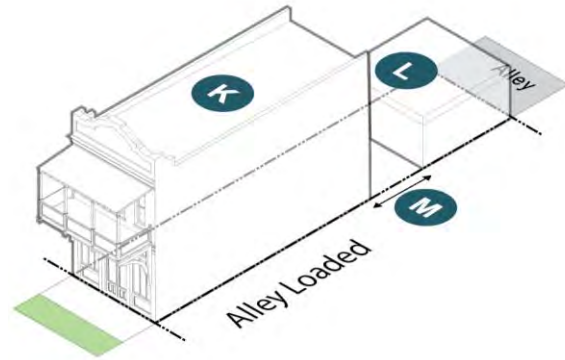


Detached Live/Work Unit



b. Lot & Building Standards		
<b>Lot Dimensions</b>		
Width	18' min., 53' max	(A)
Depth	86' min.	(B)
Lot Size	1,550 SF min.	
<b>Building Footprint &amp; Placement</b>		
Lot Coverage	90% max	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2©	
Setbacks		
Building Depth	30' min	(C)
Building Width	18' min	(D)
<b>Intensity</b>		
No. of units	1 unit	
Density (Individual Lot)	Base 30 du/a	
Building Height (E)	Base 35' max. (2.5 stories)	

c. Parking & Access	
<b>Location</b>	
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley. (F)	
<b>Garage Door/Carport Setback</b>	
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached <sup>1</sup>	Accessed from side street or rear lane/alley
<b>Parking Access</b>	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	8' min., 12' max. (G)
<b>Pedestrian Access</b>	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
<sup>1</sup> Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	



#### d. Building Composition

##### Front Façade Fenestration<sup>1</sup>

Ground Floor	40% min., 80% max.	H
Upper Story	30% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J

##### Roof Type<sup>2</sup>

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
---	-----------

##### Permitted Building Elements<sup>2</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

##### Permitted Frontage Types<sup>2</sup>

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

<sup>2</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

#### e. Site Configuration

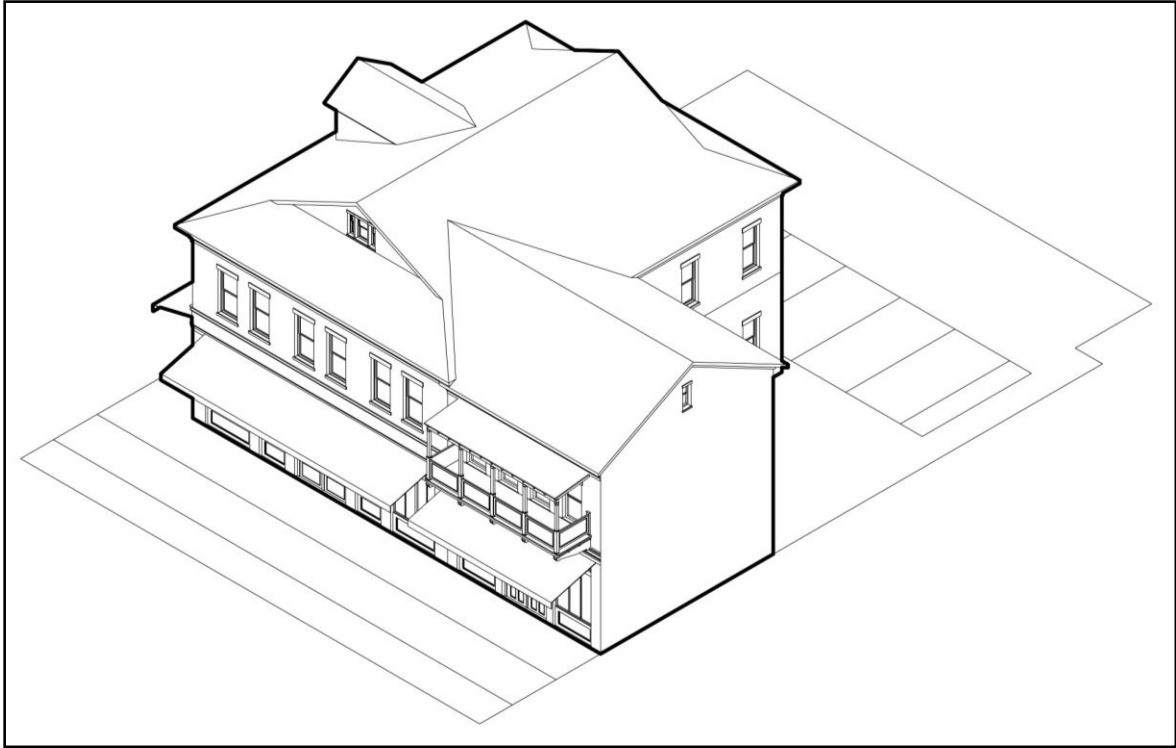
##### Number of Buildings

Primary	1	K
Accessory	1	L

##### Additional

Distance Between Primary and Secondary Building	10' min.	M
---	----------	---

(11) Small Footprint Mixed-Use



**a. Summary**

**Description**

A Small Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended to complement walkable neighborhoods by facilitating a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, or office uses.

**Key Characteristics**

Attached or Detached Units

Mixed Use

2 to 4 stories (typically)

Orients to Street

**Examples & Variations**



G Square, San Rafael, CA

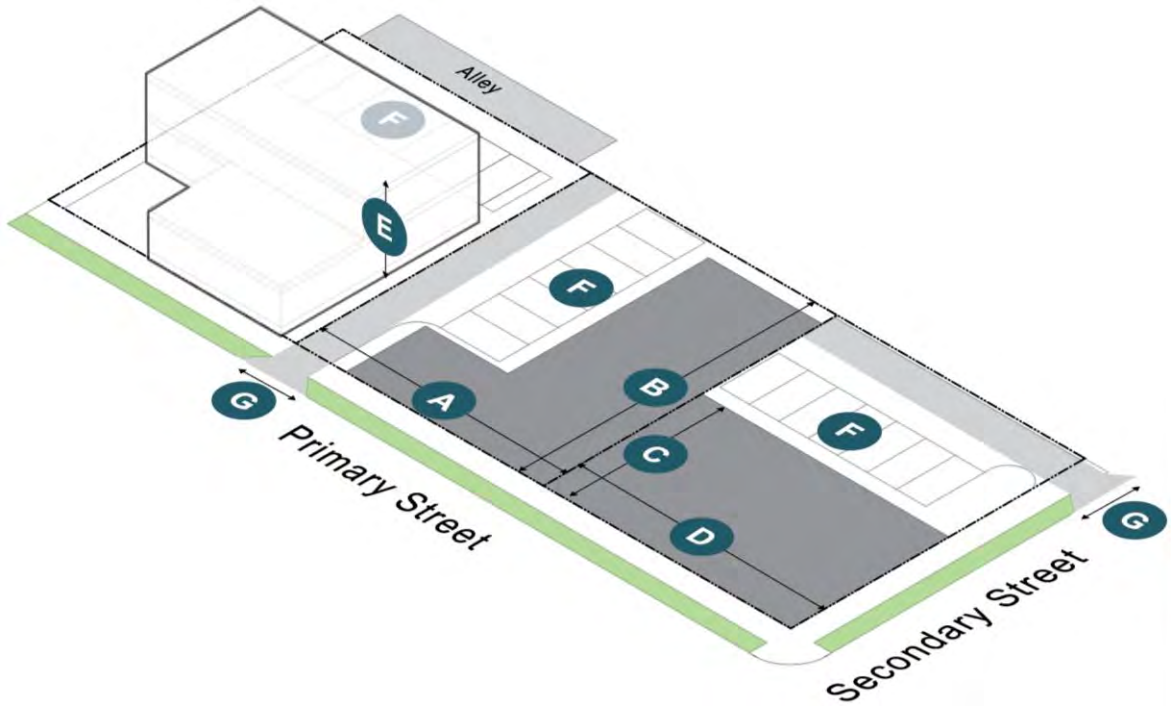


Historic Mixed-Use in Charleston, SC



Mixed-Use Building in Neptune Beach, FL





### b. Lot & Building Standards

#### Lot Dimensions

Width	40' min.	A
Depth	86' min.	B
Lot Size	3,500 SF min., 22,000 SF max.	

#### Building Footprint & Placement

Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	C
Building Width	30' min.	D

#### Intensity

No. of Units	2 min. for upper story residential	
Density (Individual Lot)	Base 30 du/a	
Building Height	Base See Regulating District (2 stories min.)	E

<sup>1</sup> See Subsection 3.2(j) regarding maximum height and density based on community benefits

### c. Parking & Access

#### Location

Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible.<sup>1</sup> F

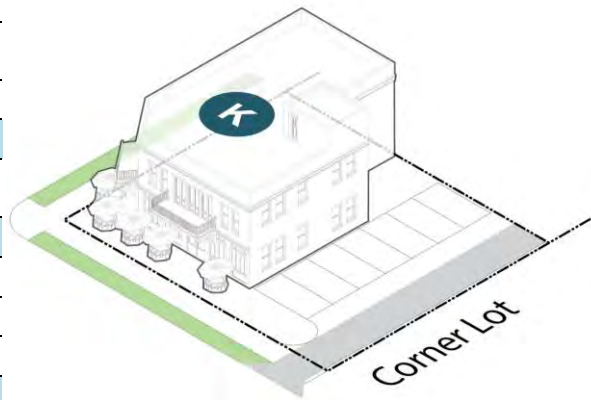
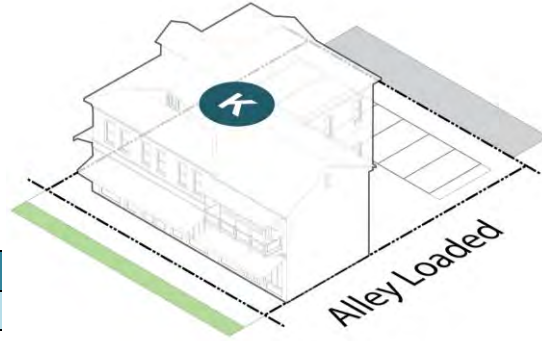
#### Parking Access

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

#### Pedestrian Access

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.

<sup>1</sup> Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking



**d. Building Composition**

**Front Façade Fenestration**

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

**Roof Type<sup>1</sup>**

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
---	-----------

**Permitted Building Elements<sup>1</sup>**

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

**Required & Permitted Frontage Types<sup>1</sup>**

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

**e. Site Configuration**

**Number of Buildings**

Primary	1	K
Accessory	n/a	

**Additional**

Distance Between Primary and Secondary Building	n/a
---	-----



(12) Medium Footprint Mixed-Use



**a. Summary**

**Description**

A Medium Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended for higher intensity areas such as village centers or downtown. This type facilitates a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, commercial, or office uses.

**Key Characteristics**

- Attached or Detached Units
- Mixed Use
- 2 to 7 stories
- Orients to Street

**Examples & Variations**



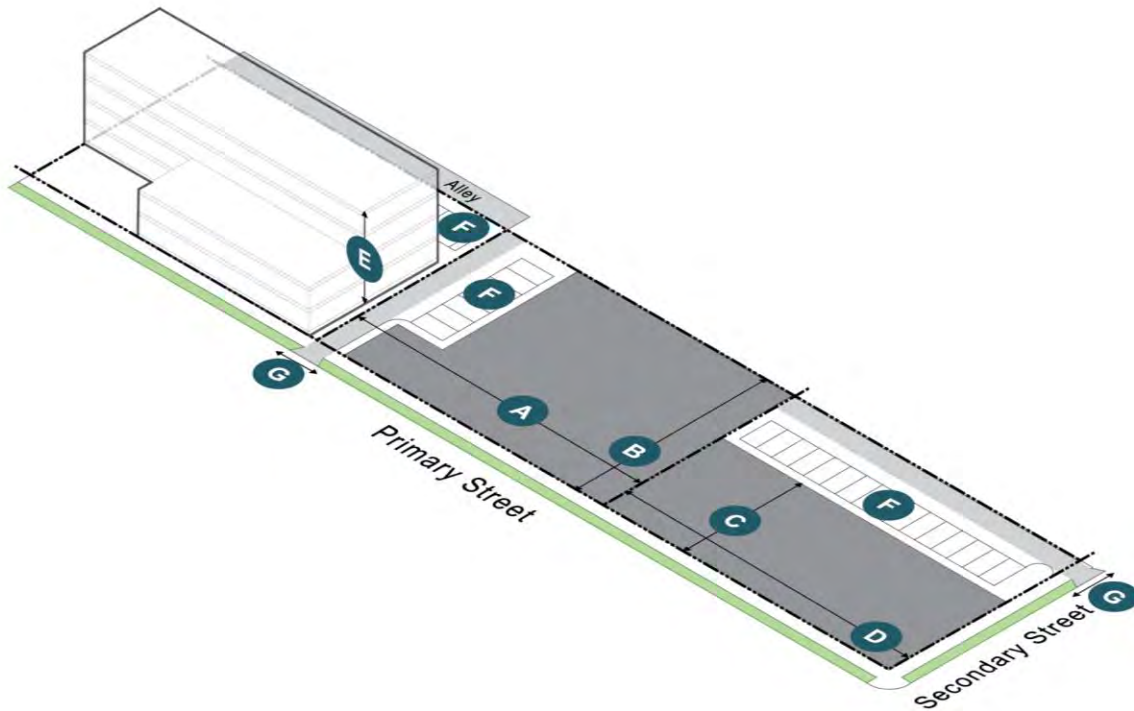
SunLoft Building in Punta Gorda, FL



Paseo Chapala in Santa Barbara, CA



Mixed-Use Building in Savannah, GA



### b. Lot & Building Standards

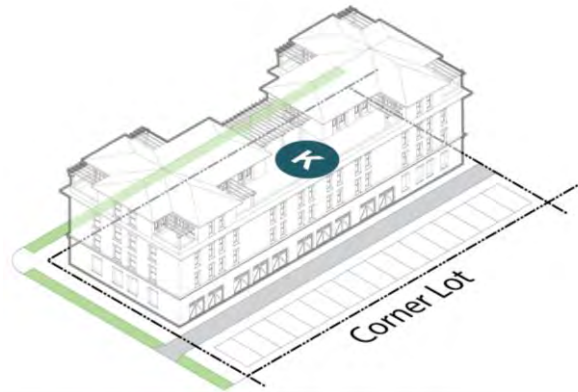
Lot Dimensions		
Width	180' min.	(A)
Depth	120' min.	(B)
Lot Size	21,600 SF min.	
Building Footprint & Placement		
Lot Coverage	100% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	60' min.	(C)
Building Width	100' min.	(D)
Intensity		
No. of Units	n/a	
Density (Individual Lot)	Base	With Development Mitigation <sup>1</sup>
	See Regulating District	
Building Height	Base	With Development Mitigation <sup>1</sup>
	See Regulating District (2 stories min.)	

<sup>1</sup> See Subsection 3.2(j) regarding maximum height and density based on community benefits

### c. Parking & Access

Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. <sup>1</sup> (F)	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. (G)
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

<sup>1</sup> Except in the Flex Commercial Corridor, which permits side yard parking



### d. Building Composition

#### Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

#### Roof Type<sup>1</sup>

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
---	-----------

#### Permitted Building Elements<sup>1</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

#### Required & Permitted Frontage Types<sup>1</sup>

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

### e. Site Configuration

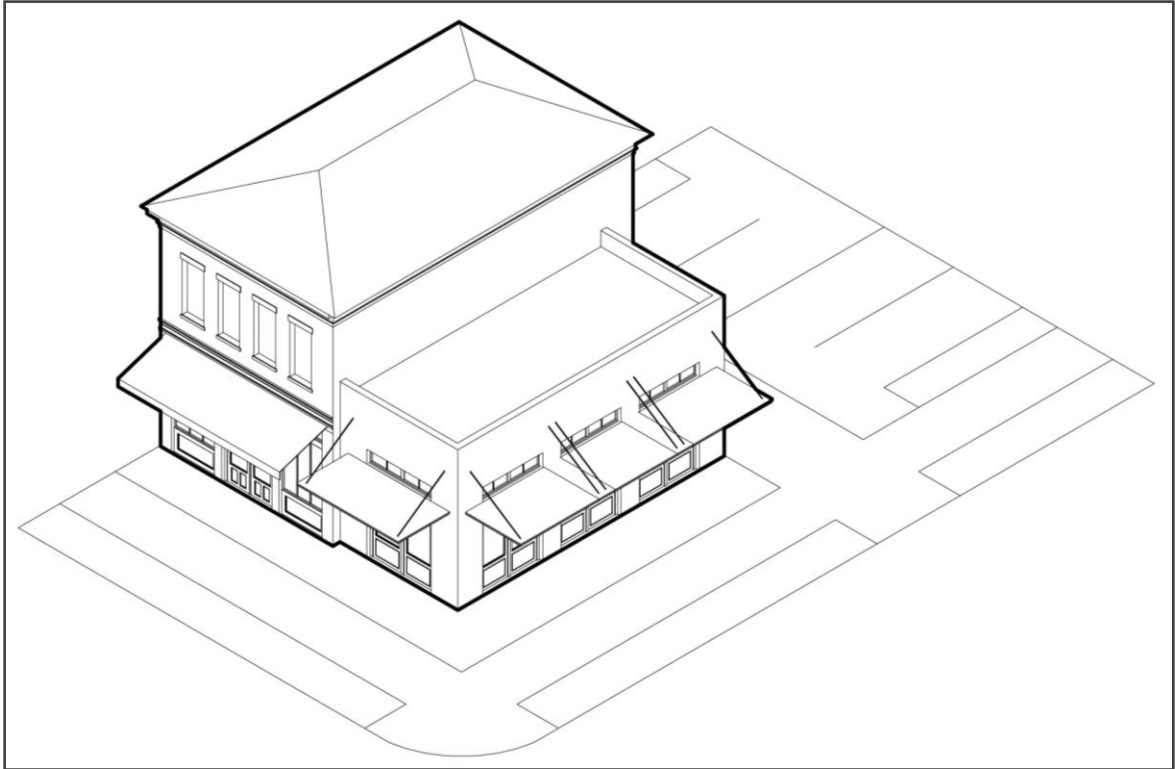
#### Number of Buildings

Primary	1	K
Accessory	n/a	

#### Additional

Distance Between Primary and Secondary Building	n/a
---	-----

(13) Main Street Shopfront



**a. Summary**

**Description**

The Main Street Shopfront is a small-to-medium sized structure, typically attached, intended to provide a mix of uses with ground floor retail or service uses and upper-floor service or residential uses. This Type promotes walkability and makes up the primary component of a neighborhood or downtown Main Street.

**Key Characteristics**

Attached or Detached Units

Mixed Use

1 to 2 stories

Orients to Street

**Examples & Variations**



Park Ave. in Winter Park, FL

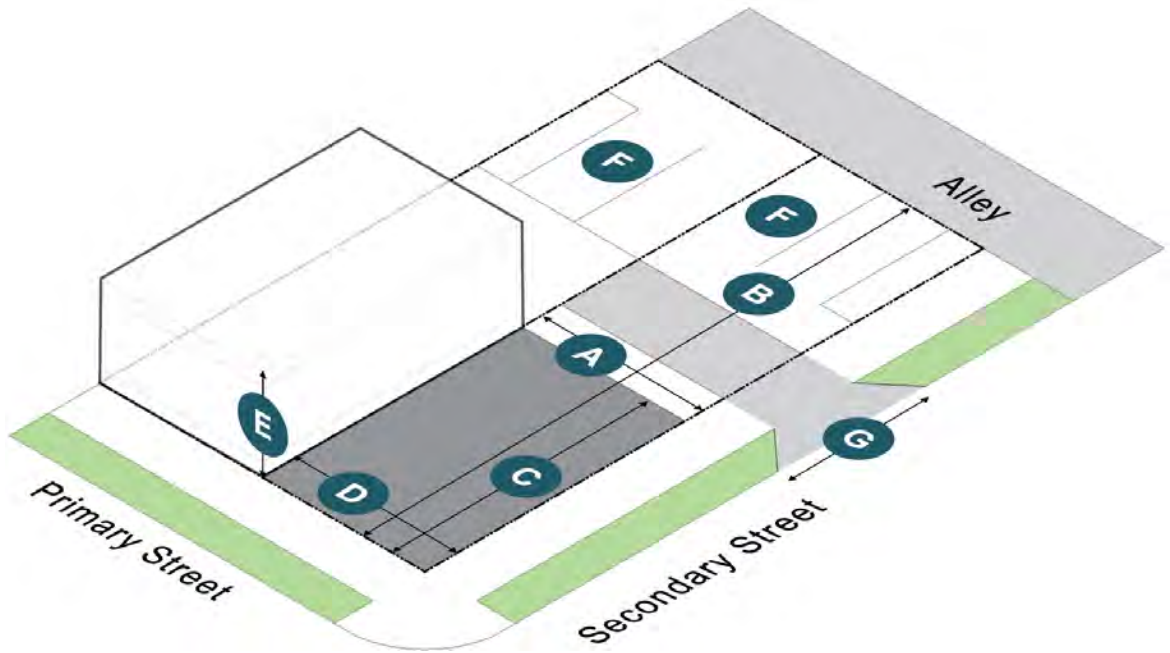


Marion Ave. in Punta Gorda, FL



Colorado Blvd. in Oldtown, Pasadena, CA

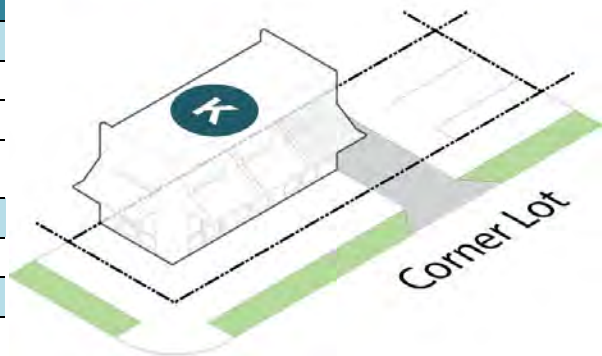
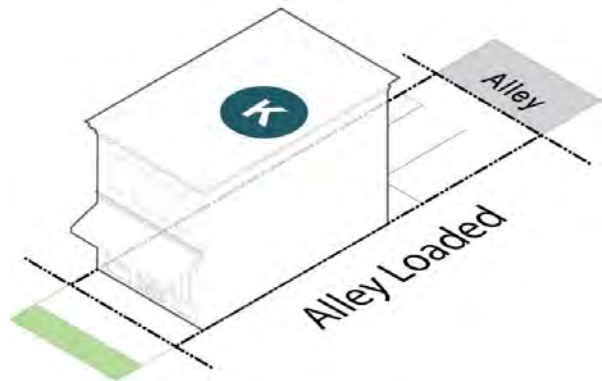




b. Lot & Building Standards		c. Parking & Access	
<b>Lot Dimensions</b>		<b>Location</b>	
Width	25' min., 150' max. <span style="float: right;">(A)</span>	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. <sup>1</sup> <span style="float: right;">(F)</span>	
Depth <sup>1</sup>	86' min. <span style="float: right;">(B)</span>		
Lot Size <sup>1</sup>	2,150 SF min.		
<b>Building Footprint &amp; Placement</b>		<b>Parking Access</b>	
Lot Coverage	90% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	40' min. <span style="float: right;">(C)</span>	Driveway Width	10' min., 20' max. <span style="float: right;">(G)</span>
Building Width	25' min. <span style="float: right;">(D)</span>	<b>Pedestrian Access</b>	
<b>Intensity</b>		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
No. of Units	n/a	<sup>1</sup> Except in the Maker Village or Flex Commercial Corridor, which permit side yard parking	
	Base		
Density (Individual Lot)	See Regulating District Base		
Building Height <span style="float: right;">(E)</span>	35' max. (2 stories)		

<sup>1</sup> The Main Street Shopfront Type shall also be permitted on any lot platted prior to March 2005





**d. Building Composition**

**Front Façade Fenestration**

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

**Roof Type<sup>1</sup>**

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

**Permitted Building Elements<sup>1</sup>**

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

**Required & Permitted Frontage Types<sup>1</sup>**

The following frontage type is required:

Storefront	7.2(d)(4)
------------	-----------

Additionally, one of the following types is required in combination with the above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

**e. Site Configuration**

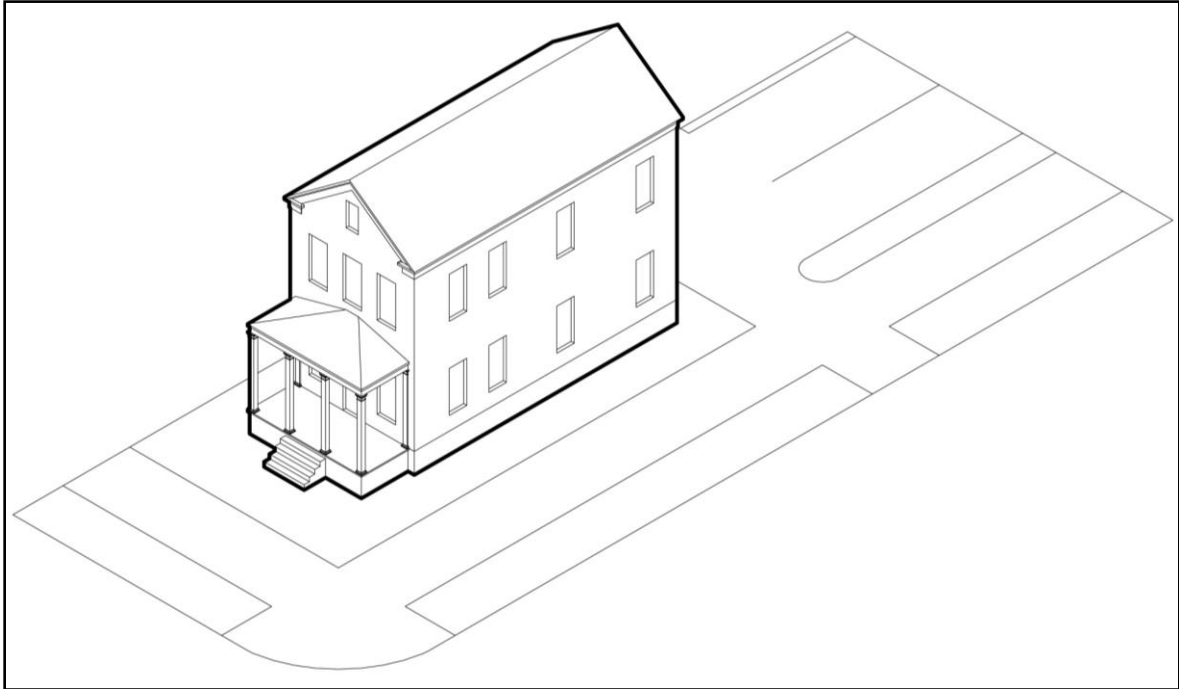
**Number of Buildings**

Primary	1	K
Accessory	1	

**Additional**

Distance Between Primary and Secondary Building	n/a
---	-----

(14) Neighborhood Shopfront



**a. Summary**

**Description**

A Neighborhood Shopfront is a detached commercial building that either was or resembles a single-family home. A Neighborhood Shopfront is usually the result of, and key facilitator for, a gentle evolution of a neighborhood from a solely residential environment to a mixed-use environment.

**Key Characteristics**

Attached or Detached Units

Commercial

1 to 2.5 stories

Orients to Street

**Examples & Variations**



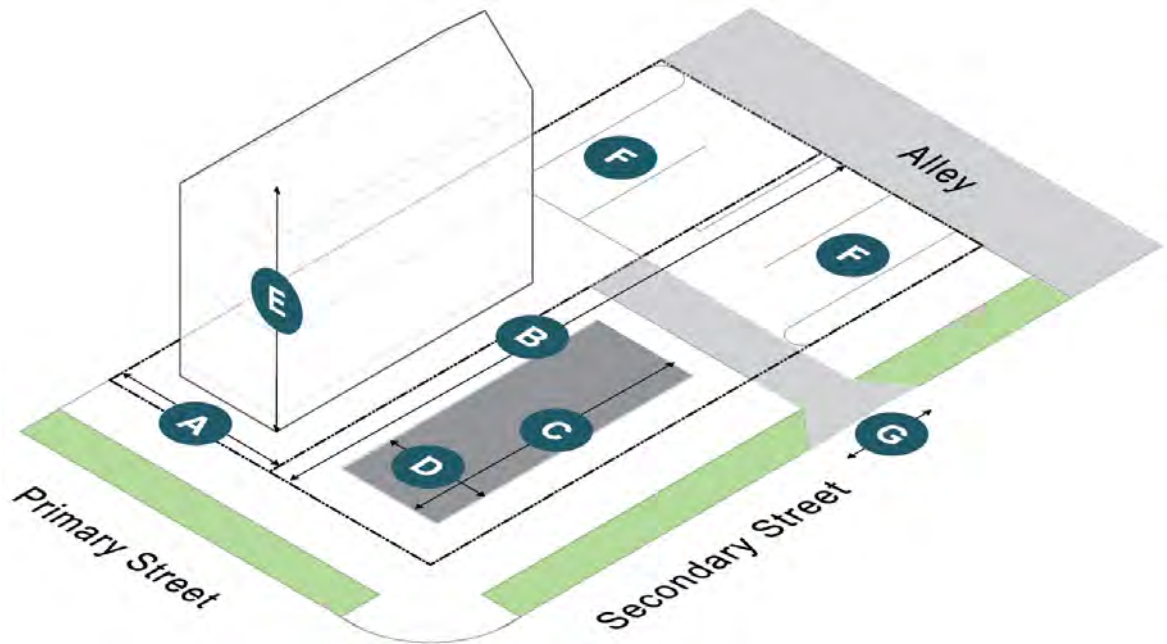
House to Restaurant Conversion in Punta Gorda, FL



Boutique in Neptune Beach, FL



House to Café Conversion in Seattle, WA



**b. Lot & Building Standards**

Lot Dimensions	
Width	25' min., 84' max. <span style="float: right;">A</span>
Depth <sup>1</sup>	86' min. <span style="float: right;">B</span>
Lot Size <sup>1</sup>	2,150 SF min.
Building Footprint & Placement	
Lot Coverage	80% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	40' min. <span style="float: right;">C</span>
Building Width	15' min. <span style="float: right;">D</span>
Intensity	
No. of Units	n/a.
	<u>Base</u>
Density (Individual Lot)	See Regulating District
	<span style="float: right;">E</span> <u>Base</u>
Building Height	35' max. (2.5 stories)

<sup>1</sup> The Neighborhood Shopfront Type shall also be permitted on any lot platted prior to March 2005

**c. Parking & Access**

Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. <span style="float: right;">F</span>	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. <span style="float: right;">G</span>
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	



#### d. Building Composition

##### Front Façade Fenestration<sup>1</sup>

Ground Floor	40% min.	H
Upper Story	30% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

##### Roof Type<sup>2</sup>

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
---	-----------

##### Permitted Building Elements<sup>2</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

##### Required & Permitted Frontage Types<sup>2</sup>

At least one of the following types is required:

Storefront	7.2(d)(4)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

Additionally, one of the following types is required in combination with the storefront:

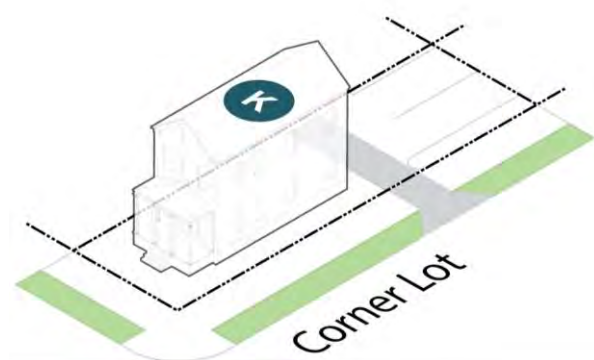
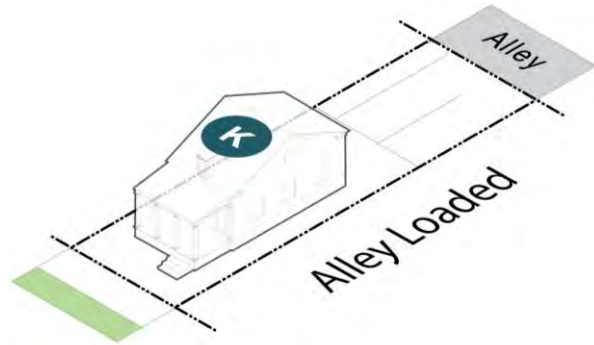
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

<sup>2</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



#### e. Site Configuration

##### Number of Buildings

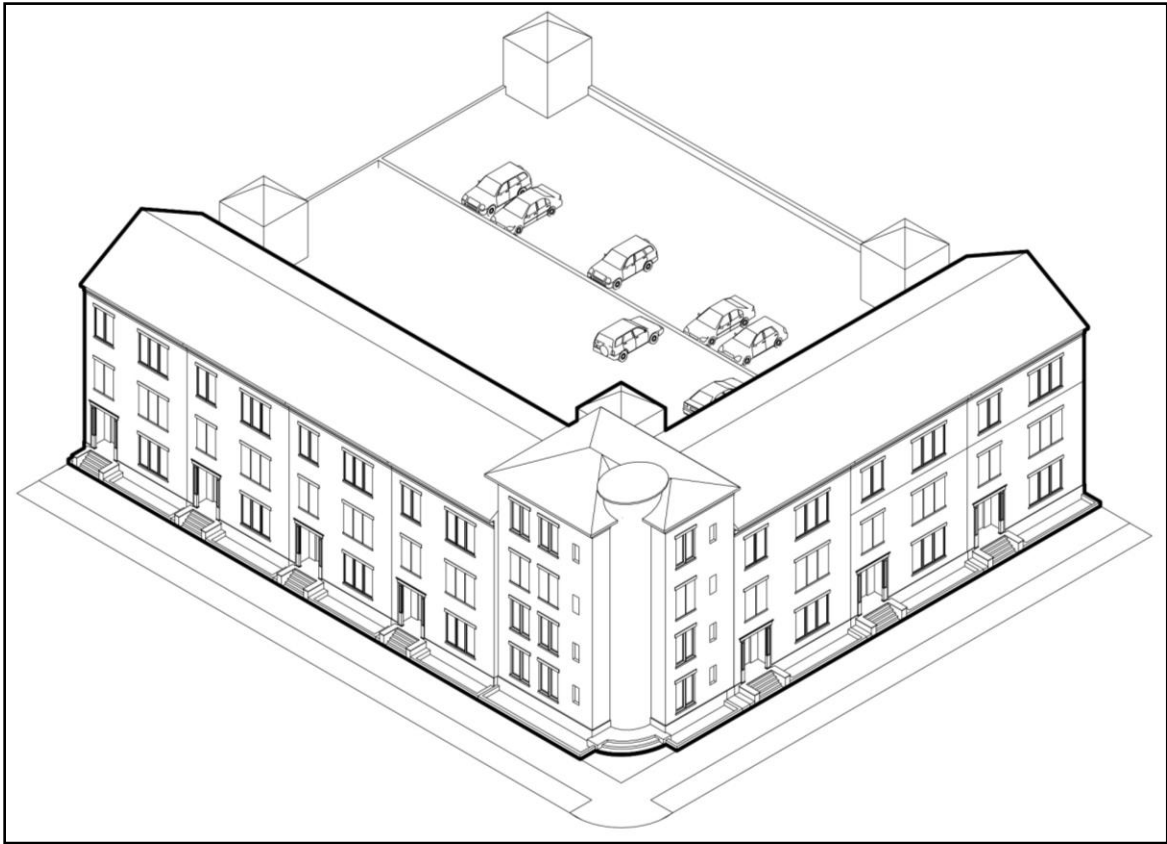
Primary	1	K
Accessory	n/a	

##### Additional

Distance Between Primary and Secondary Building	n/a
---	-----



(15) Liner



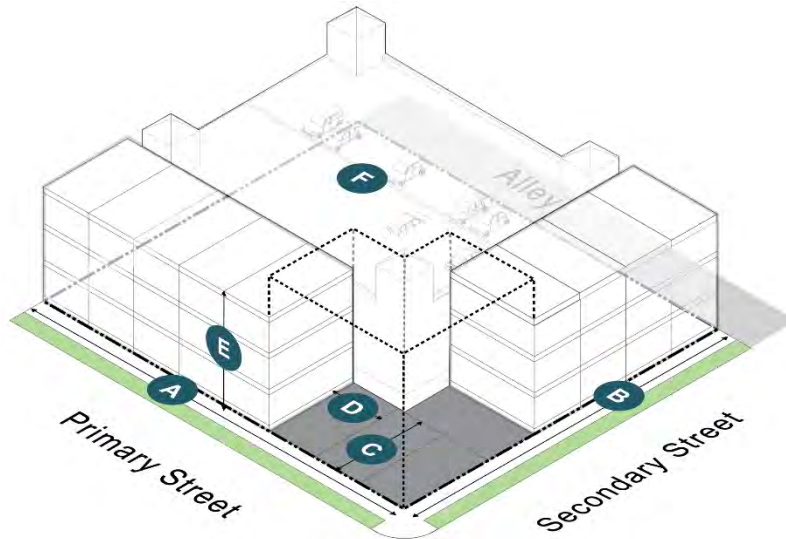
**a. Summary**

Description	Key Characteristics
<p>A Liner Building is a shallow structure that wraps the perimeter of a block to create a street frontage and conceal surface or structured parking, or a large-scale commercial building. These buildings may contain a variety of uses, including ground floor retail, and/or upper-level offices or residential.</p>	<p>Attached or Detached Units</p> <hr/> <p>Mixed Use</p> <hr/> <p>2-7 stories</p> <hr/> <p>Orients to Street</p>

**Examples & Variations**

<p>Townhouse Liner concealing structured parking in Alexandria, VA</p>	<p>Mizner Park Rowhouse Liner attached to parking structure in Boca Raton, FL</p>	<p>Office Liner Building attached to a Publix in Baldwin Park, FL</p>





b. Lot & Building Standards		c. Parking & Access	
<b>Lot Dimensions</b>		<b>Location</b>	
Width	n/a <span style="float: right;">A</span>	Parking shall be located behind the building and accessed from alleys or side streets wherever possible. <span style="float: right;">F</span>	
Depth	n/a <span style="float: right;">B</span>		
Lot Size	n/a		
<b>Building Footprint &amp; Placement</b>		<b>Parking Access</b>	
Lot Coverage	100% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	20' min. <span style="float: right;">C</span>	Driveway Width	10' min., 20' max.
Building Width	25' min. <span style="float: right;">D</span>	<b>Pedestrian Access</b>	
A liner building may cap a surface parking lot or structure. Not all liner buildings have to be in the L-shape shown above. Their purpose to offer a better frontage to street or public open space.		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
<b>Intensity</b>			
No. of Units	No minimum		
Density <sup>1</sup>	Base	With Development Mitigation <sup>2</sup>	
	See Regulating District		
Building Height	Base	With Development Mitigation <sup>2</sup>	
	<span style="float: left;">E</span> See Regulating District	See Regulating District	

<sup>1</sup> See Subsection 3.2(j) regarding maximum height and density based on Development Mitigation. For the purposes of Development Mitigation, Liner Buildings are only permitted as accessory structures to Medium Footprint Mixed Use Building Type.



#### d. Building Composition

##### Front Façade Fenestration<sup>1</sup>

Ground Floor	30% min., 80% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

##### Roof Type<sup>2</sup>

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
---	-----------

##### Permitted Building Elements<sup>2</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

##### Required & Permitted Frontage Types<sup>2</sup>

One of the following types is required:

Storefront	7.2(d)(4)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)

One of the following types is also required in combination with the storefront above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Lobby Entrance	7.2(d)(5)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

<sup>2</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



#### e. Site Configuration

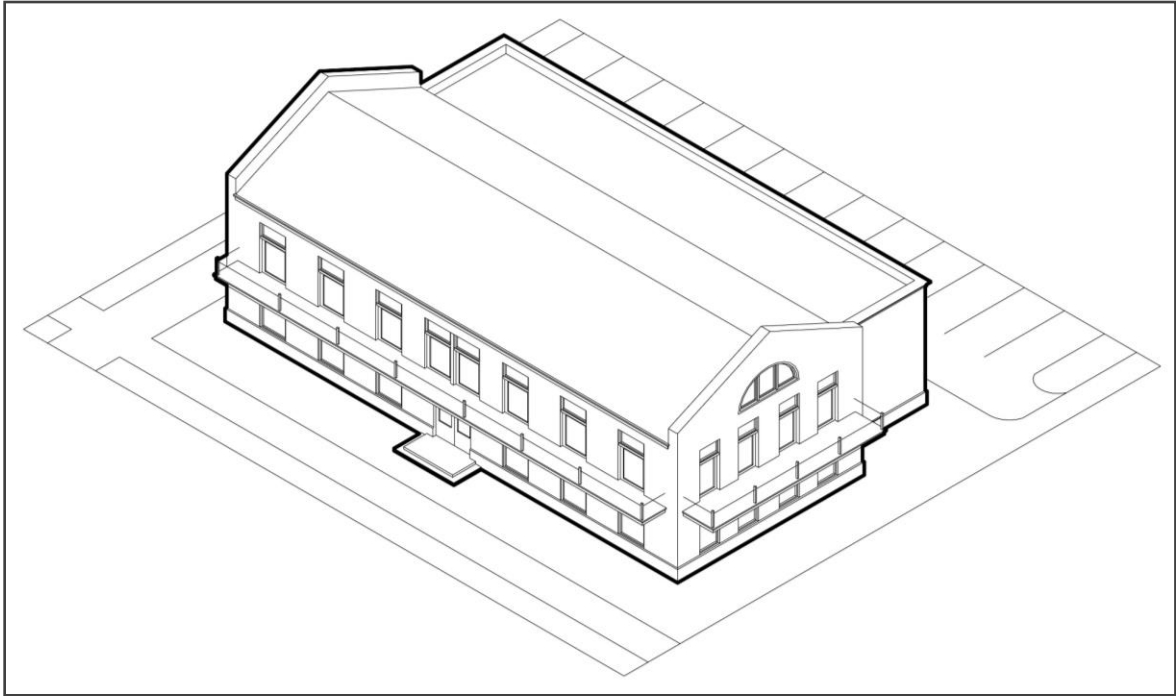
##### Number of Buildings

Primary	1	J
Accessory	n/a	

##### Additional

Distance Between Primary and Secondary Building	n/a
---	-----

(16) Loft



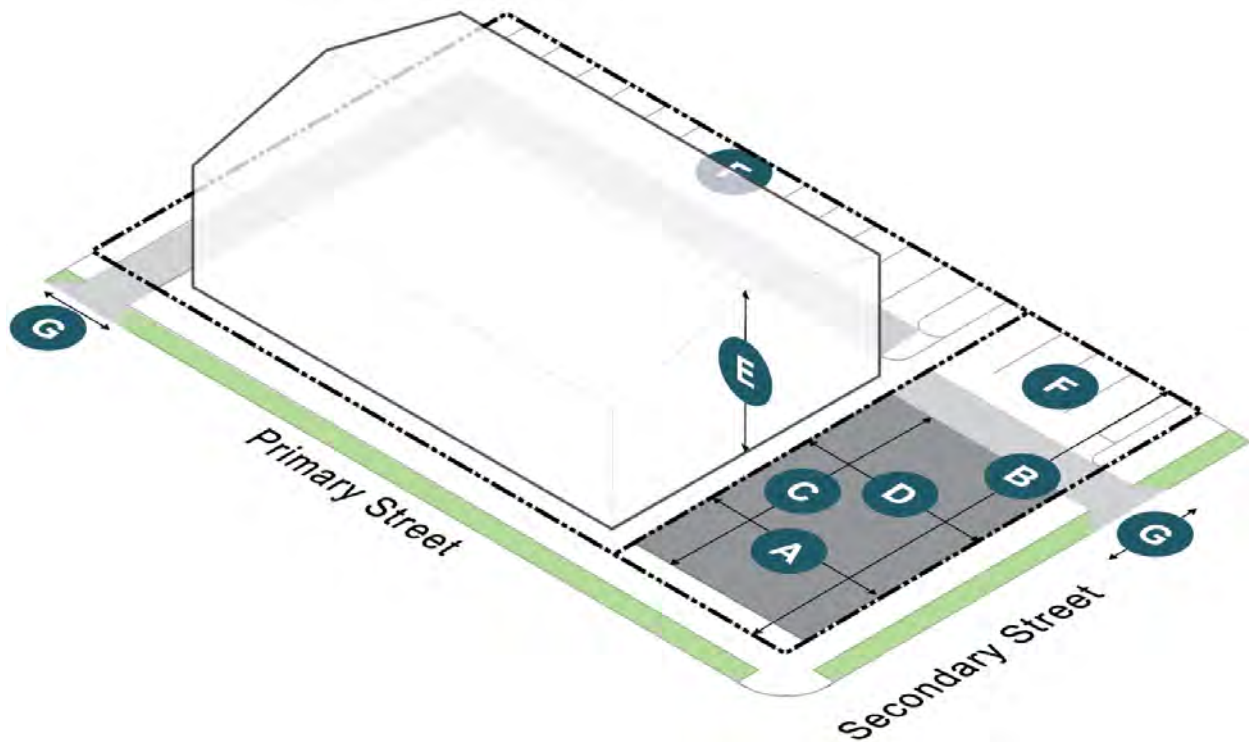
**a. Summary**

Description	Key Characteristics
<p>The Loft Building Type is a medium- to large-sized structure built on a large lot. This building type is characterized by high ceilings that may accommodate a mix of uses including ground-floor manufacturing, office, or retail uses and upper-floor service or residential uses; or may be a single-use building, typically industrial, manufacturing, office, or residential.</p>	Detached or Attached
	Mixed Use
	2 to 3 stories
	Orients to Street

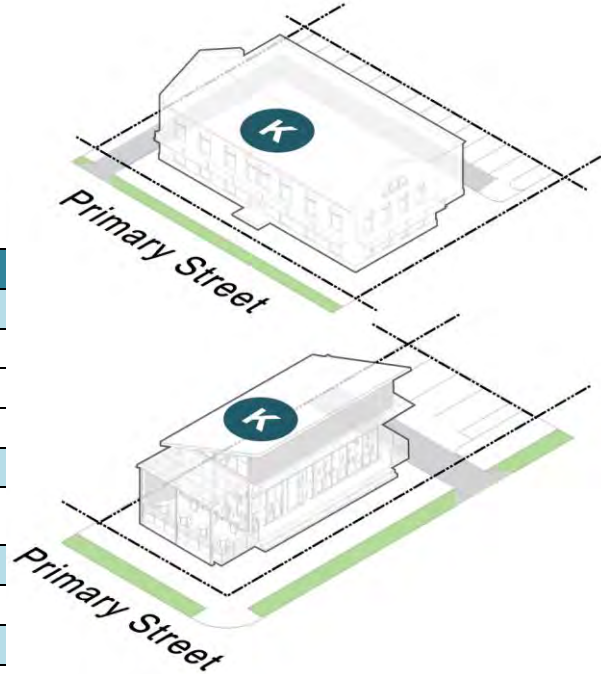
**Examples & Variations**



Loft Apartments in Montgomery, AL	Ice House Building in Punta Gorda, FL	Earnhardt Building in Fort Myers, FL
-----------------------------------	---------------------------------------	--------------------------------------



b. Lot & Building Standards		c. Parking & Access	
<b>Lot Dimensions</b>		<b>Location</b>	
Width	50' min. <span style="float: right;">(A)</span>	Parking shall be located to the rear or side of the building and accessed from alleys or side streets <span style="float: right;">(F)</span> wherever possible.	
Depth	90' min. (120' preferred) <span style="float: right;">(B)</span>		
Lot Size	6,000 SF min.	<b>Parking Access</b>	
<b>Building Footprint &amp; Placement</b>		Number of Driveways/Curb Cuts	
Lot Coverage	90% max.	Primary Street	1
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Secondary Street	1
Setbacks		Driveway Width	10' min., 20' max. <span style="float: right;">(G)</span>
Building Length	60' min. <span style="float: right;">(C)</span>	<b>Pedestrian Access</b>	
Building Width	30' min. <span style="float: right;">(D)</span>	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
<b>Intensity</b>			
No. of Units	No minimum		
Density (Individual Lot)	Base 30 dua		
Building Height <span style="float: right;">(E)</span>	Base 35' max. (3 stories)		



**d. Building Composition**

**Front Façade Fenestration<sup>1</sup>**

Ground Floor	40% min., 80% max.	H
Upper Story	40% min., 60% max.	I
Habitable Half Story/Attic	n/a	J

**Roof Type<sup>2</sup>**

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
--	-----------

**Permitted Building Elements<sup>2</sup>**

Balconies	7.2(a)(6)-f
-----------	-------------

**Required & Permitted Frontage Types<sup>2</sup>**

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Stoop	7.2(d)(12)
Entry Canopy: Small	7.2(d)(17)

<sup>1</sup> If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

<sup>2</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

**e. Site Configuration**

**Number of Buildings**

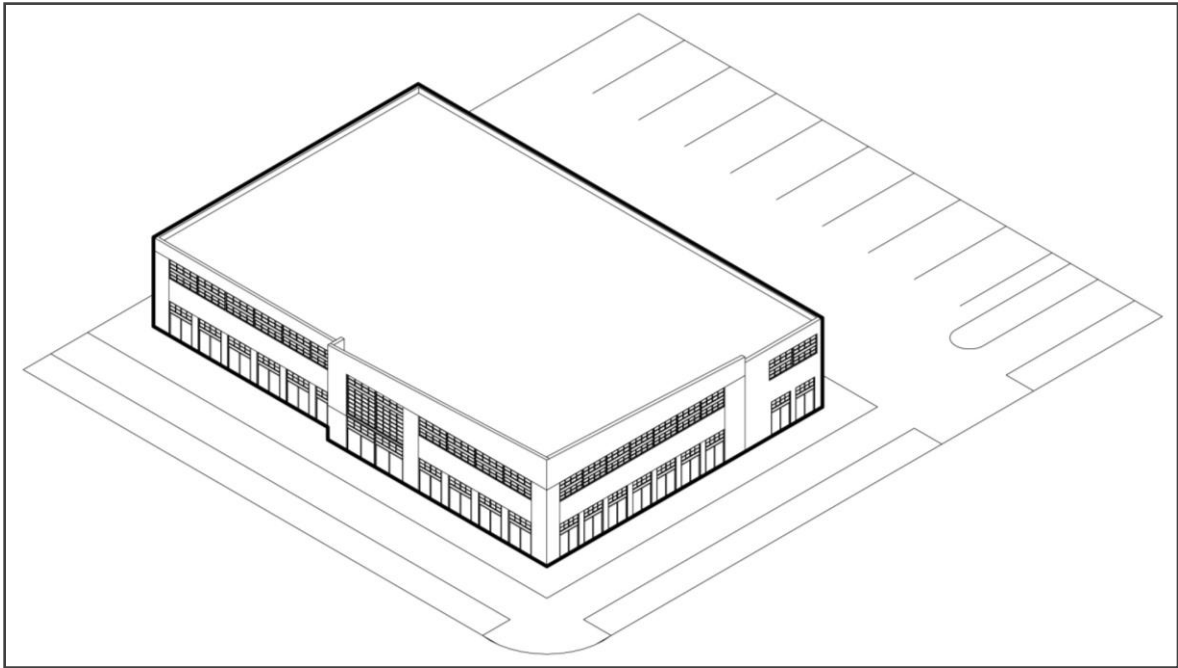
Primary	1	K
Accessory	n/a	

**Additional**

Distance Between Primary and Secondary Building	n/a
---	-----



(17) Warehouse

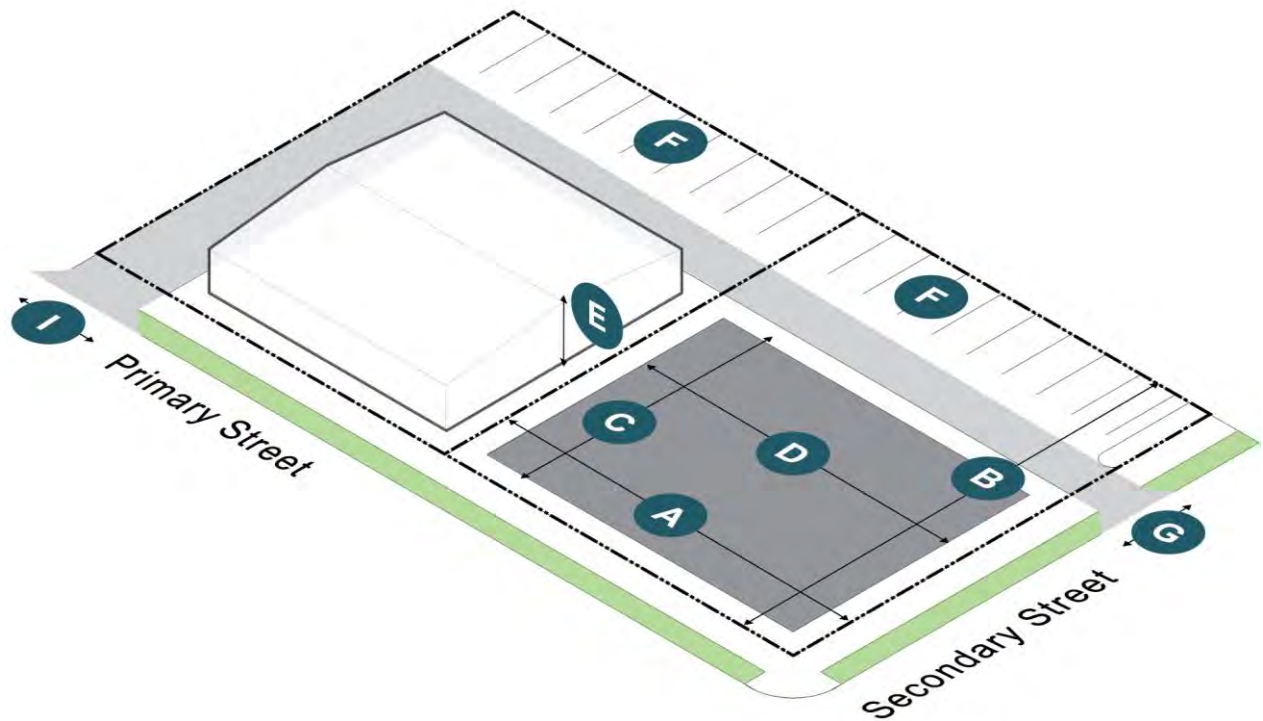


**a. Summary**

Description	Key Characteristics
<p>A Warehouse is generally a large, one-story, single-use building, often containing modular or pre-manufactured materials, and characterized by high ceilings and multiple bays to accommodate loading and unloading of large trucks. Warehouse buildings often contain specialized uses with needs for storage and distribution of products and inventory, with a small amount of dedicated office space.</p>	<p>Detached</p> <p>Light Industrial, Artisan, or Commercial Uses</p> <p>1-to-2 stories</p> <p>Partially Street-Oriented</p>

**Examples & Variations**

<p>Aluminum Prefabricated Industrial Building</p>	<p>Barrel Vault Roofed Warehouse</p>	<p>Metal Warehouse</p>



**b. Lot & Building Standards**

**Lot Dimensions**

Width	70' min. (100' preferred)	A
Depth	90' min. (120' preferred)	B
Lot Size	9,000 SF min.	

**Building Footprint & Placement**

Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Section 3.2(c)	
Setbacks		
Building Length	40' min.	C
Building Width	30' min.	D

**Intensity**

No. of Units	n/a	
Density (Individual Lot)	Base n/a	
Building Height	Base 35' max. (2 stories)	E

**c. Parking & Access**

**Location**

Parking shall be located to the rear or side of the building and accessed from alleys or side streets wherever possible. F

**Parking Access**

Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G

**Pedestrian Access**

Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.



#### d. Building Composition

##### Front Façade Fenestration <sup>1</sup>

Ground Floor	40% min., 80% max.	<b>H</b>
Upper Story	20% min., 50% max.	
Blank Wall	25' max.	

##### Roof Type<sup>2</sup>

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
--	-----------

##### Required & Permitted Frontage Types<sup>2</sup>

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

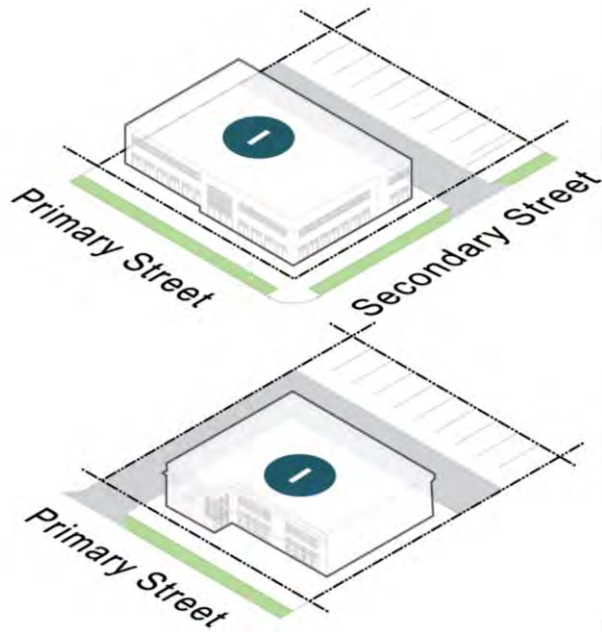
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Porch: Projecting	7.2(d)(13)

<sup>1</sup> If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

<sup>2</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



#### e. Site Configuration

##### Number of Buildings

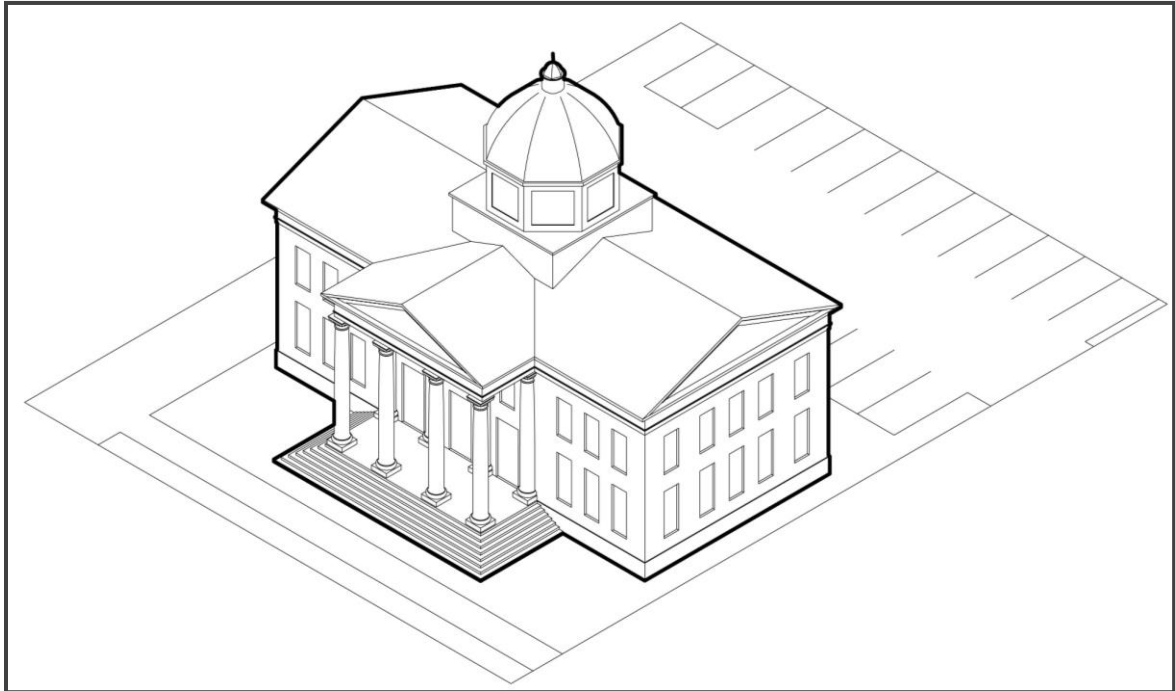
Primary	1	<b>I</b>
Accessory	2	

##### Additional

Distance Between Primary and Secondary Building 10' min.

<sup>1</sup> Required street setbacks and driveways shall not be included in the open space calculation

(18) Civic/Institutional

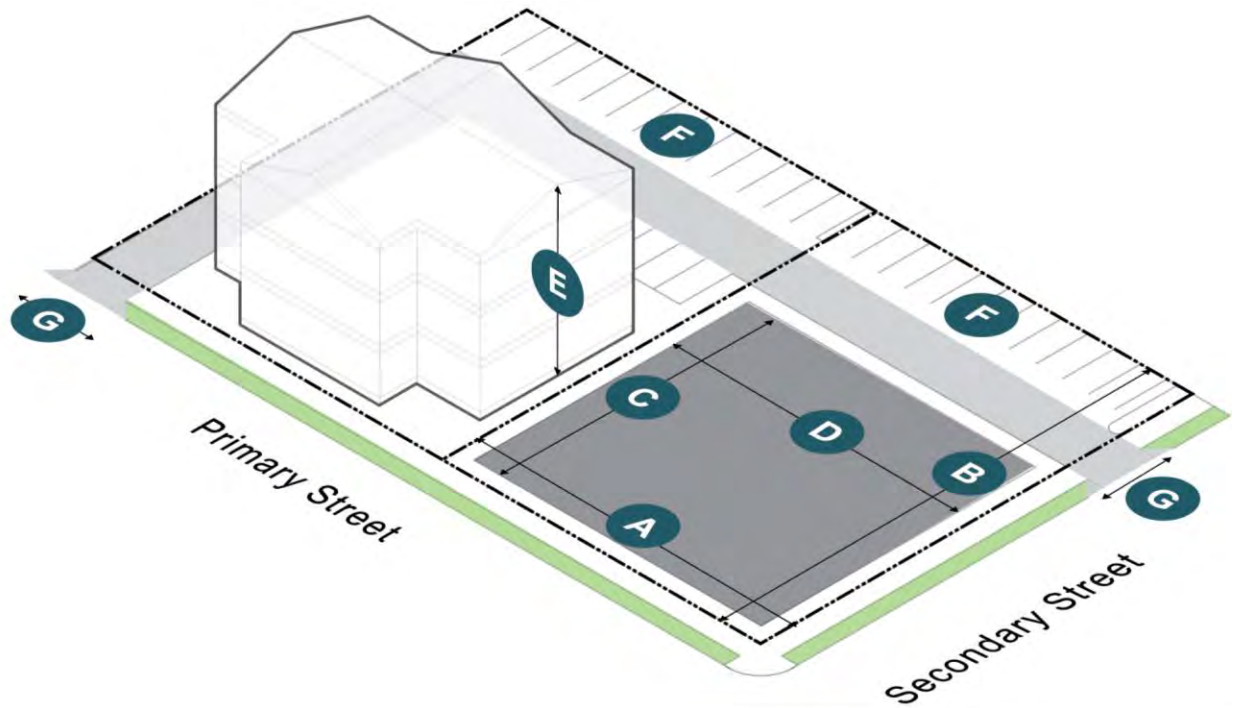


**a. Summary**

Description	Key Characteristics
<p>A Civic/Institutional Building may be public or private, and contain uses of special public importance, community use, or benefit by governmental, cultural, educational, public welfare, or religious organizations. Civic buildings are monumental in scale and sited prominently within the urban fabric. This building types contains architecturally significant features and exhibits unique design elements or focal points that complement its surroundings.</p>	Detached
	Non-Residential
	2 to 7 stories
	Orients to Street

**Examples & Variations**

<p>Military Heritage Museum, Punta Gorda, FL</p>	<p>City Hall in Punta Gorda, FL</p>	<p>Charlotte County Justice Center, Punta Gorda, FL</p>

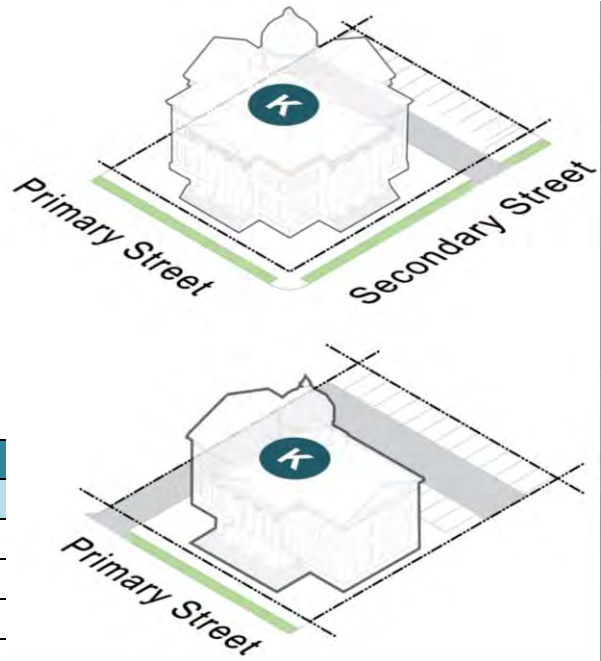
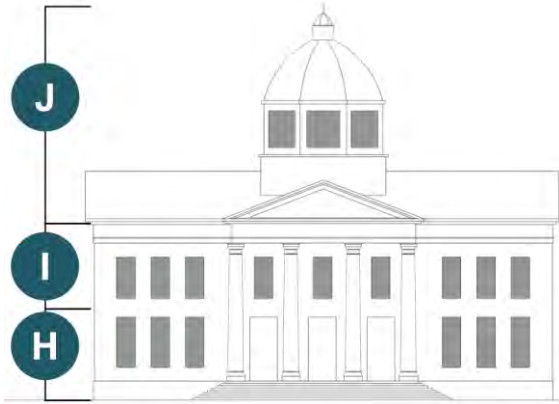


b. Lot & Building Standards	
<b>Lot Dimensions</b>	
Width	n/a <b>A</b>
Depth	n/a <b>B</b>
<b>Building Footprint &amp; Placement</b>	
Lot Coverage	Defer to Regulating District
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	n/a <b>C</b>
Building Width	n/a <b>D</b>
<b>Intensity</b>	
No. of Units	n/a
Density (Individual Lot) <sup>1</sup>	Base n/a
Building Height <b>E</b>	Base 80'

<sup>1</sup> Residential may be permitted along with religious buildings at a maximum density of 10 du/a  
<sup>1</sup> See Subsection 3.2(k) regarding maximum height and density based on community benefits

c. Parking & Access	
<b>Location</b>	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. <sup>1</sup> <b>F</b>	
<b>Parking Access</b>	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. <b>G</b>
<b>Pedestrian Access</b>	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
<sup>1</sup> Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking	





### d. Building Composition

#### Front Façade Fenestration

Ground Floor	40% min., 70% max.	<b>H</b>
Upper Story	20% min., 50% max.	<b>I</b>
Habitable Half Story/Attic	10% min., 30% max.	<b>J</b>
Blank Wall	16' max.	

#### Roof Type<sup>1</sup>

Flat, Gable, Hip, Gambrel, and Mansard Permitted 7.2(a)(4)

#### Permitted Building Elements<sup>1</sup>

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

#### Required & Permitted Frontage Types<sup>1</sup>

The following frontage type is required:

Lobby Entrance 7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Arcade 7.2(d)(3)

Awning 7.2(d)(6)

Entry Canopy: Large 7.2(d)(7)

The following types are also permitted:

Forecourt 7.2(d)(9)

Terrace 7.2(d)(10)

Storefront 7.2(d)(4)

<sup>1</sup> Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

### e. Site Configuration

#### Number of Buildings

Primary	1	<b>K</b>
Accessory	2	

#### Additional

Distance Between Primary and Secondary Building n/a

(19) Table 3 below provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

Table 3 - Building Type Standards Summary Table								
	Lot Standards				Density		Height	
	Width	Depth	Size	Coverage	Base	With Development Mitigation <sup>2</sup>	Base	With Development Mitigation <sup>2</sup>
Accessory Cottage	n/a	n/a	n/a	n/a	n/a	n/a	25' max. (2 stories)	n/a
House	40' min., 150' max.	86' min.	3,500 SF min., <sup>1</sup> 20,000 SF max.	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Cottage Court	100' min., 160' max.	120' min.	12,000 SF min.	70% max.	25 du/a	n/a	35' max. (2 stories)	n/a
Duplex	40' min., 100' max.	86' min.	3,500 SF min. <sup>1</sup>	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Rowhouse	18' min.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Triplex/Fourplex	50' min., 84' max.	86' min.	4,400 SF min./ 5,800 SF min.	70% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Multiplex	80' min., 130' max.	86' min.	6,880 SF min.	80% max.	30 du/a	n/a	Defer to Regulating District	n/a
Courtyard Apartment	84' min., 150' max.	100' min.	8,400 SF min.	90% max.	30 du/a	n/a	Defer to Regulating District (2 stories min.)	
Live/Work	18' min., 53' max.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (2.5 stories)	n/a
Small Footprint Mixed-Use	40' min.	86' min.	3,500 SF min., 22,000 SF max.	Defer to Regulating District	30 du/a	n/a	Defer to Regulating District (2 stories min.)	
Medium Footprint Mixed-Use	180' min.	120' min.	21,600 SF min.	100% max.	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District (2 stories min.)	
Main Street Shopfront	25' min., 150' max.	86' min.	2,150 SF min. <sup>1</sup>	90% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Neighborhood Shopfront	25' min., 84' max.	86' min.	2,150 SF min. <sup>1</sup>	80% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Liner	n/a	n/a	n/a	100% max.	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District	Defer to Regulating District
Loft	50' min.	90' min. (120' preferred)	6,000 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Warehouse	70' min. (100' preferred)	90' min. (120' preferred)	9,000 SF min.	90% max.	n/a	n/a	35' max. (2 stories)	n/a
Civic/Institutional	n/a	n/a	n/a	n/a	n/a	n/a	Defer to Regulating District	

<sup>1</sup> The House, Duplex, Main Street Shopfront, and Neighborhood Shopfront shall also be permitted on any lot platted prior to 2005

<sup>2</sup> See Subsection 3.2(j) regarding maximum height and density based on Development Mitigation

**(e) Allowable Uses.**

- (1) Table 4 indicates allowable uses in each of the regulating districts within the TPG zoning district. Overlay districts have no effect on allowable uses.
- (2) The uses listed in Table 4 are grouped into four use groups: Residential Uses, Lodging Uses, Business Uses, and Civic & Education Uses.
- (3) In each of the regulating district columns, symbols are provided to indicate that:
  - a. **P** Use is permitted by right; or
  - b. **C** Use is permitted only if all conditions specified in Article 4 are met; or
  - c. **SE** Use may be approved as a special exception per standards and procedures in Article 16 and may also require specific conditions in Article 4 to be met; or
  - d. **A** Use is permitted as an accessory to a permitted primary use; or
  - e. **-** This use, like other uses not listed in this table, is not permitted.
- (4) All uses of land must conform with all standards in the TPG zoning district, including allowable building types, maximum building height, maximum density, etc., and with all other relevant standards in this code.
- (5) Numerous terms used in this table are defined under “use groups” in Article 19 of this chapter. Other terms apply to other zoning districts as well, and are defined alphabetically in Article 19.

**Table 4 – Allowable Uses in TPG Regulating Districts**

	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Parks & Open Space
<b>Residential Uses</b>								
Residences	P	P	P	P	P	P	P	-
Assisted living facilities	P	P	P	-	P	SE	P	-
Transitional community residences	P	P	P	P	SE	-	SE	-
Bed and breakfast inns	C	C	-	-	C	C	C	-
Rooming/boarded house	SE	SE	-	-	-	-	-	-
Residential accessory uses	A	A	A	A	A	A	A	-
<b>Lodging Uses</b>								
Hotels, motels, inns	P	P	P	-	SE	-	-	-
Lodging Accessory Uses	A	A	A	-	A	-	-	-
<b>Business Uses</b>								
Stores & services, general	P	P	P	P	SE	-	-	-
Stores & services, large format	SE	SE	P	-	-	-	-	-
Offices, general and medical	P	P	P	P	P	-	-	-
Pharmacy	P	P	P	-	-	-	-	-
Restaurants	P	P	P	P	SE	-	-	-
Sidewalk cafe	C	C	SE / C	C	SE / C	-	-	-
Bars and nightclubs	C	C	SE / C	C	SE / C	-	-	-
Adult establishments	-	-	SE / C	-	-	-	-	-
Drive-through facilities	-	SE	P	-	-	-	-	-
Convenience stores with fuel	-	-	P	-	SE	-	-	-
Amusement facilities (indoor)	P	P	P	P	SE	-	-	-
Kennels, indoor/outdoor	-	-	-	SE / C	-	-	-	-
Mini-storage facilities	-	-	C	C	-	-	-	-
Parking (as principal use)	C	C	P	P	-	-	-	-
Nursing homes	-	P	P	-	SE	-	-	-
Health care facilities	SE	P	-	-	SE	-	-	-
Marinas and yacht clubs	P	P	-	-	-	-	-	-
Vehicle and boat sales & service	SE	SE	P	P	-	-	-	-
Warehousing or distribution	-	-	SE	P	-	-	-	-
Light industrial use	-	-	SE	P	-	-	-	-
Business accessory uses	P	P	P	P	P	P	P	-
<b>Civic &amp; Education Uses</b>								
Parks	P	P	P	P	P	SE	SE	P
Places of worship	C	C	C	C	C	SE / C	SE / C	-
Schools	P	P	SE	SE	P	SE	SE	-
Day care centers	C	C	C	C	C	SE	SE	-
Conference centers	P	P	-	-	-	-	-	-
Essential services, Classes 1 & 2	C	C	C	C	C	C	C	-
Essential services, Class 3	-	-	-	-	-	-	-	-