

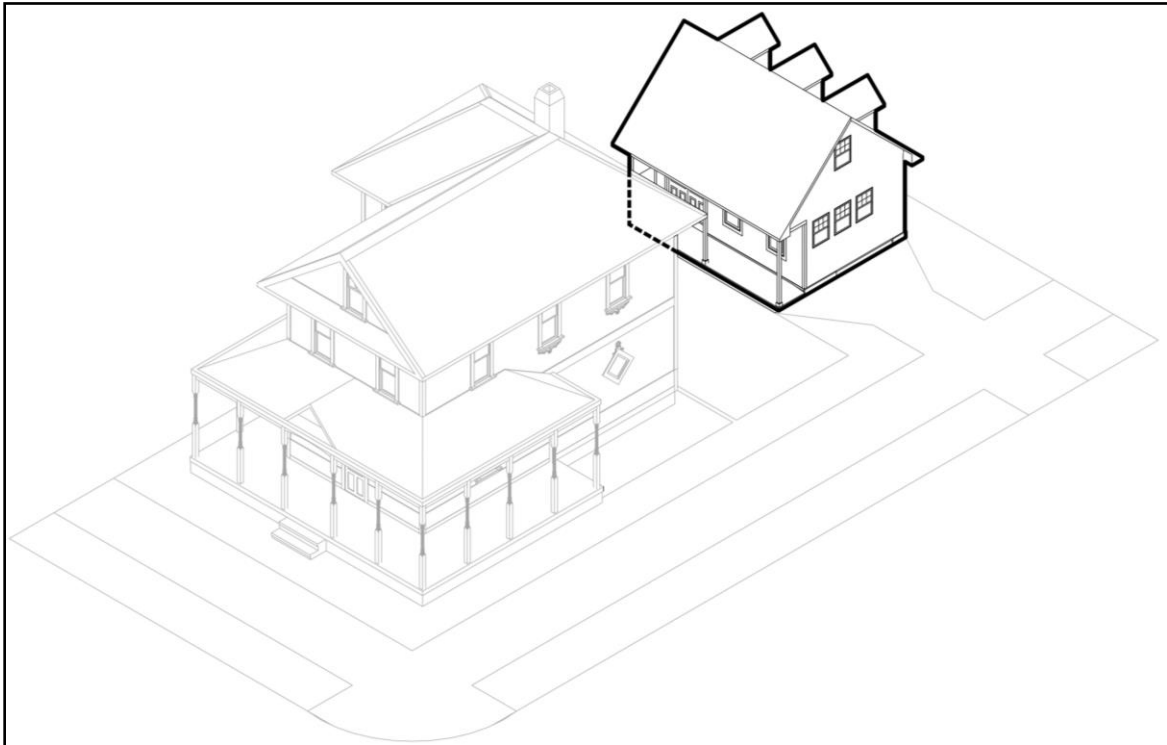
Introduction(d) Building Types.(1) Introduction to building types.

- a. Table 2 describes which building types are allowed in each regulating district and overlay district (Table 2 is in Subsection 3.2(c)). An “X” in the column for each district in Table 2 indicates that a particular building type is allowed in that district; other building types are not allowed in that district. If a property is in an overlay district, the allowable building types for the overlay district apply instead of those for the regulating district.
- b. On the following pages, each building type is described in detail. The first page for each building type (subsection (a)) includes a sample drawing, a summary description, and several photographs illustrating that type; this is general information about the building type and is not regulatory. The specific development standards for each type are shown on the second and third pages (subsections (b) through (e)). Where numerical development standards for an allowable building type are different than the general regulations for the regulating or overlay district, the standards for the building type prevail.

The building types included are as follows:

- i. Accessory Cottage
 - ii. House
 - iii. Cottage Court
 - iv. Duplex
 - v. Rowhouse
 - vi. Triplex/Fourplex
 - vii. Multiplex
 - viii. Courtyard Apartment
 - ix. Live/Work
 - x. Small Footprint Mixed-Use
 - xi. Medium Footprint Mixed-Use
 - xii. Main Street Shopfront
 - xiii. Neighborhood Shopfront
 - xiv. Liner
 - xv. Loft
 - xvi. Warehouse
 - xvii. Civic/Institutional
- c. At the end of Subsection 3.2(d), Table 3 provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

(2) Accessory Cottage

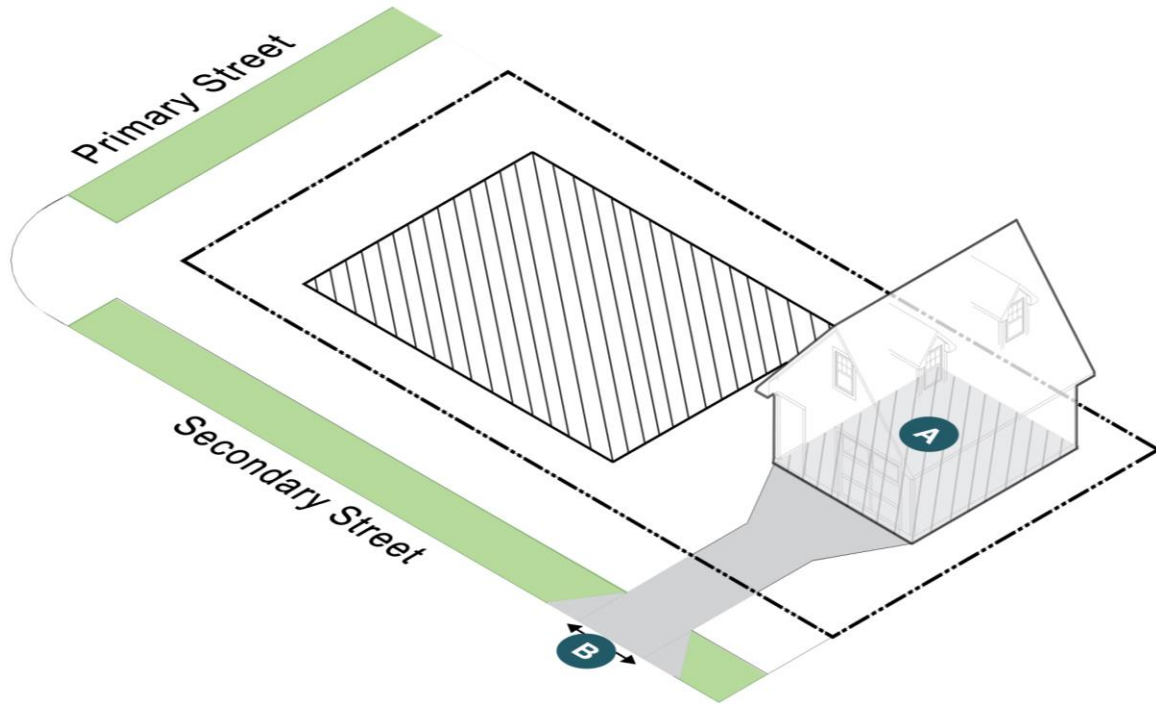


a. Summary

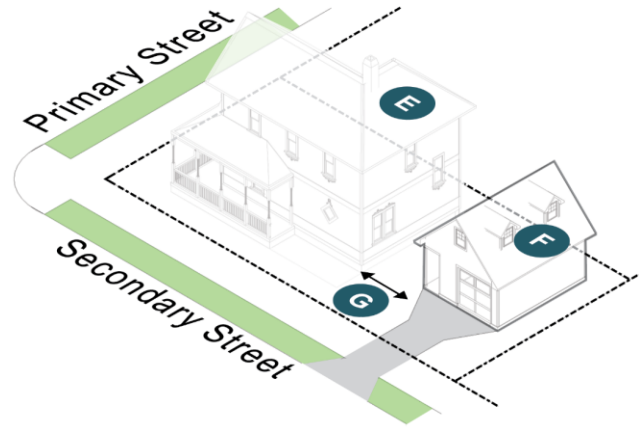
Description	Key Characteristics
An Accessory Cottage is an accessory structure detached from a primary building. It is typically a stand-alone building, though it may be attached to similar accessory structures to form a mews at the rear of rowhouses. It may house a garage, small studio apartment, home-office, or some combination thereof.	Detached or Attached Unit
	Multi-Use
	1 to 2 stories
	Oriented to Driveway or Alleyway

Examples & Variations

Accessory Dwelling Unit	Cottage in City of San Gabriel CA	Carriage House



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Parking Access	
As required for the primary structure.		Number of Driveways/Curb Cuts	
Building Footprint & Placement		Primary Street	n/a
Lot Coverage	n/a	Secondary Street	1
Building Area A	300-1,000 SF max., or 50% of primary building SF, whichever is less.	Driveway Width	8' min., 12' max. B
Frontage Buildout	n/a	Pedestrian Access	
Setbacks	Must comply with the setbacks defined in the Regulating District, Subsection 3.2(c)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	1 per primary building ¹		
Residential Density	n/a		
Building Height	25' max. (2 stories)		
¹ Individual rowhouses units count as a single primary building, even though they may be part of a larger grouping of rowhouses			



d. Building Composition

Front Façade Fenestration

Ground Floor ¹	10% min., 50% max.	C
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	D

Roof Type²

Flat, Gable, and Hip Permitted	7.2(a)(4)
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Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Permitted Frontage Types²

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹If a ground floor contains a vehicular entry, the area of the vehicular entry is subtracted from the calculated area of the ground floor façade.

² Additional standards or limitations may apply for specific Architectural Styles, Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	E
Accessory	1	F

Private Open Space

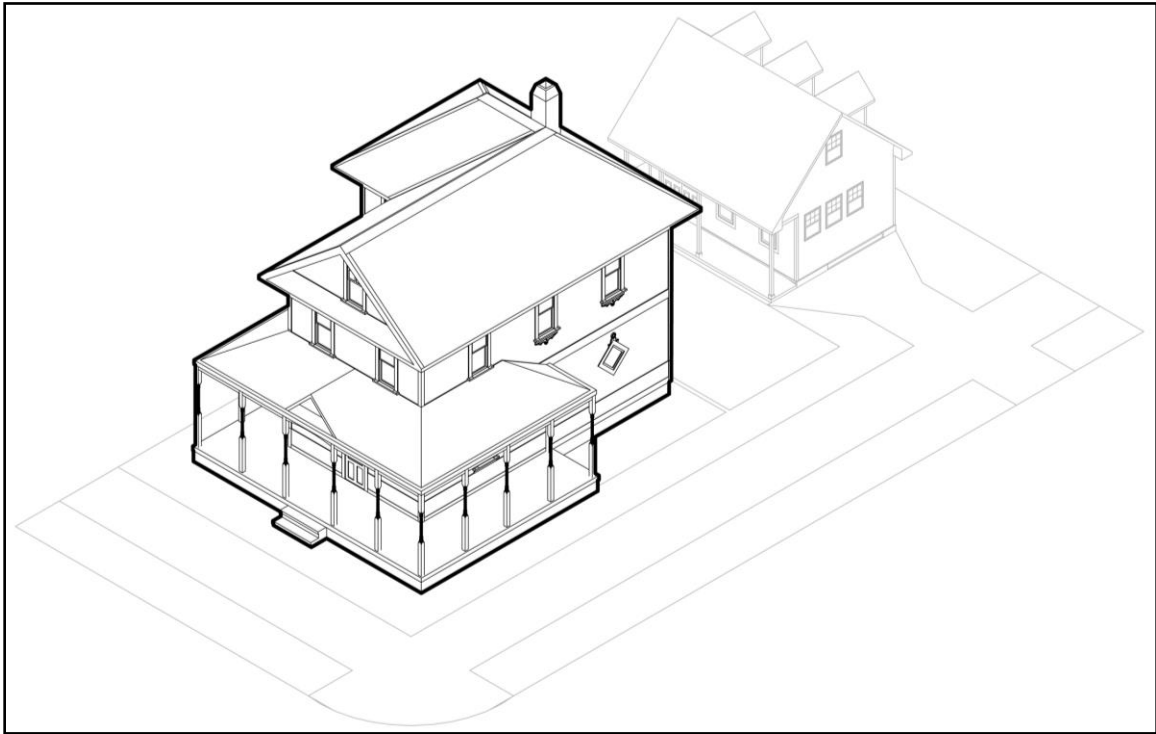
Private open space requirements shall be determined by the main building on the lot. No additional open space is required for the accessory cottage.

Additional

Distance Between Primary and Secondary Building	10' min.	G
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House

(3) House



a. Summary

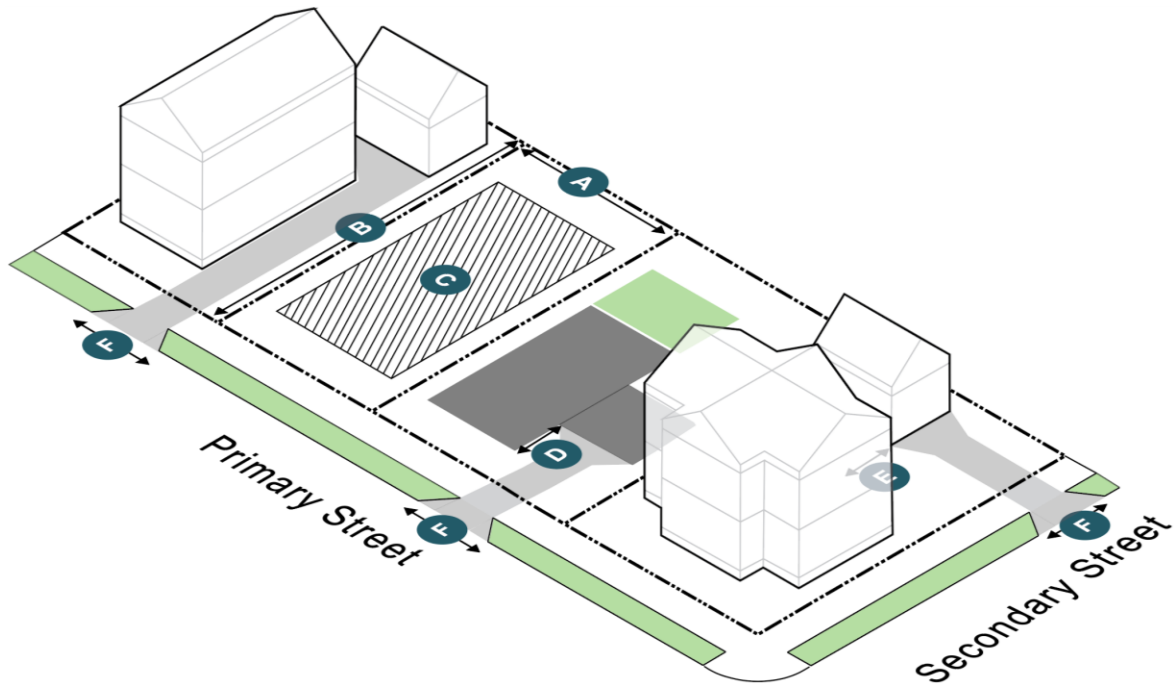
Description	Key Characteristics
A House is a detached single-family residence which occupies a single lot.	Detached Unit
	Residential
	1 to 2.5 stories
	Street-Oriented

Examples & Variations



One-and-a-Half Story House	Two-Story House	Two-and-a-Half Story House
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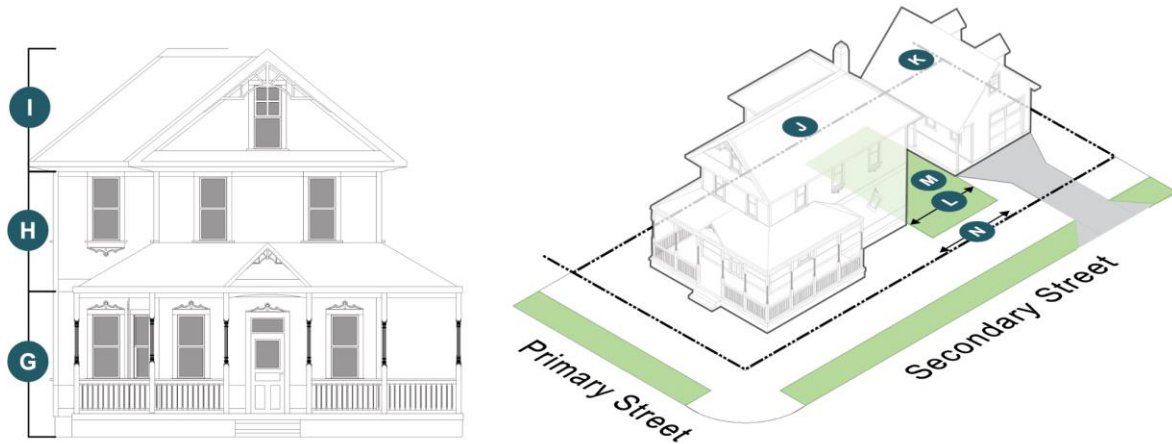
House



b. Lot & Building Standards		
Lot Dimensions		
Width	40' min., 150' max.	A
Depth	86' min.	B
Lot Size ¹	3,500 SF min., 20,000 SF max.	
Building Footprint & Placement		
Lot Coverage	70% max.	C
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Intensity		
No. of Units	1 max.	
Residential Density	Base	W/ Accessory Cottage
	13 du/a	25 du/a max.
Building Height	35' max. (2.5 stories)	
¹ The House Building Type shall also be permitted on any lot platted prior to March 2005		

c. Parking & Access		
Location		
Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.		
Garage Door/Carport Setback		
Attached	10' min. (from front façade)	D
Detached ¹	Behind primary building in the rear yard only	E
Parking Access		
Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	F
Pedestrian Access		
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.		
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)		

House



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	I

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	J
Accessory	1	K

Private Open Space¹

Depth	15' min.	L
Area	300 SF min.	M

Additional

Distance Between Primary and Secondary Building	10' min.	N
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¹ Required street setbacks and driveways shall not be included in the private open space calculation

Cottage Court

(4) Cottage Court



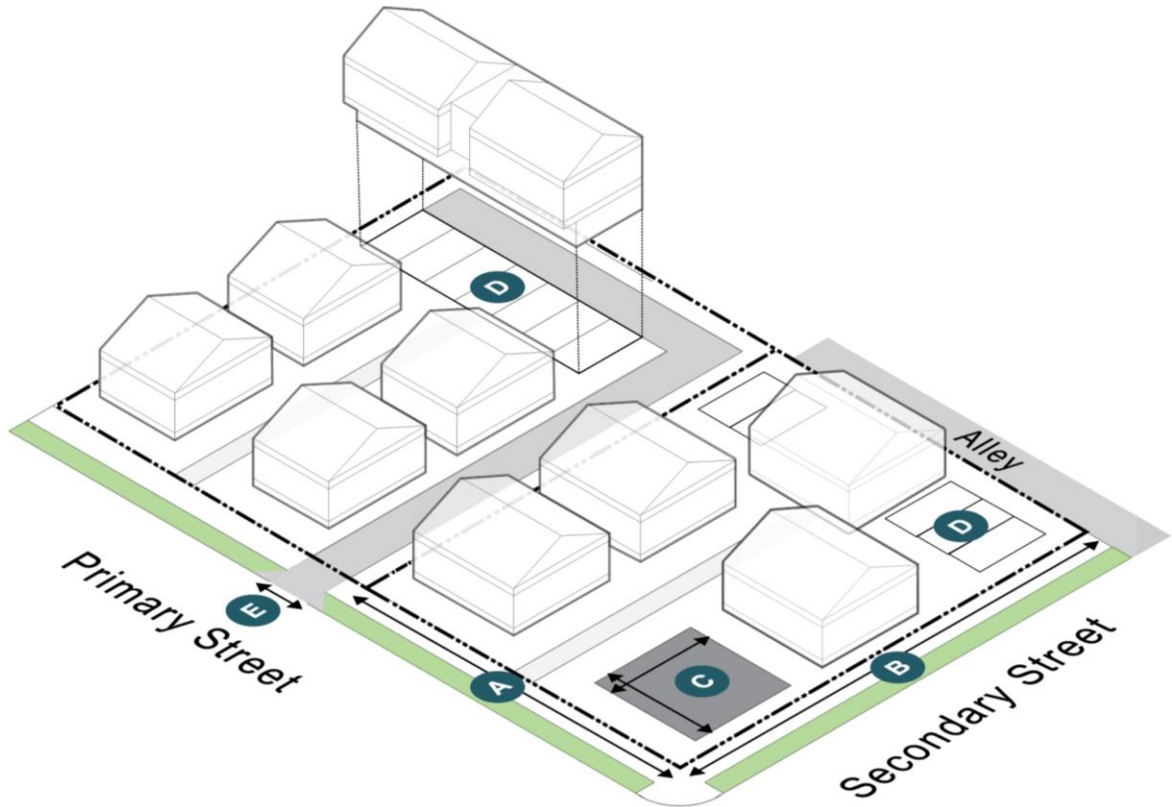
a. Summary

Description	Key Characteristics
<p>A Cottage Court consists of a series of small, detached structures, providing multiple units arranged to define a shared courtyard that is typically perpendicular to the street. The common yard takes the place of a private rear yard and becomes an important community enhancing element.</p>	Detached Units
	Residential
	1 to 2 stories
	Orients to the Street and Central Open Space

Examples & Variations

<p>Cottage Court</p>	<p>Ericksen Cottages in Bainbridge, WA</p>	<p>Cottage Court</p>

Cottage Court



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	100' min., 160' max. A	Parking shall be located in the rear yard of the site, shielded from view from the primary street, and accessed from alleys or side streets wherever possible. D	
Depth	120' min. B		
Lot Size	12,000 SF min.	Garage Door/Carport Setback	
Building Footprint & Placement		Attached ¹	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Lot Coverage	70% max.	Detached	Not permitted
Cottage Size	500 SF min. C	Parking Access	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Number of Driveways/Curb Cuts	
Setbacks		Primary Street	1
Intensity		Secondary Street	1
No. of Units	5 min., 12 max.	Driveway Width	10' min., 18' max. E
Residential Density	25 du/a max.	Pedestrian Access	
Building Height	30' max. (2 stories)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
		¹ Park under units shall comply with all primary building setbacks as defined in Subsection 3.2(c)	

Cottage Court



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	F
Upper Floor	20% min., 50% max.	
Habitable Half Story/Attic	10% min., 30% max.	G

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

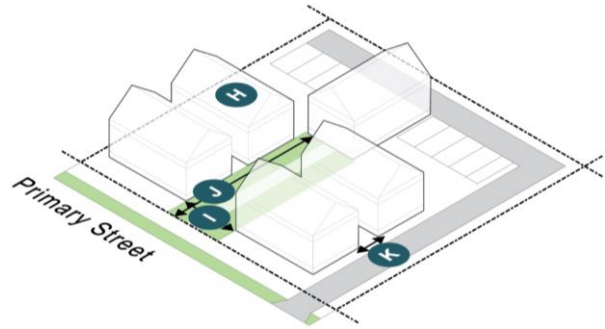
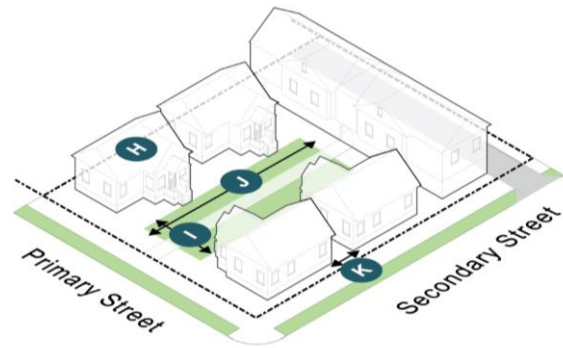
At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

Number of Buildings

Primary	5-10	H
Accessory	n/a	

Common Open Space¹

Width	15' min.	I
Depth	40' min.	J
Area	200 SF per unit min.	

Additional

Distance Between Buildings	10' min.	K
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¹ Required street setbacks and driveways shall not be included in the open space calculation

Duplex

(5) Duplex



a. Summary

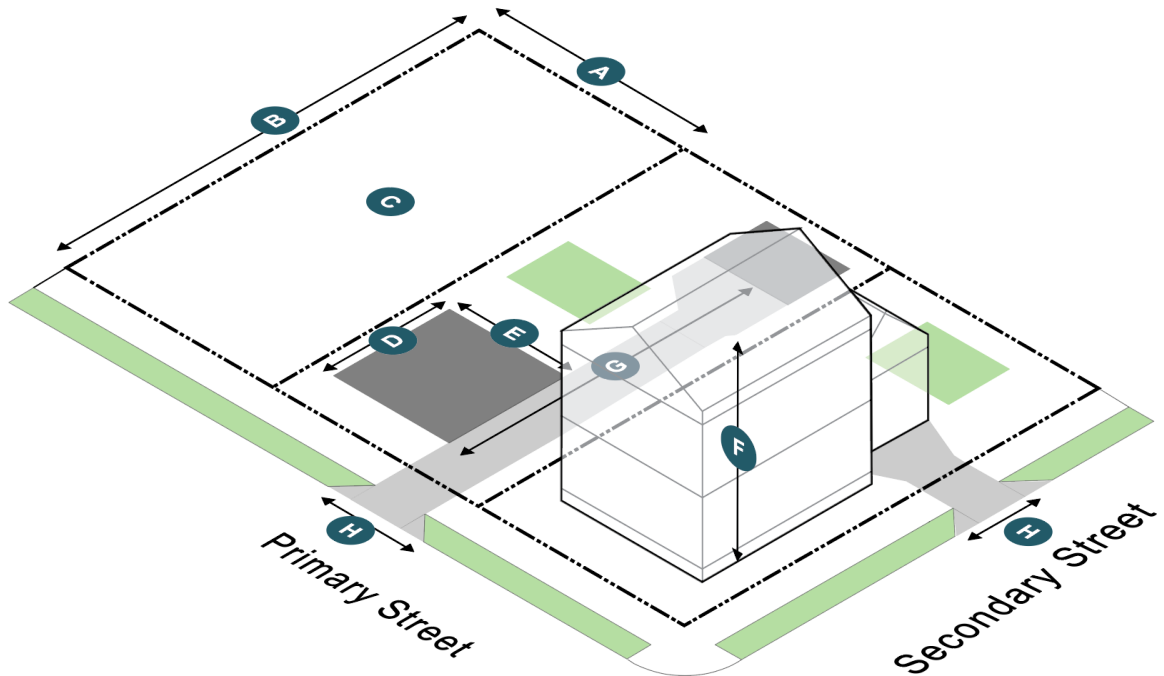
Description	Key Characteristics
The Duplex is a small- to medium-sized structure that consists of two side-by-side or stacked dwelling units, both facing the street, and within a single building massing.	Attached Units (stacked or side-by-side)
	Residential
	1 to 2.5 stories
	Small-to-Medium Street Setback

Examples & Variations



Side by Side Duplex	Side by Side Duplex	Stacked Duplex
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Duplex



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	40' min., 100' max. A	Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.	
Depth	86' min. B		
Lot Size ¹	3,500 SF min. C		
Building Footprint & Placement		Garage Door/Carport Setback	
Lot Coverage	70% max.	Attached	10' min. (from front façade)
Frontage Buildout ²	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Detached ¹	Behind the primary building in the rear yard G
Setbacks			
Building Depth	28' min. D	Parking Access	
Building Width	28' min. E	Number of Driveways/Curb Cuts	
Intensity		Primary Street	1
No. of Units	2 units	Secondary Street	1
Residential Density	25 du/a max.	Driveway Width	8' min., 12' max. H
Building Height F	35' max. (2.5 stories)	Pedestrian Access	
¹ The Duplex Type shall also be permitted on any lot platted prior to March 2005		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
² Frontage Buildout requirements on secondary streets shall not apply to the Duplex type		¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	

Duplex



d. Building Composition	
Front Façade Fenestration	
Ground Floor	30% min., 50% max. I
Upper Story	20% min., 50% max. J
Habitable Half Story/Attic	10% min., 30% max. K
Roof Type ¹	
Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
Permitted Building Elements ¹	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
Required & Permitted Frontage Types ¹	
At least one of the following types is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration		
Number of Buildings		
Primary	1	L
Accessory	1	M
Private Open Space ¹		
Area	300 SF per unit min. N	
Additional		
Distance Between Primary and Secondary Building	10' min.	O

¹ Required street setbacks and driveways shall not be included in the open space calculation

Rowhouse

(6) Rowhouse



a. Summary

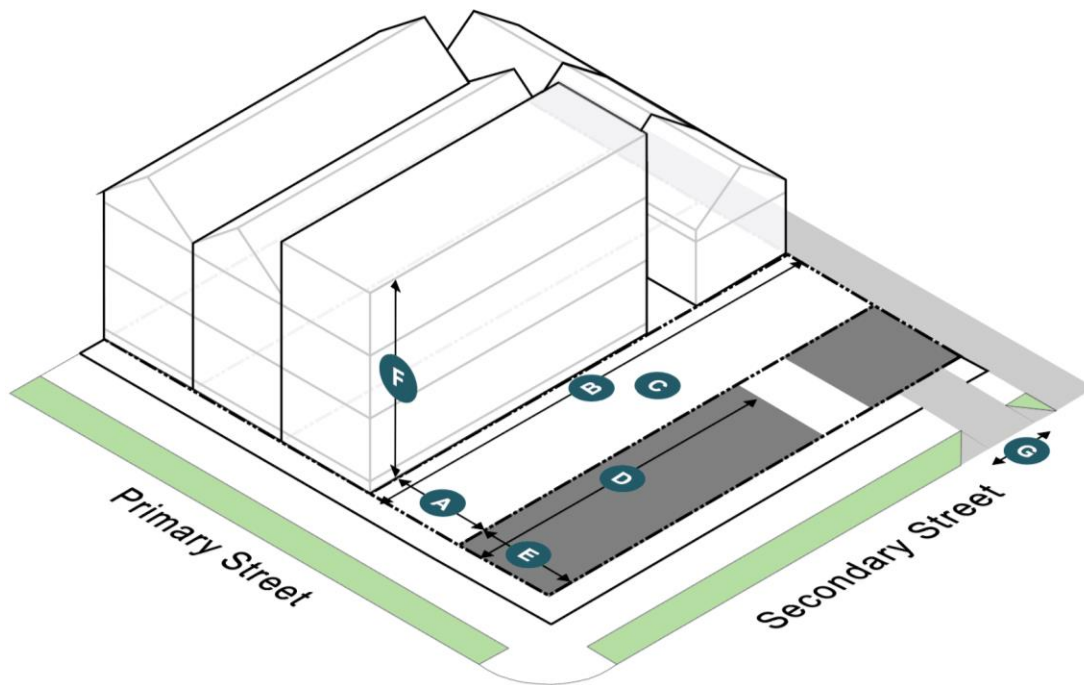
Description	Key Characteristics
<p>A Rowhouse is an attached house on a shallow lot that shares a party wall with an adjacent unit. Rowhouses may be combined under one roof form or divided by a parapet wall.</p>	Attached Units
	Residential
	1 to 3 stories
	Street-Oriented

Examples & Variations



Rainbow Row: Charleston, SC	Cannery Row: Delray Beach, FL	Almeria Row: Coral Gables, FL
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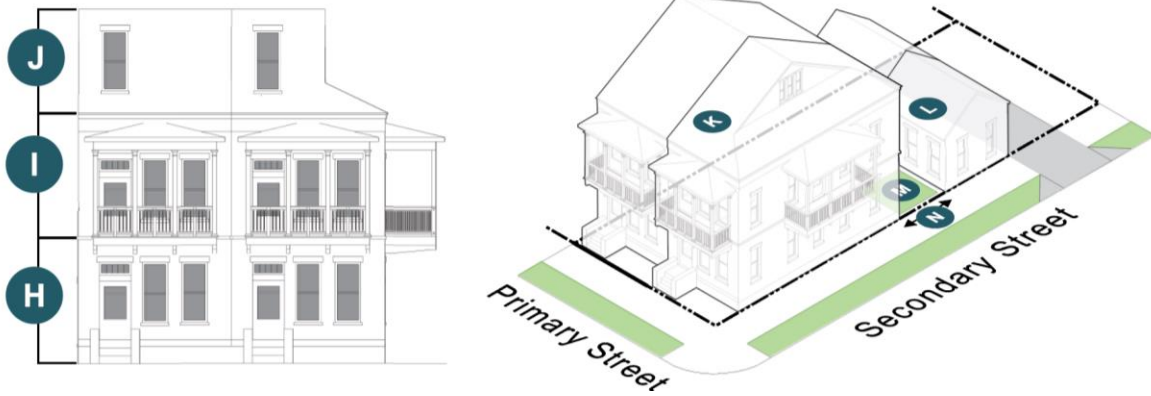
Rowhouse



b. Lot & Building Standards		
Lot Dimensions		
Width	18' min.	A
Depth	86' min.	B
Lot Size	1,550 SF min.	C
Building Footprint & Placement		
Lot Coverage	90% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks ¹		
Unit Depth	35' min.	D
Unit Width ²	18' min., 36' max.	E
Intensity		
No. of Units	1 unit	
Residential Density	30 du/a max.	
Building Height	35' max. (3 stories)	F
¹ The first and last rowhouses in a run must comply with internal side yard setbacks		
² A grouping of attached houses may not exceed 220' in aggregate width.		

c. Parking & Access	
Location	
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley.	
Garage Door/Carport Setback	
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley
Detached ¹	Accessed from side street or rear lane/alley
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1 per grouping of at least 4 rowhouses, if no alley is present
Secondary Street	1
Driveway Width	10' min., 18' max. G
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	

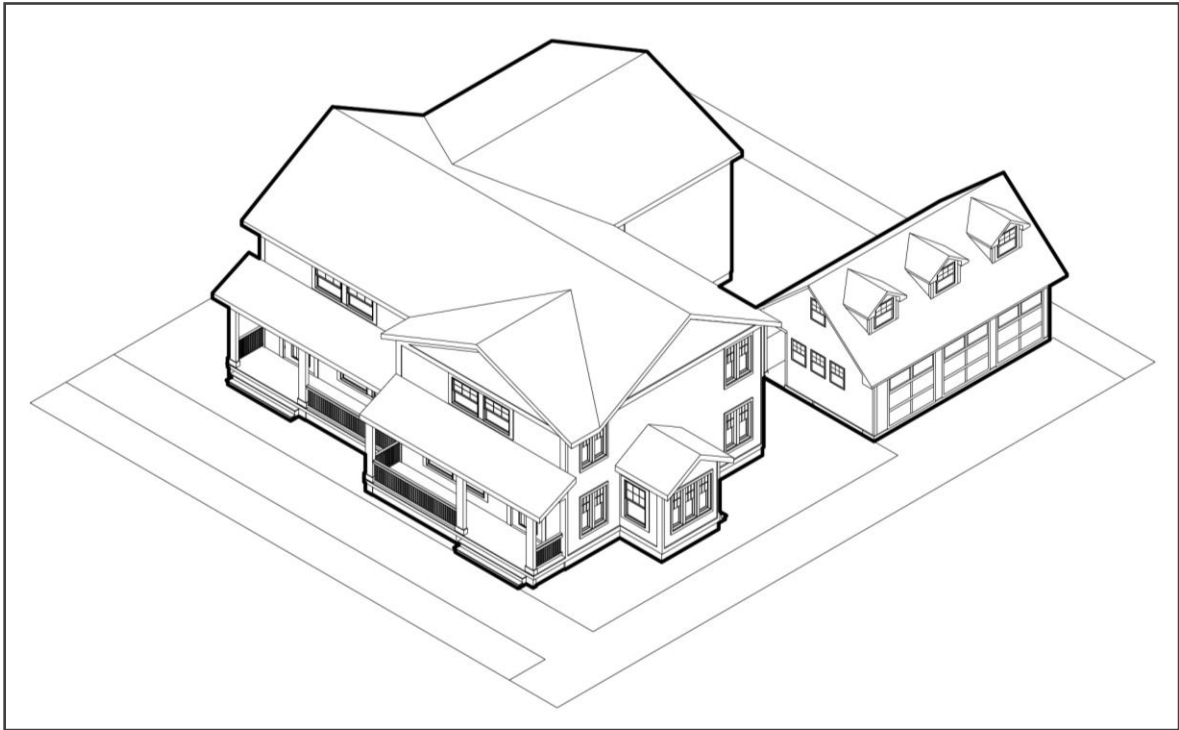
Rowhouse



d. Building Composition	
Front Façade Fenestration	
Ground Floor	30% min., 50% max. (H)
Upper Story	20% min., 50% max. (I)
Habitable Half Story/Attic	10% min., 30% max. (J)
Roof Type¹	
Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
Permitted Building Elements¹	
Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k
Required & Permitted Frontage Types¹	
At least one of the following is required:	
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
The following types are also permitted:	
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)
¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)	

e. Site Configuration	
Number of Buildings	
Primary	1 (K)
Accessory	1 (L)
Rowhouses per Run ¹	4 min., 10 max. or 220' in length, whichever is less
Private Open Space²	
Area	100 SF per unit min. (M)
Additional	
Distance Between Runs ¹	10' min.
Distance Between Primary and Secondary Building	10' min. (N)
¹ A Run is a grouping of attached rowhouses, which can be built individually over time or all at once as a single building with internal divisions	
² Required street setbacks and driveways shall not be included in the open space calculation	

(7) Triplex/Fourplex



a. Summary

Description	Key Characteristics
A small-to-medium sized detached structure that consists of 3 to 4 units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, typically with one entry for the ground floor unit and a shared entry from the units above. This type has the appearance of a medium sized single-unit house and may include a rear yard.	Attached Units (Stacked or Side-by-Side) Residential 1 to 3 stories Small-to-Medium Street Setback

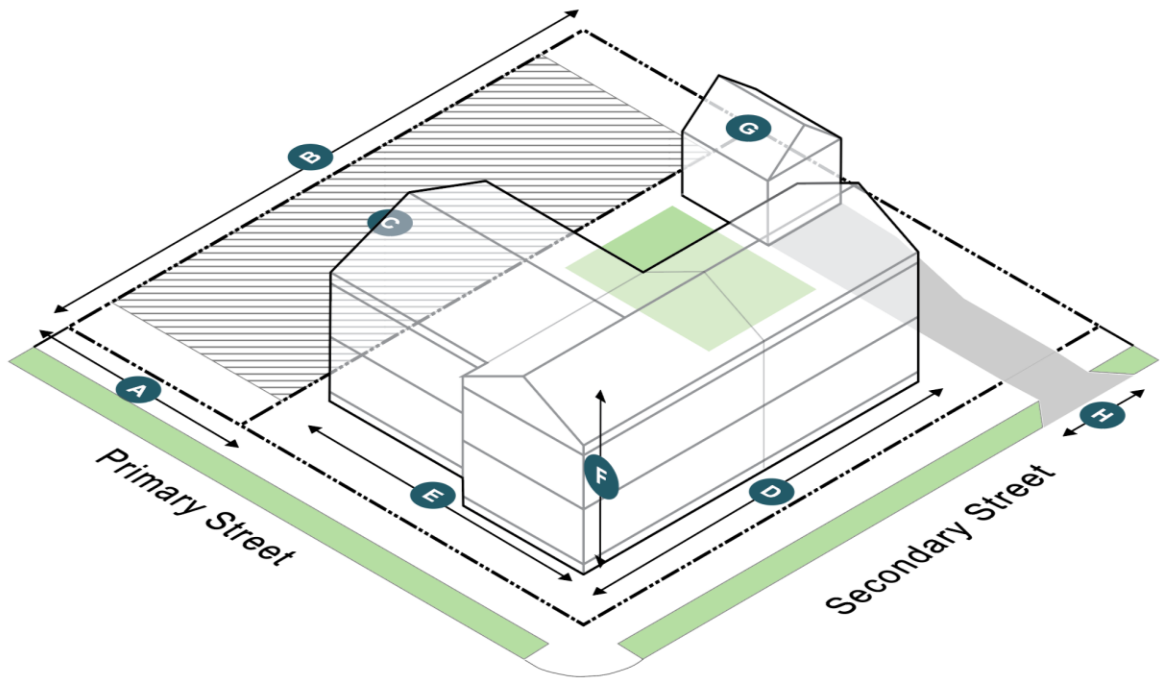
Examples & Variations



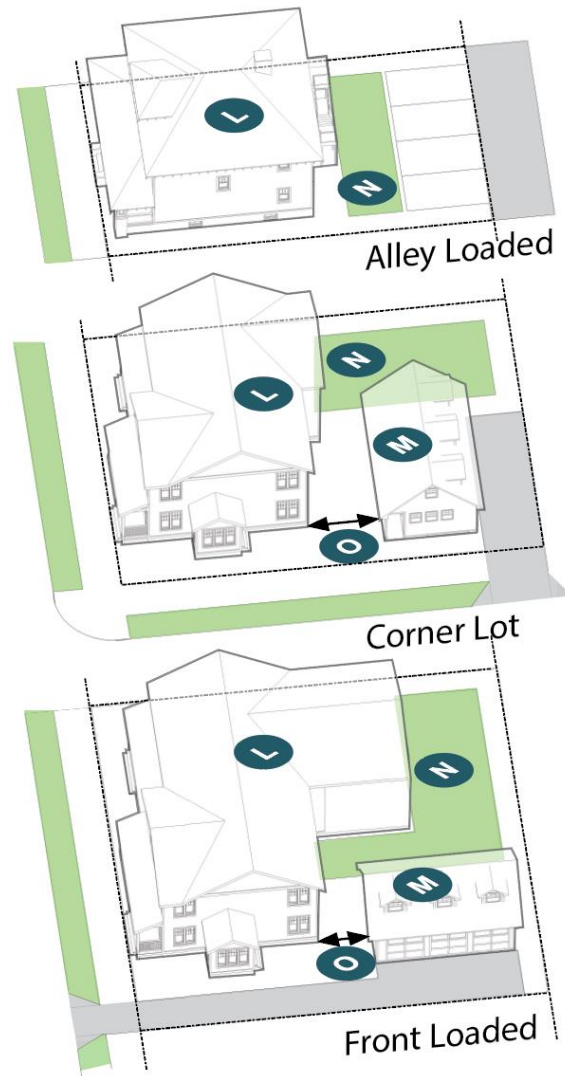
Historic Fourplex in Miami Beach, FL



Triplex at 461 W Marion Ave, Punta Gorda, FL



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	50' min., 84' max. (A)	Parking shall be located behind the front façade of the building and accessed from alleys or side streets wherever possible.	
Depth	86' min. (B)	Garage Door/Carport Setback	
Lot Size	Triplex: 4,400 SF min. Fourplex: 5,800 SF min.	Attached	10' min. (from front façade)
Building Footprint & Placement		Detached ¹	Behind the primary building or in the rear yard only (G)
Lot Coverage	70% max. (C)	Parking Access	
Frontage Buildout ¹	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Number of Driveways/Curb Cuts	
Setbacks		Primary Street	1
Building Depth	40' min. (D)	Secondary Street	1
Building Width	30' min. (E)	Driveway Width	8' min., 12' max. (H)
Intensity		Pedestrian Access	
No. of Units	3-4 units	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Residential Density	30 du/a max.	Common entries should be similar in appearance and compliment entrances of neighboring houses.	
Building Height	35' max. (3 stories)	¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	
¹ Frontage Buildout requirements on secondary streets shall not apply to the Triplex/Fourplex			



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	L
Accessory	1	M

Private Open Space¹

Area	300 SF min.	N
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Additional

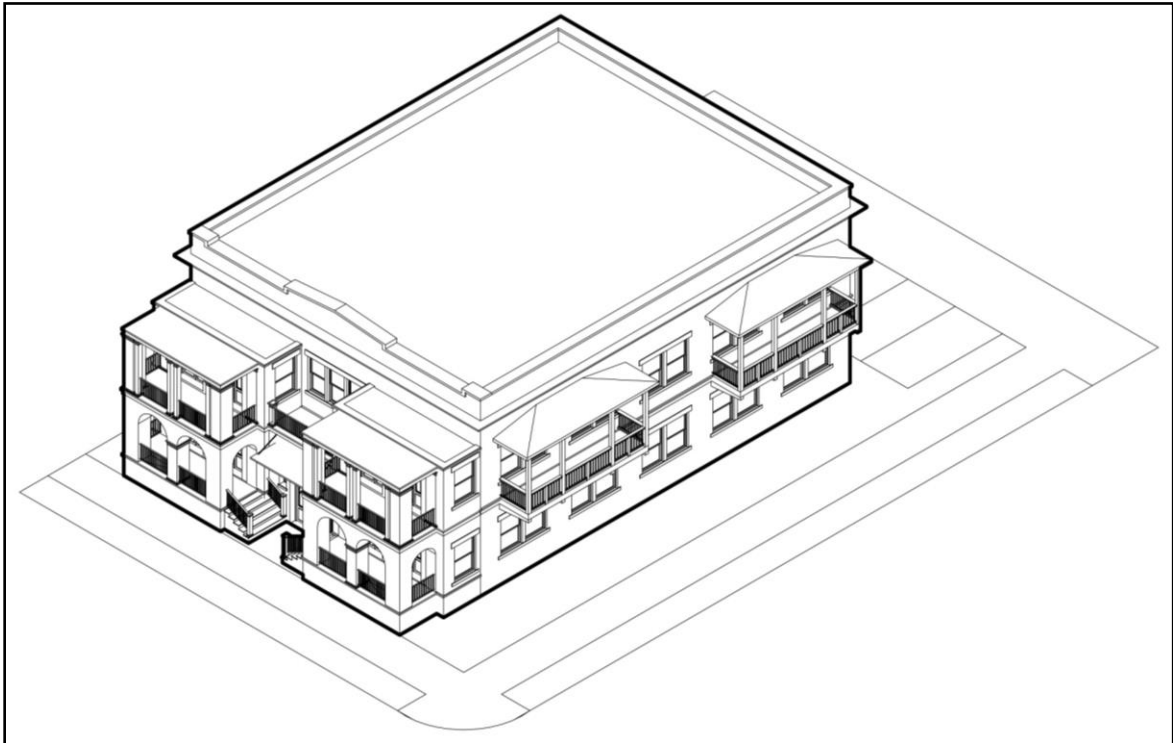
Distance Between Primary and Secondary Building	10' min.	O
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¹ Required Street setbacks and driveways shall not be included in the open space calculation

² The minimum lot dimensions only apply to the Alley Loaded configuration. The Corner Lot and Front-Loaded configurations require lots larger than the minimum 50' width and 86' depth.

Multiplex

(8) Multiplex



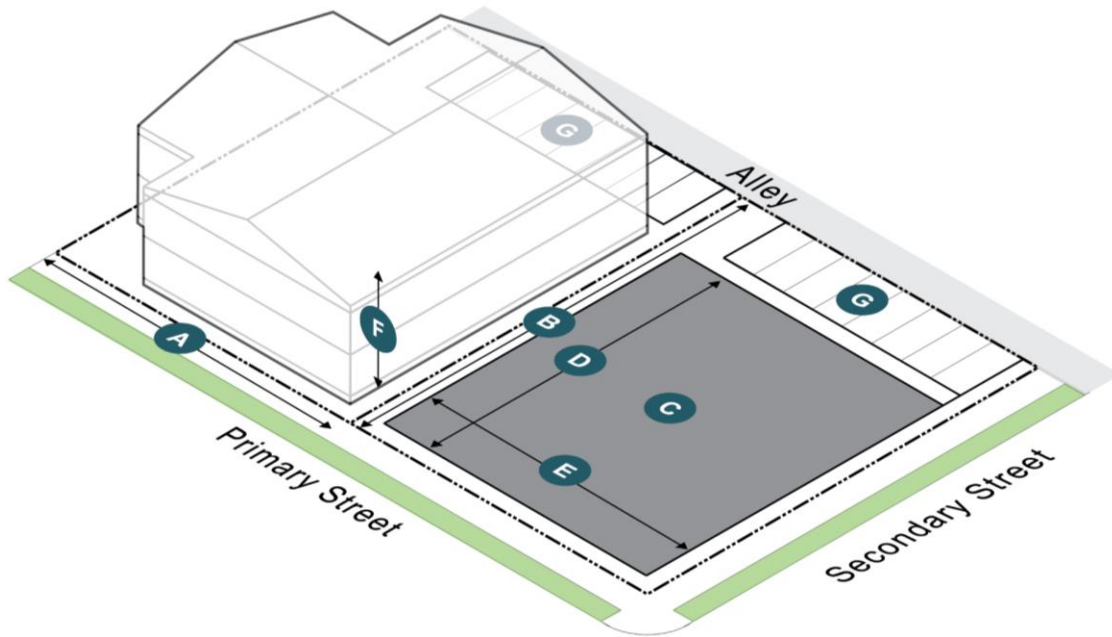
a. Summary

Description	Key Characteristics
<p>A medium sized structure that consists of 5 or more units typically arranged side-by-side and/or stacked on top of each other on consecutive floors, and typically with a shared entry from the street. This type may not include a rear yard.</p>	Attached Units (Stacked or Side-by-Side)
	Residential
	2 to 3 stories
	Street-Oriented

Examples & Variations

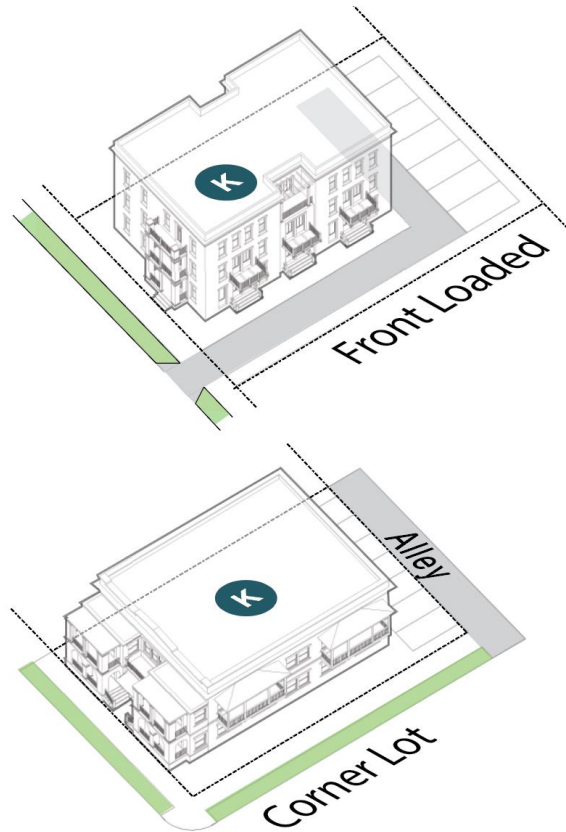
<p>Historic Dayton Apartment: Portland, WA</p>	<p>212 Goldstein St in Punta Gorda, FL</p>	<p>Casa Laguna Apartments: Los Angeles, CA</p>

Multiplex



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	80' min., 130' max. (A)	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹	
Depth	86' min. (B)		
Lot Size	6,880 SF min.		
Building Footprint & Placement		Garage Door/Carport Setback	
Lot Coverage	80% max. (C)	Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Detached	Behind the primary building in the rear yard only
Setbacks			
Building Depth	60' min. (D)		
Building Width	50' min. (E)		
Intensity		Parking Access	
No. of Units	5-12 units	Number of Driveways/Curb Cuts	
	Base With Benefit ¹	Primary Street	1
Residential Density	30 du/a Defer to Regulating District	Secondary Street	1
	Base With Benefit ¹	Driveway Width 10' min., 18' max.	
Building Height	Defer to Regulating District n/a (F)	Pedestrian Access	
		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
		Common entries should be similar in appearance and compliment entrances of neighboring houses.	
		¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking	

Multiplex



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

At least one of the following types is required:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	0	

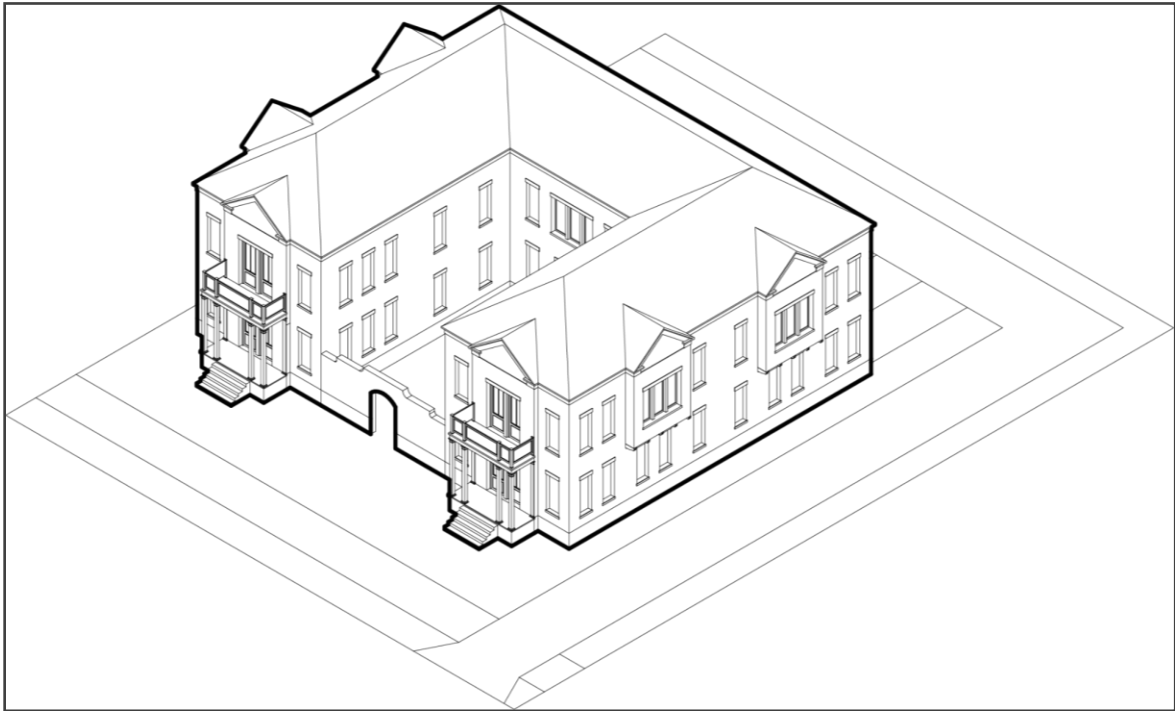
Private Open Space

No private open space requirement

Additional

Distance Between Primary and Secondary Building	n/a
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(9) Courtyard Apartment



a. Summary

Description

A Courtyard Building is a medium-to-large sized structure that consists of multiple dwelling units accessed from a central common courtyard or series of courtyards that open to the street.

Key Characteristics

- Attached
- Residential
- 2 to 4 stories
- Orients to Street and Central Open Space

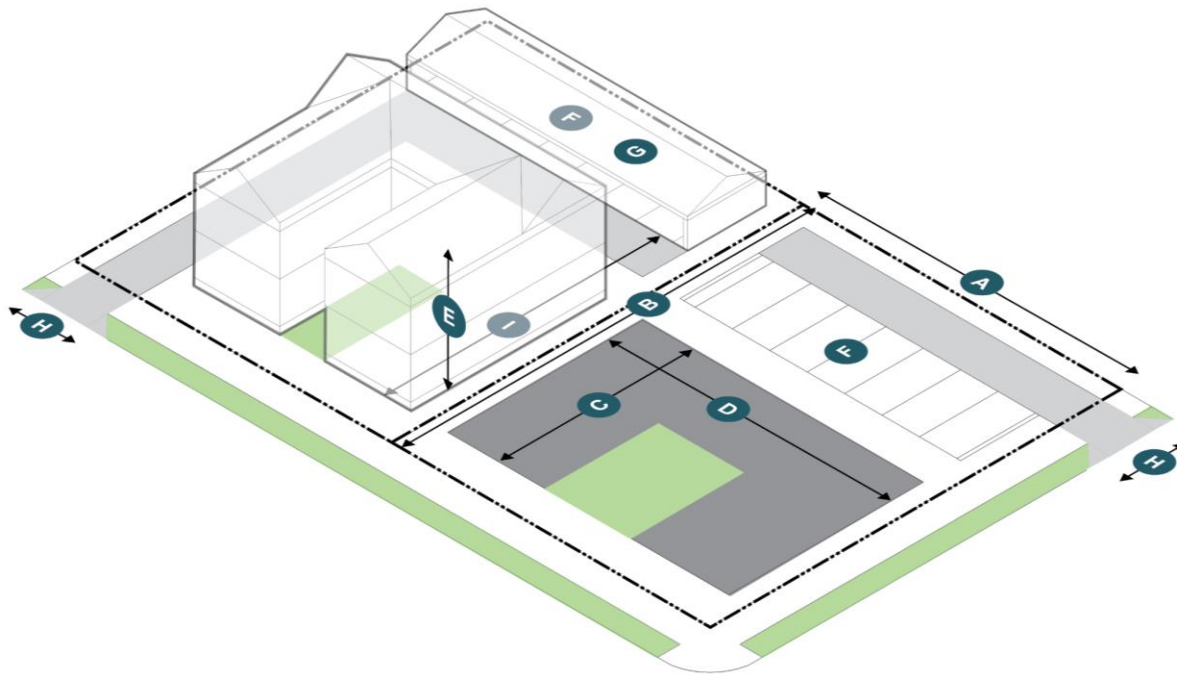
Examples & Variations



Everglade Apartments: Miami Beach, FL

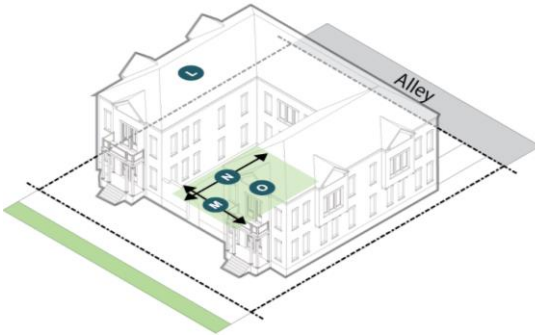
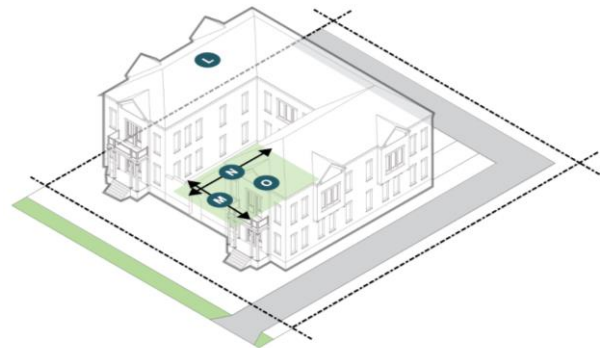


Sorrento Court: Portland, OR



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	84' min., 150' max. (A)	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹	
Depth	100' min. (B)		
Lot Size	8,400 SF min.		
Building Footprint & Placement		Garage Door/Carport Setback	
Lot Coverage	90% max.	Attached	Permitted within the primary building provided it is accessed from the rear or interior side yard and is not visible from any street or sidewalk
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Detached ²	Behind the primary building in the rear yard only (G)
Setbacks			
Building Depth	40' min. (C)		
Building Width	50' min. (D)		
Intensity		Parking Access	
No. of Units	12 min.	Number of Driveways/Curb Cuts	
Residential Density	Base	Primary Street	1
	With Benefit ¹	Secondary Street	1
Building Height (E)	Base	Driveway Width	10' min., 18' max. (H)
	With Benefit ¹	Pedestrian Access	
See Regulating District (2 stories min.)		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits		¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking	
		² Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)	

Courtyard Apartment



d. Building Composition

Front Façade Fenestration

Ground Floor	30% min., 50% max.	I
Upper Story	20% min., 50% max.	J
Habitable Half Story/Attic	10% min., 30% max.	K

Roof Type¹

Flat, Gable, and Hip Permitted	7.2(a)(4)
--------------------------------	-----------

Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f
Chimneys	7.2(a)(6)-k

Required & Permitted Frontage Types¹

The following type is required:

Forecourt	7.2(d)(9)
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At least one of the following types is required:

Lobby Entrance	7.2(d)(5)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Integral	7.2(d)(15)
Awning ²	7.2(d)(6)
Entry Canopy: Large ²	7.2(d)(7)
Overhead Balcony: Large ²	7.2(d)(8)

The following types are also permitted:

Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

² At least one of these frontage types must be included with the lobby entrance, except if the lobby is recessed a minimum of 3'

e. Site Configuration

Number of Buildings

Primary	1	L
Accessory	1	

Common Open Space¹

Courtyard Width	20' min.	M
Courtyard Depth	30' min.	O
Courtyard Area	600 SF min.	O

Additional

Distance Between Primary and Secondary Building	10'
---	-----

¹ Required street setbacks and driveways shall not be included in the open space calculation

Live/Work

(10) Live/Work



a. Summary	
Description	Key Characteristics
<p>The Live/Work Building Type is a small attached or detached structure that consists of one dwelling unit above and/or behind a flexible ground floor space that can be used for office, service, or retail uses. Both the ground floor flex space and the residential unit are owned by one entity.</p>	Integrated, Attached or Detached Units
	Mixed Use
	1 to 2.5 stories
	Orients to Street

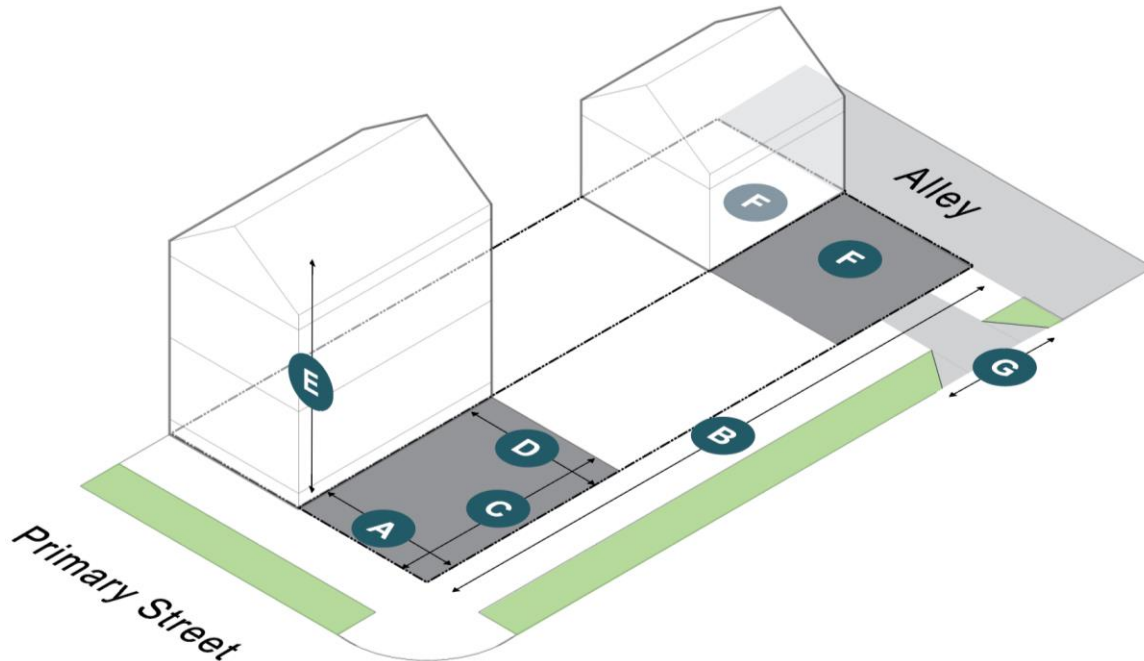
Examples & Variations



Attached Live/Work Unit in Beaufort, SC



Detached Live/Work Unit

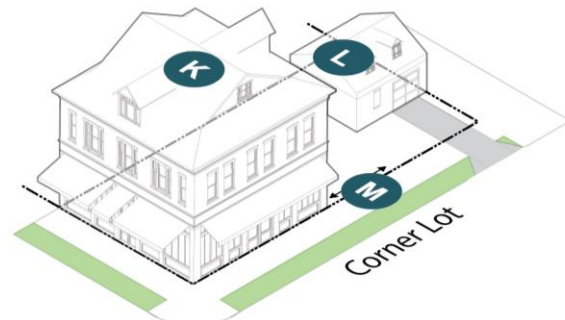
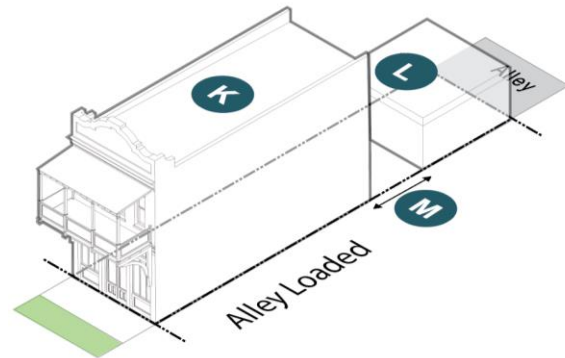


b. Lot & Building Standards		
Lot Dimensions		
Width	18' min., 53' max	A
Depth	86' min.	B
Lot Size	1,550 SF min.	
Building Footprint & Placement		
Lot Coverage	90% max	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2©	
Setbacks		
Building Depth	30' min	C
Building Width	18' min	D
Intensity		
No. of units	1 unit	
Residential Density	Base	With Benefit
	30 du/a	n/a
Building Height E	Base	With Benefit
	35' max. (2.5 stories)	n/a

c. Parking & Access		
Location		
Parking must be located behind the primary building, accessible by a rear access lane, alley, or an easement that serves as a rear access lane or alley. F		
Garage Door/Carport Setback		
Attached	Park under units are permitted at the rear of the lot and must be accessed from a rear lane/alley	
Detached ¹	Accessed from side street or rear lane/alley	
Parking Access		
Number of Driveways/Curb Cuts		
Primary Street	1	
Secondary Street	1	
Driveway Width	8' min., 12' max.	G
Pedestrian Access		
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.		

¹ Detached garages and carports are subject to all accessory building setbacks defined in the Regulating Districts, Subsection 3.2(c)

Live/Work



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min., 80% max.	H
Upper Story	30% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type²

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
---	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Permitted Frontage Types²

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

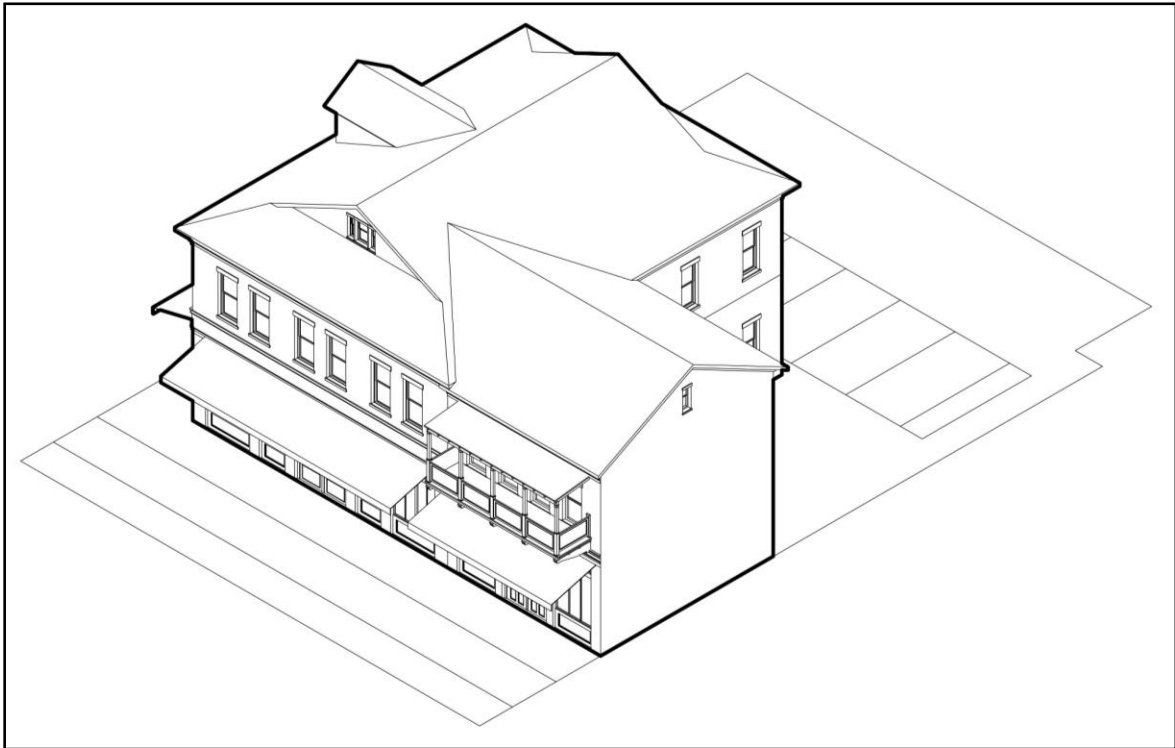
Primary	1	K
Accessory	1	L

Additional

Distance Between Primary and Secondary Building	10' min.	M
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Small Footprint Mixed-Use

(11) Small Footprint Mixed-Use



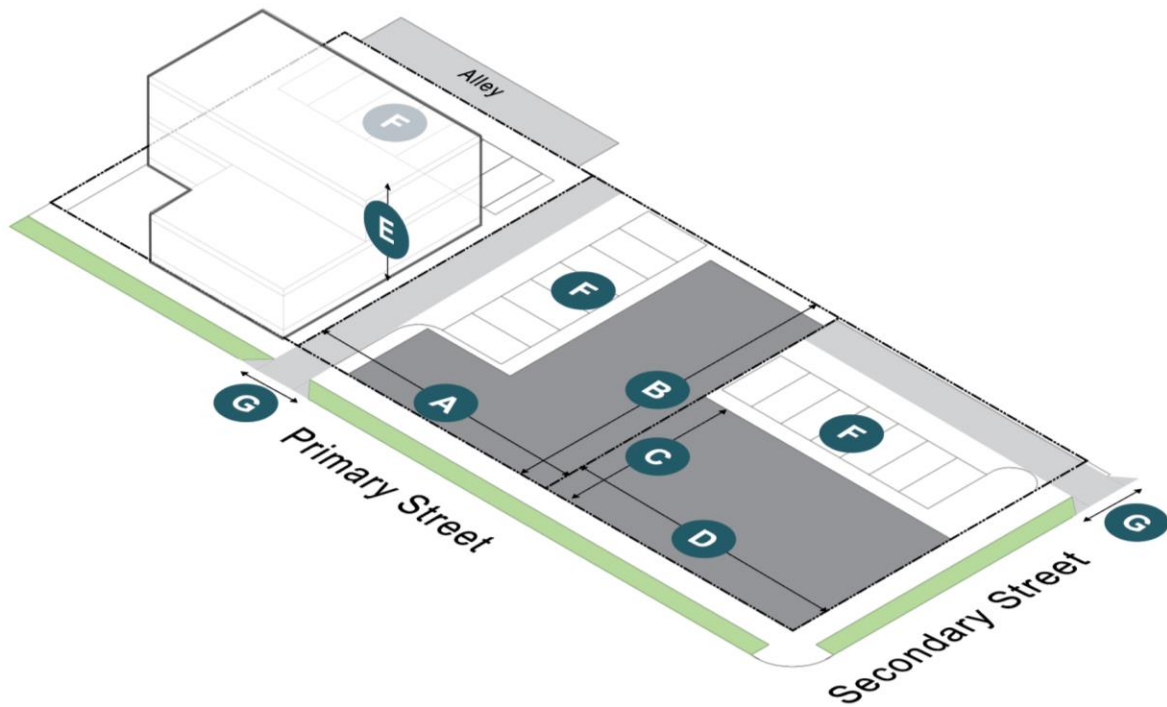
a. Summary

Description	Key Characteristics
<p>A Small Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended to complement walkable neighborhoods by facilitating a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, or office uses.</p>	<p>Attached or Detached Units</p> <hr/> <p>Mixed Use</p> <hr/> <p>2 to 4 stories (typically)</p> <hr/> <p>Orients to Street</p>

Examples & Variations

<p>G Square, San Rafael, CA</p>	<p>Historic Mixed-Use in Charleston, SC</p>	<p>Mixed-Use Building in Neptune Beach, FL</p>

Small Footprint Mixed-Use



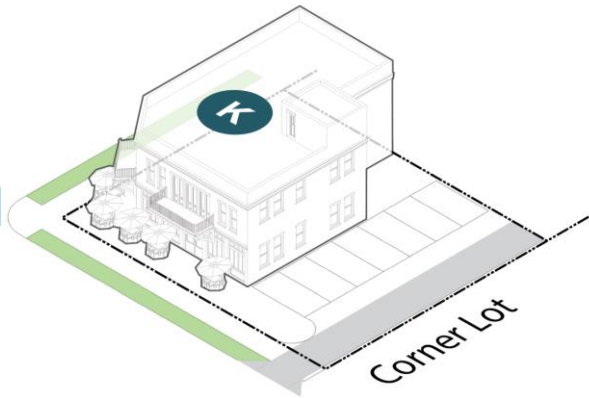
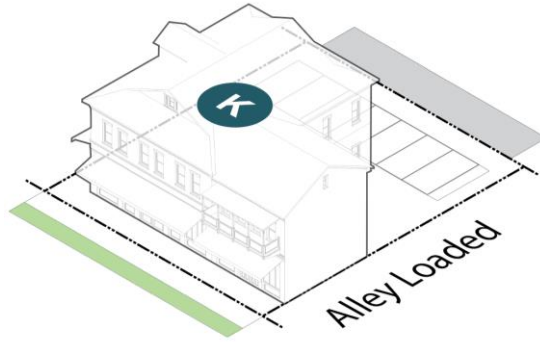
b. Lot & Building Standards	
Lot Dimensions	
Width	40' min. (A)
Depth	86' min. (B)
Lot Size	3,500 SF min., 22,000 SF max.
Building Footprint & Placement	
Lot Coverage	90% max.
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)
Setbacks	
Building Depth	40' min. (C)
Building Width	30' min. (D)
Intensity	
No. of Units	2 min. for upper story residential
Residential Density	Base With Benefit ¹
	30 du/a See Regulating District
Building Height (E)	Base With Benefit ¹
	See Regulating District (2 stories min.)

¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits

c. Parking & Access	
Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹ (F)	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. (G)
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking

Small Footprint Mixed-Use



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
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Medium Footprint Mixed-Use

(12) Medium Footprint Mixed-Use



a. Summary

Description	Key Characteristics
<p>A Medium Footprint Mixed-Use Building is integral to creating a walkable, mixed-use environment and is intended for higher intensity areas such as village centers or downtown. This type facilitates a mix of uses, with pedestrian-friendly ground floor retail or service uses and upper floor residential, hospitality, commercial, or office uses.</p>	<p>Attached or Detached Units</p> <hr/> <p>Mixed Use</p> <hr/> <p>2 to 6 stories</p> <hr/> <p>Orients to Street</p>

Examples & Variations

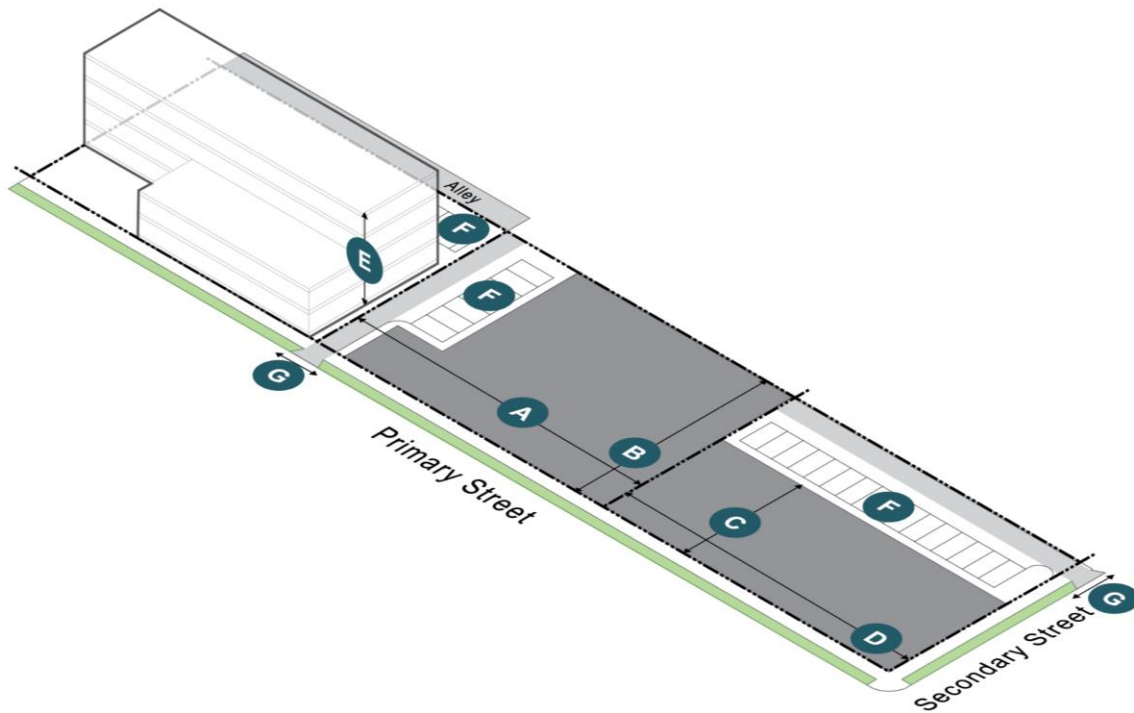


SunLoft Building in Punta Gorda, FL

Paseo Chapala in Santa Barbara, CA

Mixed-Use Building in Savannah, GA

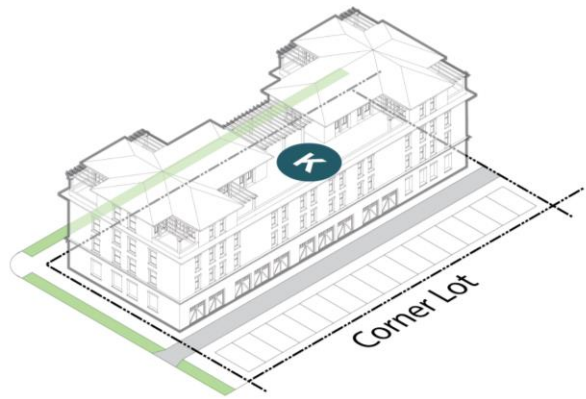
Medium Footprint Mixed-Use



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	180' min. (A)	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹ (F)	
Depth	120' min. (B)		
Lot Size	21,600 SF min.		
Building Footprint & Placement		Parking Access	
Lot Coverage	100% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	60' min. (C)	Driveway Width	10' min., 20' max. (G)
Building Width	100' min. (D)	Pedestrian Access	
Intensity		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
No. of Units	n/a	¹ Except in the Flex Commercial Corridor, which permits side yard parking	
Residential Density	Base With Benefit ¹ See Regulating District		
Building Height (E)	Base With Benefit ¹ See Regulating District (2 stories min.)		

¹ See Subsection 3.2(j) regarding maximum height and density based on community benefits

Medium Footprint Mixed-Use



d. Building Composition

Front Façade Fenestration

Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	IL
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

At least one of the following types is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

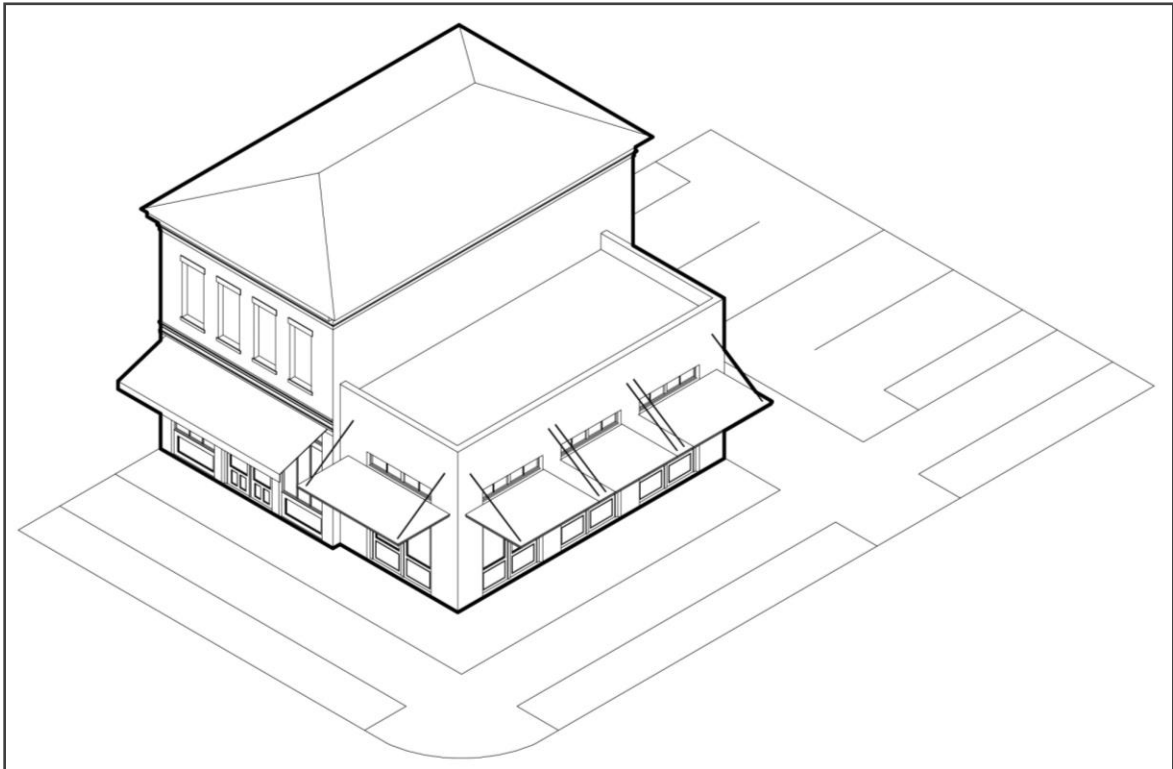
Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
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Main Street Shopfront

(13) Main Street Shopfront



a. Summary

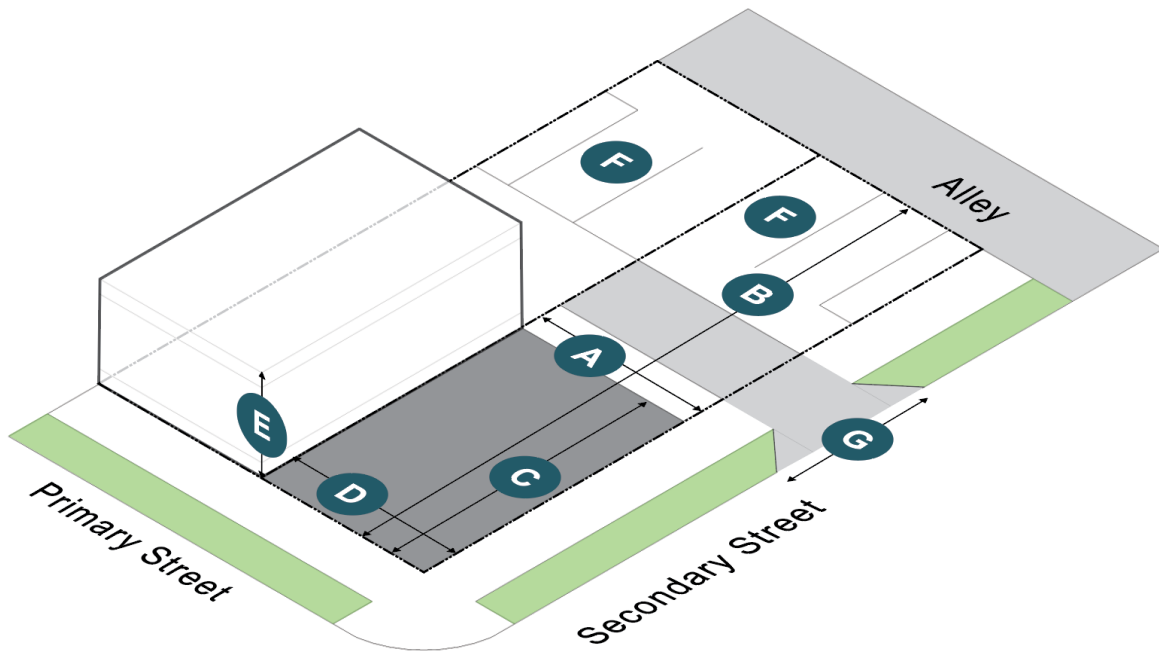
Description	Key Characteristics
The Main Street Shopfront is a small-to-medium sized structure, typically attached, intended to provide a mix of uses with ground floor retail or service uses and upper-floor service or residential uses. This Type promotes walkability and makes up the primary component of a neighborhood or downtown Main Street.	Attached or Detached Units
	Mixed Use
	1 to 2 stories
	Orients to Street

Examples & Variations



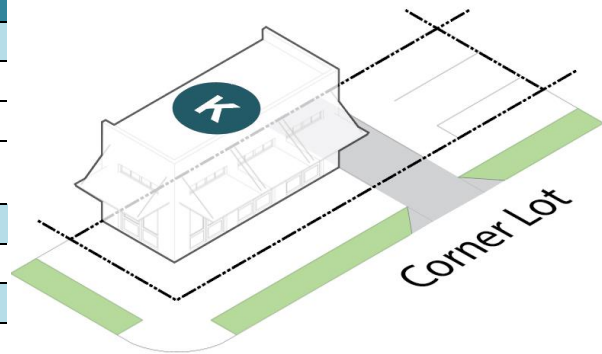
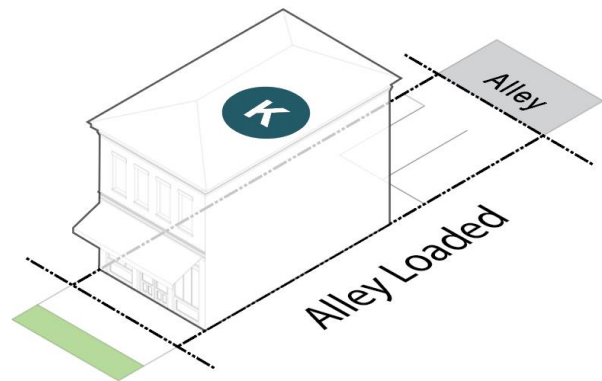
Park Ave. in Winter Park, FL	Marion Ave. in Punta Gorda, FL	Colorado Blvd. in Oldtown, Pasadena, CA
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Main Street Shopfront



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	25' min., 150' max. A	Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹ F	
Depth ¹	86' min. B		
Lot Size ¹	2,150 SF min.		
Building Footprint & Placement		Parking Access	
Lot Coverage	90% max.	Number of Driveways/Curb Cuts	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Primary Street	1
Setbacks		Secondary Street	1
Building Depth	40' min. C	Driveway Width	10' min., 20' max. G
Building Width	25' min. D	Pedestrian Access	
Intensity		Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
No. of Units	n/a	¹ Except in the Maker Village or Flex Commercial Corridor, which permit side yard parking	
Residential Density	Base		
	With Benefit		
Building Height E	Base		
	With Benefit		
	35' max. (2 stories)	n/a	
¹ The Main Street Shopfront Type shall also be permitted on any lot platted prior to March 2005			

Main Street Shopfront



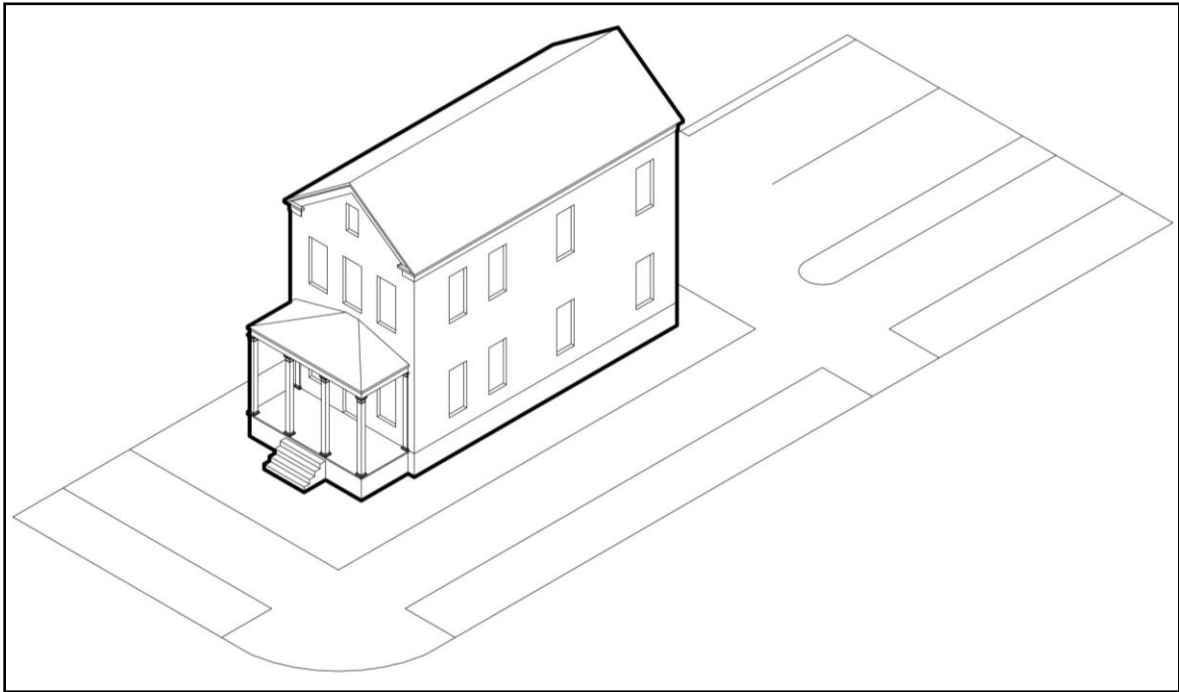
d. Building Composition		
Front Façade Fenestration		
Ground Floor	70% min.	H
Upper Story	40% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Roof Type¹		
Flat, Gable, and Hip Permitted	7.2(a)(4)	
Permitted Building Elements¹		
Dormers	7.2(a)(6)-i	
Bay Windows	7.2(a)(6)-h	
Balconies	7.2(a)(6)-f	
Required & Permitted Frontage Types¹		
The following frontage type is required:		
Storefront	7.2(d)(4)	
Additionally, one of the following types is required in combination with the above:		
Gallery	7.2(d)(2)	
Arcade	7.2(d)(3)	
Awning	7.2(d)(6)	
Entry Canopy: Large	7.2(d)(7)	
Overhead Balcony: Large	7.2(d)(8)	
The following types are also permitted:		
Forecourt	7.2(d)(9)	
Terrace	7.2(d)(10)	

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration		
Number of Buildings		
Primary	1	K
Accessory	1	
Additional		
Distance Between Primary and Secondary Building	n/a	

Neighborhood Shopfront

(14) Neighborhood Shopfront



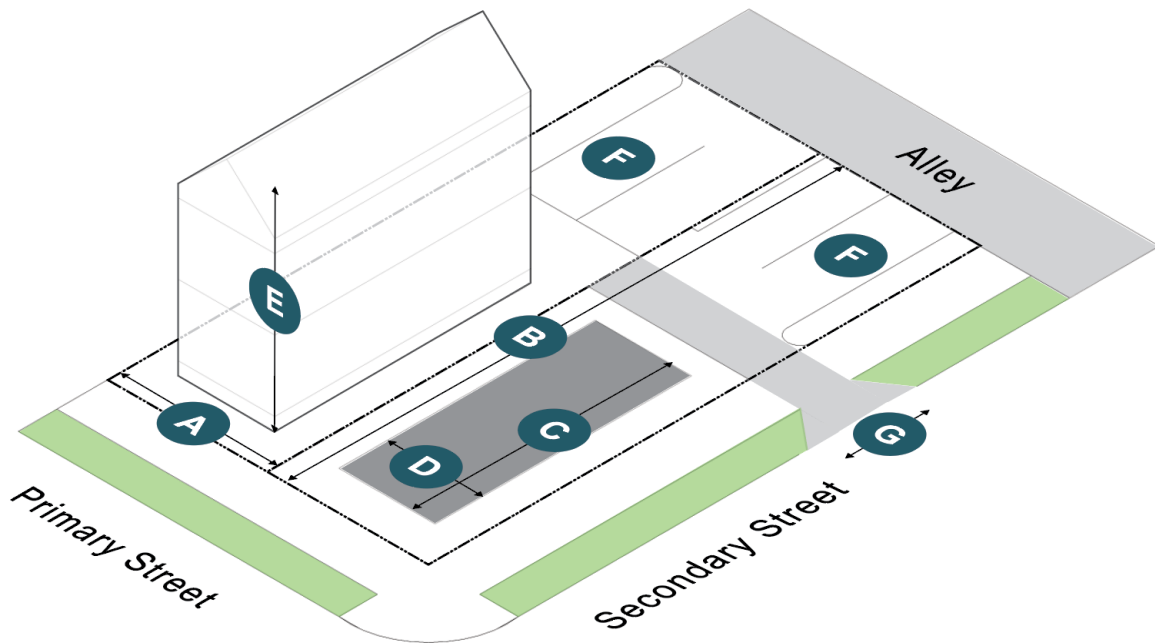
a. Summary

Description	Key Characteristics
<p>A Neighborhood Shopfront is a detached commercial building that either was or resembles a single-family home. A Neighborhood Shopfront is usually the result of, and key facilitator for, a gentle evolution of a neighborhood from a solely residential environment to a mixed-use environment.</p>	<p>Attached or Detached Units</p> <hr/> <p>Commercial</p> <hr/> <p>1 to 2.5 stories</p> <hr/> <p>Orients to Street</p>

Examples & Variations



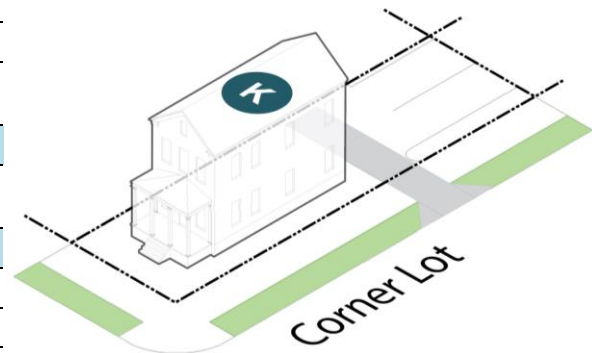
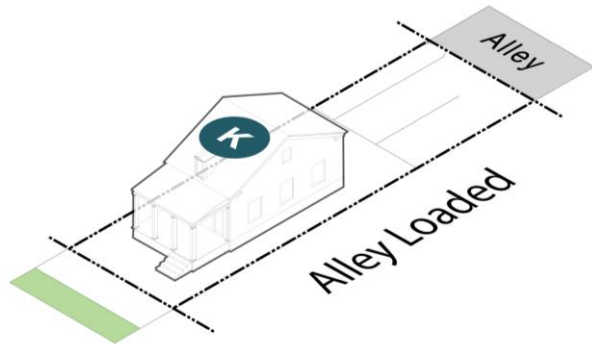
<p>House to Restaurant Conversion in Punta Gorda, FL</p>	<p>Boutique in Neptune Beach, FL</p>	<p>House to Café Conversion in Seattle, WA</p>
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b. Lot & Building Standards		
Lot Dimensions		
Width	25' min., 84' max.	A
Depth ¹	86' min.	B
Lot Size ¹	2,150 SF min.	
Building Footprint & Placement		
Lot Coverage	80% max.	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	40' min.	C
Building Width	15' min.	D
Intensity		
No. of Units	n/a.	
Residential Density	Base	With Benefit
	n/a	n/a
Building Height E	Base	With Benefit
	35' max. (2.5 stories)	n/a
¹ The Neighborhood Shopfront Type shall also be permitted on any lot platted prior to March 2005		

c. Parking & Access	
Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. F	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	

Neighborhood Shopfront



d. Building Composition

Front Façade Fenestration¹

Ground Floor	40% min.	H
Upper Story	30% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J

Roof Type²

Flat, Gable, Hip, and Gambrel Permitted	7.2(a)(4)
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Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types²

At least one of the following types is required:

Storefront	7.2(d)(4)
Porch: Projecting	7.2(d)(13)
Porch: Engaged	7.2(d)(14)
Porch: Integral	7.2(d)(15)

Additionally, one of the following types is required in combination with the storefront:

Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Portico	7.2(d)(11)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

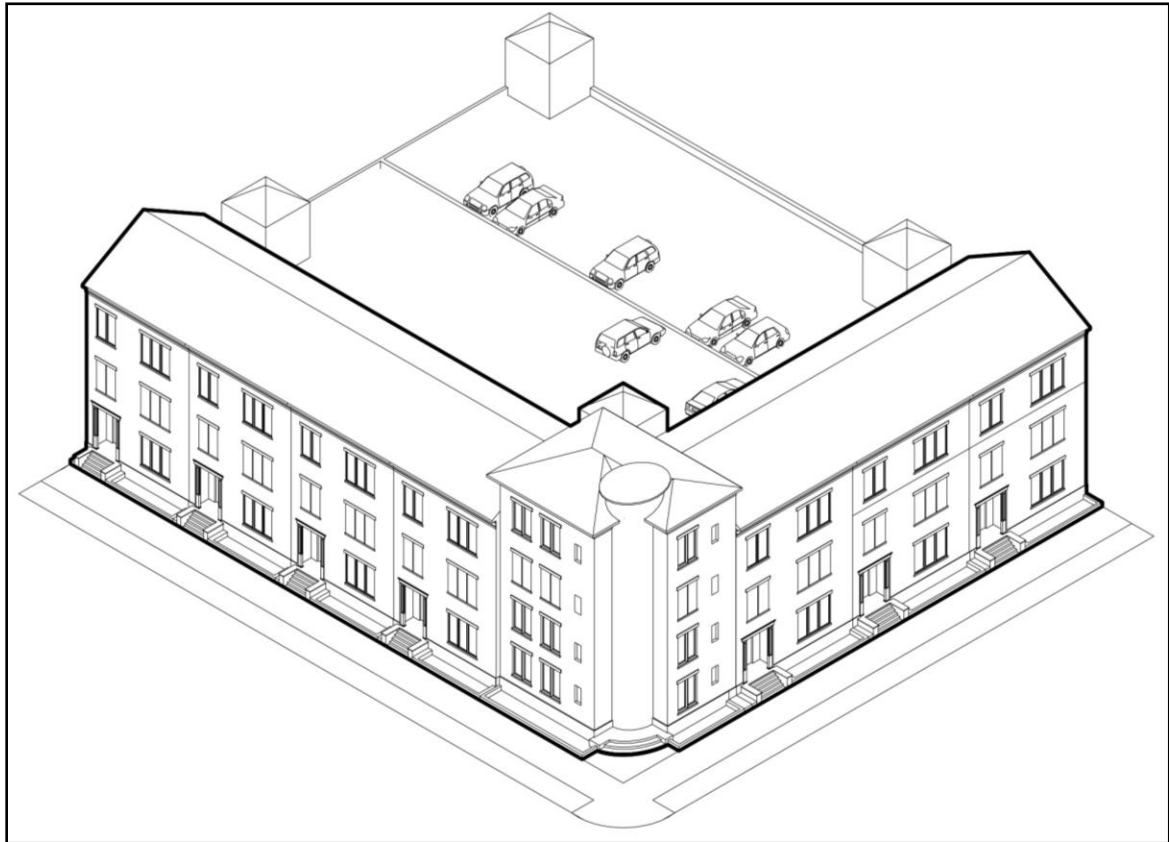
Primary	1	K
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
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Liner

(15) Liner



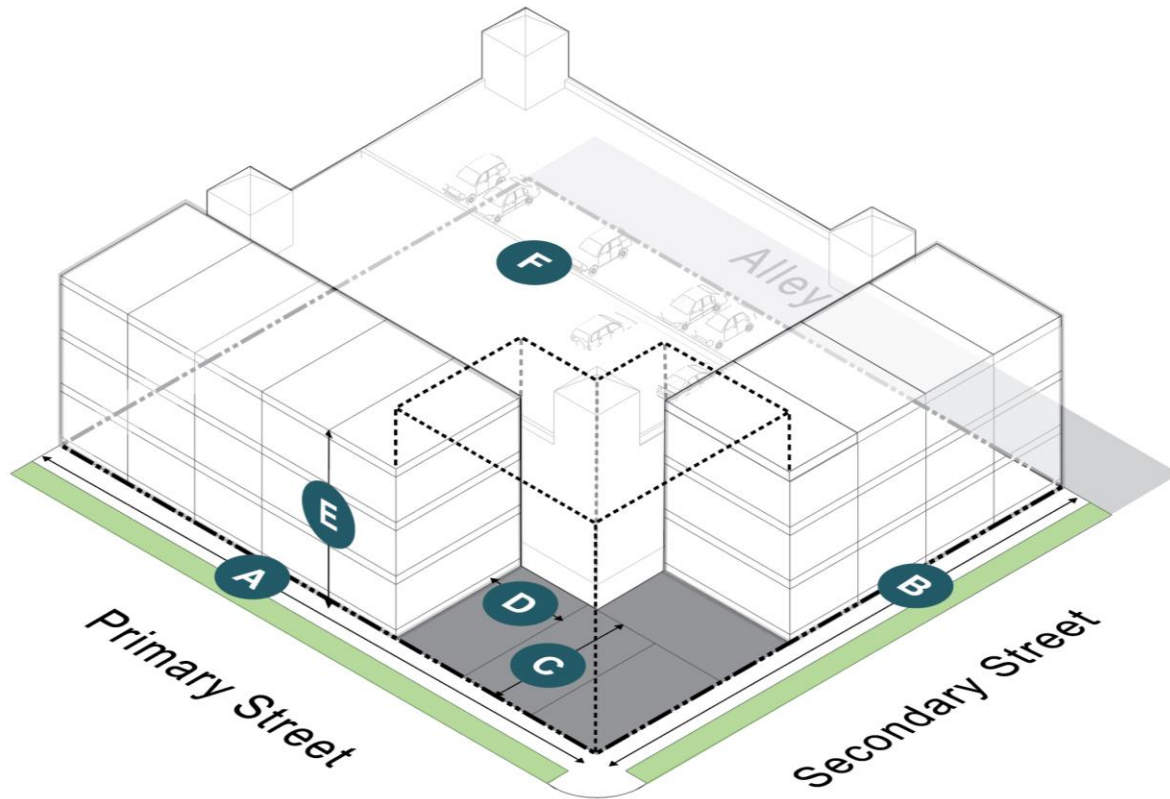
a. Summary

Description	Key Characteristics
<p>A Liner Building is a shallow structure that wraps the perimeter of a block to create a street frontage and conceal surface or structured parking, or a large-scale commercial building. These buildings may contain a variety of uses, including ground floor retail, and/or upper-level offices or residential.</p>	<p>Attached or Detached Units Mixed Use 2-4 stories Orients to Street</p>

Examples & Variations

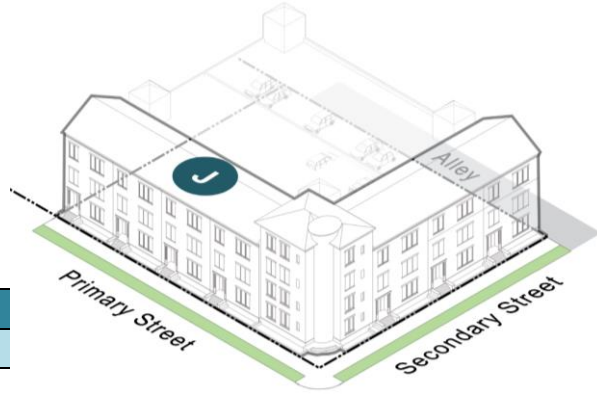
<p>Townhouse Liner concealing structured parking in Alexandria, VA</p>	<p>Mizner Park Rowhouse Liner attached to parking structure in Boca Raton, FL</p>	<p>Office Liner Building attached to a Publix in Baldwin Park, FL</p>

Liner



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	n/a (A)	Parking shall be located behind the building and accessed from alleys or side streets wherever possible. (F)	
Depth	n/a (B)		
Lot Size	n/a	Parking Access	
Building Footprint & Placement		Number of Driveways/Curb Cuts	
Lot Coverage	100% max.	Primary Street	1
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Secondary Street	1
Setbacks		Driveway Width	10' min., 20' max.
Building Depth	20' min. (C)	Pedestrian Access	
Building Width	25' min. (D)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	No minimum		
Residential Density ¹	Base	With Benefit ²	
	See Regulating District		
Building Height (E)	Base	With Benefit ²	
	See Regulating District		
		50' max. (4 stories)	
¹ Density for Liner buildings shall include the parking or building area which it conceals in the net area calculation ² See Subsection 3.2(j) regarding maximum height and density based on community benefits			

Liner



d. Building Composition

Front Façade Fenestration¹

Ground Floor	30% min., 80% max.	G
Upper Story	20% min., 50% max.	H
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type²

Flat, Gable, Hip, and Mansard Permitted	7.2(a)(4)
---	-----------

Permitted Building Elements²

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types²

One of the following types is required:

Storefront	7.2(d)(4)
Portico	7.2(d)(11)
Stoop	7.2(d)(12)

One of the following types is also required in combination with the storefront above:

Gallery	7.2(d)(2)
Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
Overhead Balcony: Large	7.2(d)(8)

The following types are also permitted:

Lobby Entrance	7.2(d)(5)
Overhead Balcony: Small	7.2(d)(16)
Entry Canopy: Small	7.2(d)(17)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

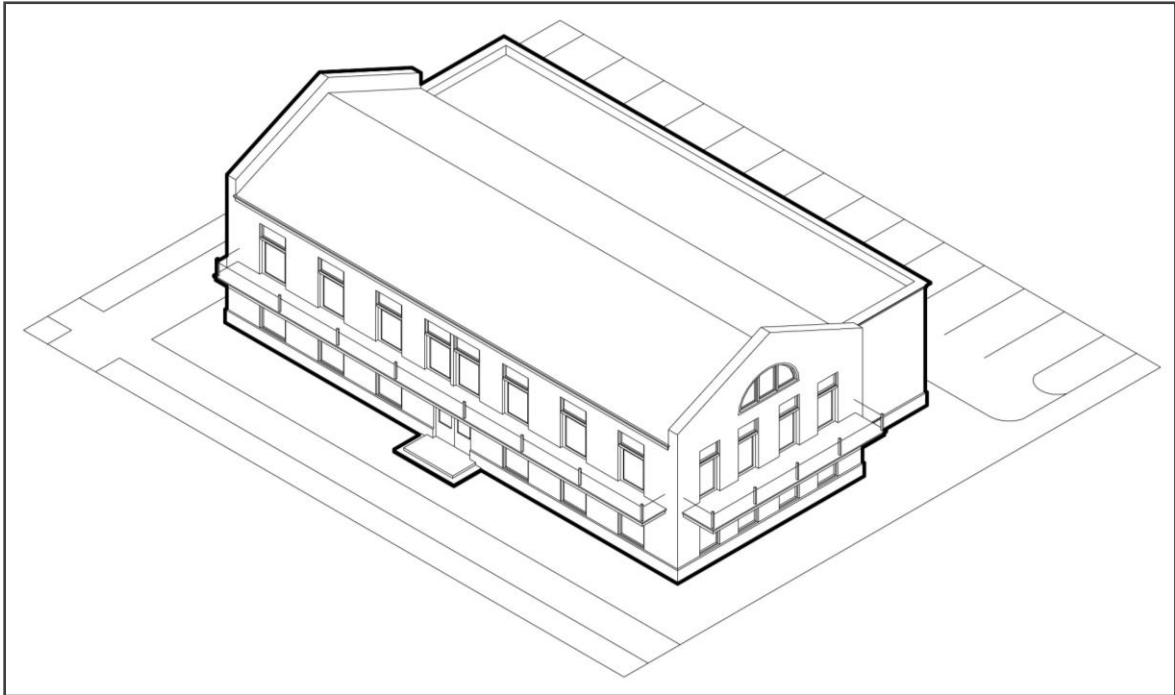
Primary	1	J
Accessory	n/a	

Additional

Distance Between Primary and Secondary Building	n/a
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Loft

(16) Loft



a. Summary

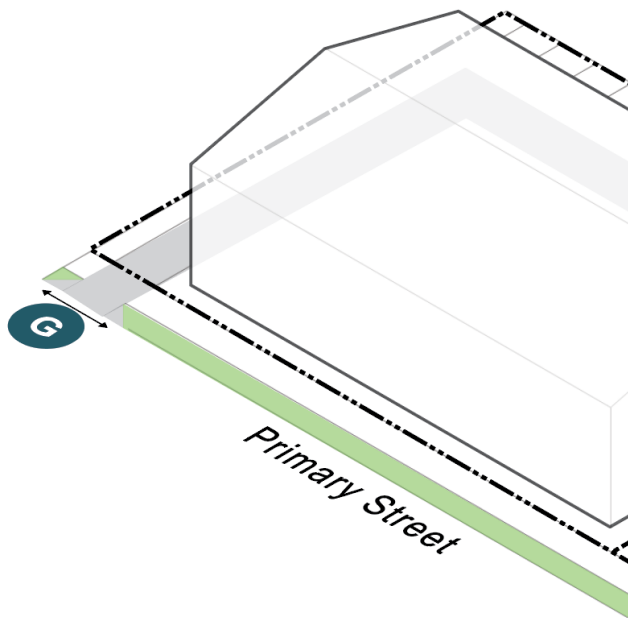
Description	Key Characteristics
<p>The Loft Building Type is a medium- to large-sized structure built on a large lot. This building type is characterized by high ceilings that may accommodate a mix of uses including ground-floor manufacturing, office, or retail uses and upper-floor service or residential uses; or may be a single-use building, typically industrial, manufacturing, office, or residential.</p>	Detached or Attached
	Mixed Use
	2 to 3 stories
	Orients to Street

Examples & Variations



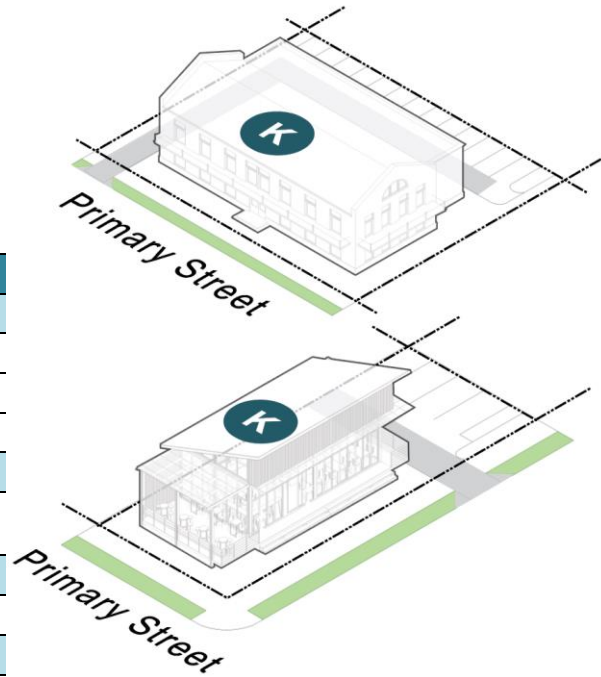
Loft Apartments in Montgomery, AL	Ice House Building in Punta Gorda, FL	Earnhardt Building in Fort Myers, FL
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Loft



b. Lot & Building Standards		c. Parking & Access	
Lot Dimensions		Location	
Width	50' min. (A)	Parking shall be located to the rear or side of the building and accessed from alleys or side streets wherever possible. (F)	
Depth	90' min. (120' preferred) (B)		
Lot Size	6,000 SF min.	Parking Access	
Building Footprint & Placement		Number of Driveways/Curb Cuts	
Lot Coverage	90% max.	Primary Street	1
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	Secondary Street	1
Setbacks		Driveway Width	10' min., 20' max. (G)
Building Length	60' min. (C)	Pedestrian Access	
Building Width	30' min. (D)	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity			
No. of Units	No minimum		
Residential Density	Base	With Benefit	
	30 dua	n/a	
Building Height (E)	Base	With Benefit	
	35' max. (3 stories)	n/a	

Loft



d. Building Composition	
Front Façade Fenestration¹	
Ground Floor	40% min., 80% max. H
Upper Story	40% min., 60% max. I
Habitable Half Story/Attic	n/a J
Roof Type²	
Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
Permitted Building Elements²	
Balconies	7.2(a)(6)-f
Required & Permitted Frontage Types²	
The following frontage type is required:	
Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)
Additionally, one of the following types is required in combination with the above:	
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)
The following types are also permitted:	
Terrace	7.2(d)(10)
Stoop	7.2(d)(12)
Entry Canopy: Small	7.2(d)(17)

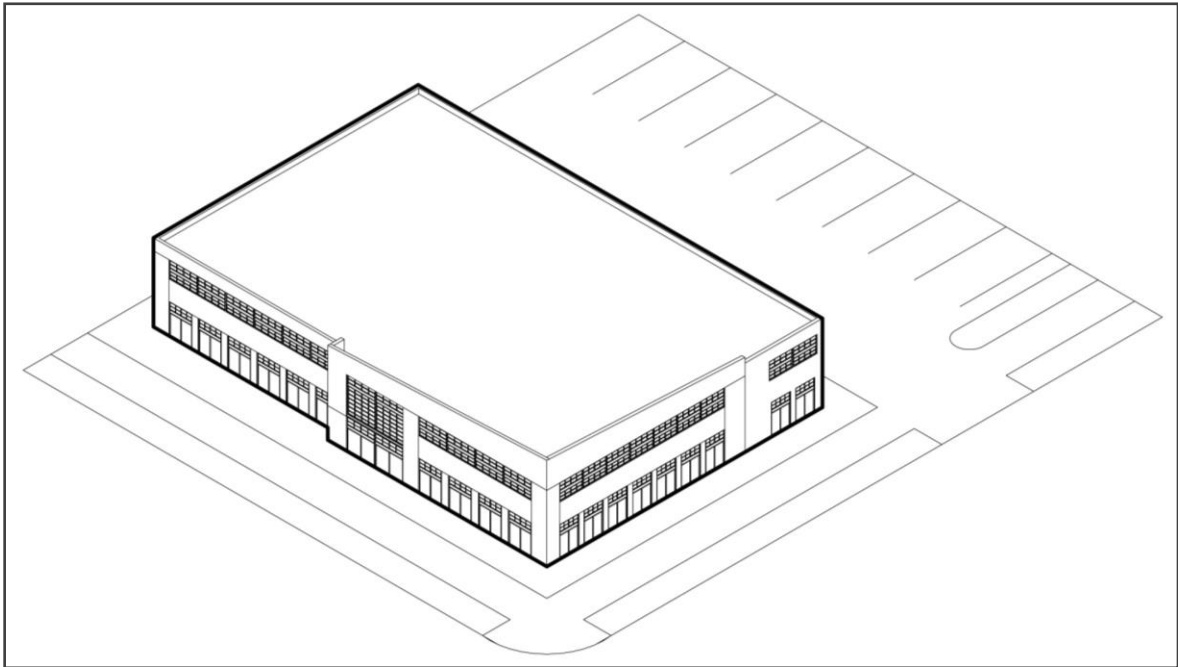
e. Site Configuration		
Number of Buildings		
Primary	1	K
Accessory	n/a	
Additional		
Distance Between Primary and Secondary Building	n/a	

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

Warehouse

(17) Warehouse



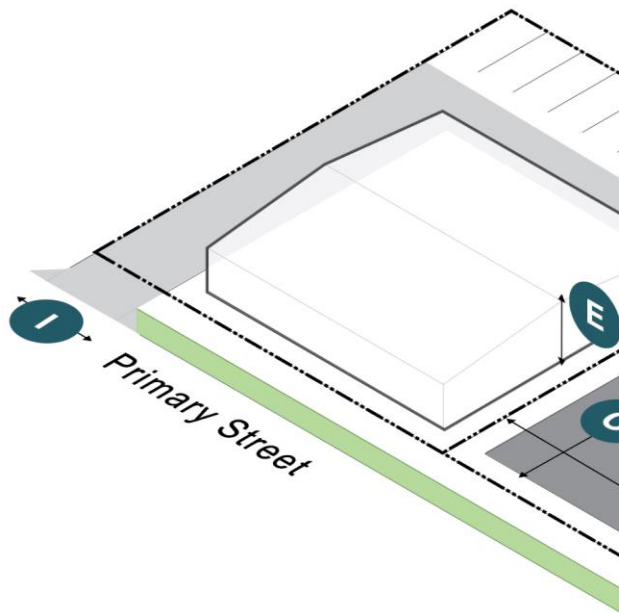
a. Summary

Description	Key Characteristics
<p>A Warehouse is generally a large, one-story, single-use building, often containing modular or pre-manufactured materials, and characterized by high ceilings and multiple bays to accommodate loading and unloading of large trucks. Warehouse buildings often contain specialized uses with needs for storage and distribution of products and inventory, with a small amount of dedicated office space.</p>	<p>Detached</p> <hr/> <p>Light Industrial, Artisan, or Commercial Uses</p> <hr/> <p>1-to-2 stories</p> <hr/> <p>Partially Street-Oriented</p>

Examples & Variations

<p>Aluminum Prefabricated Industrial Building</p>	<p>Barrel Vault Roofed Warehouse</p>	<p>Metal Warehouse</p>

Warehouse



b. Lot & Building Standards			c. Parking & Access	
Lot Dimensions			Location	
Width	70' min. (100' preferred)	A	Parking shall be located to the rear or side of the building and accessed from alleys or side streets wherever possible. F	
Depth	90' min. (120' preferred)	B		
Lot Size	9,000 SF min.		Parking Access	
Building Footprint & Placement			Number of Driveways/Curb Cuts	
Lot Coverage	90% max.		Primary Street	1
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Section 3.2(c)		Secondary Street	1
Setbacks			Driveway Width	10' min., 20' max. G
Building Length	40' min.	C	Pedestrian Access	
Building Width	30' min.	D	Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
Intensity				
No. of Units	n/a			
Residential Density	Base	With Benefit		
	n/a	n/a		
Building Height E	Base	With Benefit		
	35' max. (2 stories)	n/a		

Warehouse



d. Building Composition

Front Façade Fenestration ¹

Ground Floor	40% min., 80% max.	H
Upper Story	20% min., 50% max.	
Blank Wall	25' max.	

Roof Type²

Flat, Gable, Shed, and M-Shape Permitted	7.2(a)(4)
--	-----------

Required & Permitted Frontage Types²

The following frontage type is required:

Storefront	7.2(d)(4)
Lobby Entrance	7.2(d)(5)

Additionally, one of the following types is required in combination with the above:

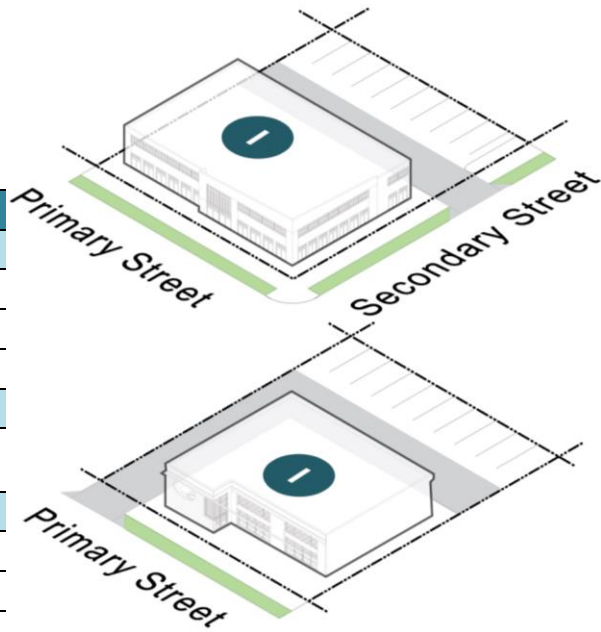
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Terrace	7.2(d)(10)
Porch: Projecting	7.2(d)(13)

¹ If the building has a storefront frontage the min. transparency on the ground floor shall be 70% and the upper stories shall be 40%

² Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)



e. Site Configuration

Number of Buildings

Primary	1	I
Accessory	2	

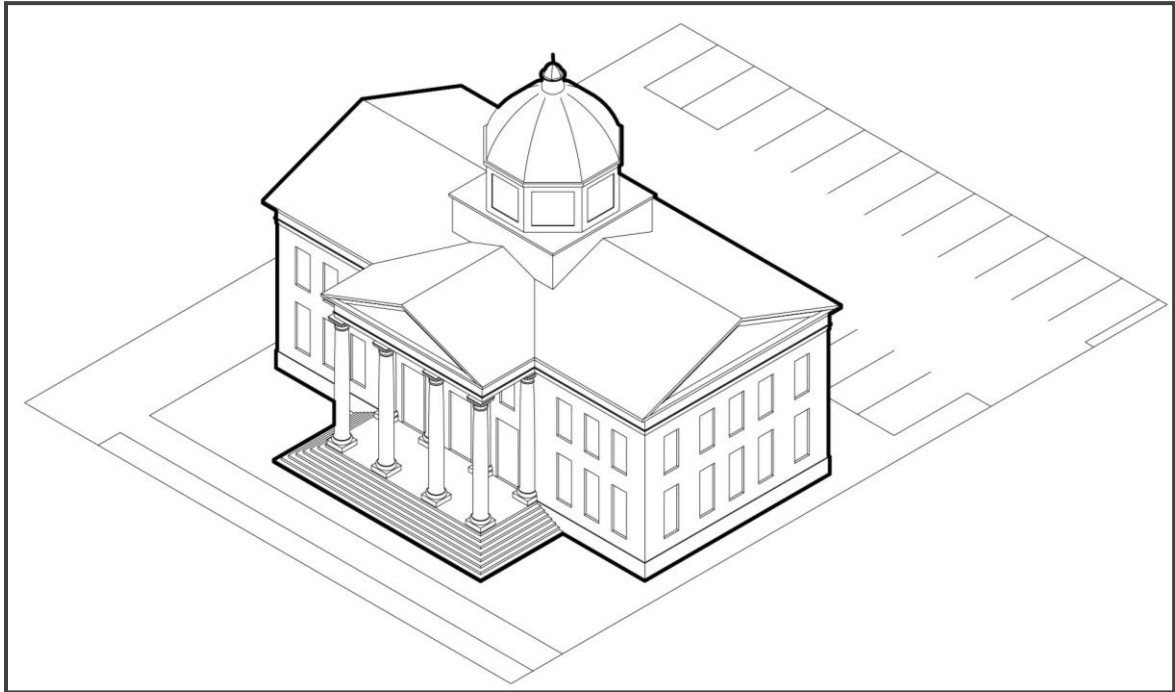
Additional

Distance Between Primary and Secondary Building	10' min.
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¹ Required street setbacks and driveways shall not be included in the open space calculation

Civic/Institutional

(18) Civic/Institutional



a. Summary

Description

A Civic/Institutional Building may be public or private, and contain uses of special public importance, community use, or benefit by governmental, cultural, educational, public welfare, or religious organizations. Civic buildings are monumental in scale and sited prominently within the urban fabric. This building types contains architecturally significant features and exhibits unique design elements or focal points that complement its surroundings.

Key Characteristics

- Detached

- Non-Residential

- 2 to 6 stories

- Orients to Street

Examples & Variations



Military Heritage Museum,
Punta Gorda, FL

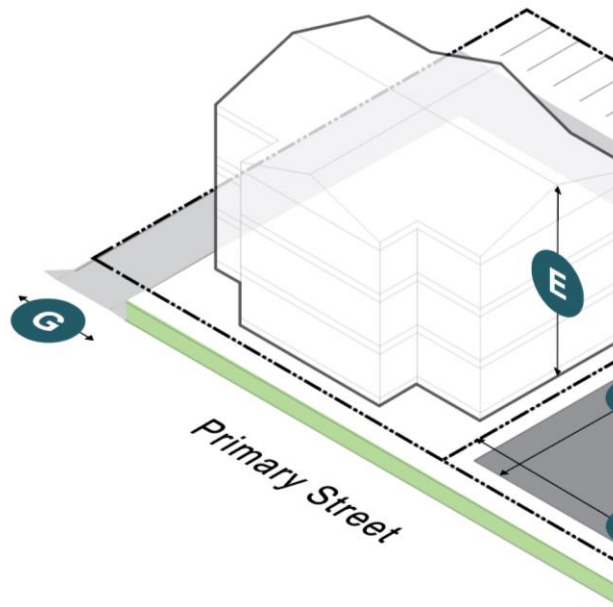


City Hall in Punta Gorda, FL



Charlotte County Justice
Center, Punta Gorda, FL

Civic/Institutional

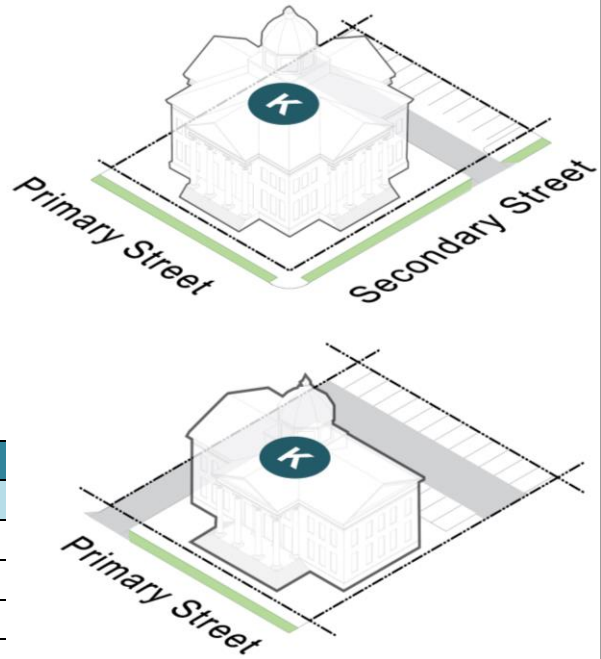


b. Lot & Building Standards		
Lot Dimensions		
Width	n/a	A
Depth	n/a	B
Building Footprint & Placement		
Lot Coverage	Defer to Regulating District	
Frontage Buildout	Must comply with the standards defined in the Regulating Districts, Subsection 3.2(c)	
Setbacks		
Building Depth	n/a	C
Building Width	n/a	D
Intensity		
No. of Units	n/a	
Residential Density ¹	Base	With Benefit ²
	n/a	n/a
Building Height E	Base	With Benefit ²
	Defer to Regulating District	

¹ Residential may be permitted along with religious buildings at a maximum density of 10 du/a
² See Subsection 3.2(k) regarding maximum height and density based on community benefits

c. Parking & Access	
Location	
Parking shall be located behind the primary building in the rear yard and accessed from alleys or side streets wherever possible. ¹ F	
Parking Access	
Number of Driveways/Curb Cuts	
Primary Street	1
Secondary Street	1
Driveway Width	10' min., 20' max. G
Pedestrian Access	
Must provide pedestrian access from the primary street sidewalk. For corner lots, secondary access may be provided from the side street sidewalk as well.	
¹ Except in the Maker Village and Flex Commercial Corridor, which permit side yard parking	

Civic/Institutional



d. Building Composition

Front Façade Fenestration

Ground Floor	40% min., 70% max.	H
Upper Story	20% min., 50% max.	I
Habitable Half Story/Attic	10% min., 30% max.	J
Blank Wall	16' max.	

Roof Type¹

Flat, Gable, Hip, Gambrel, and Mansard Permitted	7.2(a)(4)
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Permitted Building Elements¹

Dormers	7.2(a)(6)-i
Bay Windows	7.2(a)(6)-h
Balconies	7.2(a)(6)-f

Required & Permitted Frontage Types¹

The following frontage type is required:

Lobby Entrance	7.2(d)(5)
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Additionally, one of the following types is required in combination with the above:

Arcade	7.2(d)(3)
Awning	7.2(d)(6)
Entry Canopy: Large	7.2(d)(7)

The following types are also permitted:

Forecourt	7.2(d)(9)
Terrace	7.2(d)(10)
Storefront	7.2(d)(4)

¹ Additional standards or limitations may apply for specific Architectural Styles, see Section 7.2(e)

e. Site Configuration

Number of Buildings

Primary	1	K
Accessory	2	

Additional

Distance Between Primary and Secondary Building	n/a
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Summary Table

(19) Table 3 below provides a summary of many of the development standards for each building type. Table 3 is provided to allow a quick comparison of all the building types.

Table 3 - Building Type Standards Summary Table								
	Lot Standards				Density		Height	
	Width	Depth	Size	Coverage	Base	With Benefit ²	Base	With Benefit ²
Accessory Cottage	n/a	n/a	n/a	n/a	n/a	n/a	25' max. (2 stories)	n/a
House	40' min., 150' max.	86' min.	3,500 SF min., ¹ 20,000 SF max.	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Cottage Court	100' min., 160' max.	120' min.	12,000 SF min.	70% max.	25 du/a	n/a	35' max. (2 stories)	n/a
Duplex	40' min., 100' max.	86' min.	3,500 SF min. ¹	70% max.	25 du/a	n/a	35' max. (2.5 stories)	n/a
Rowhouse	18' min.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Triplex/Fourplex	50' min., 84' max.	86' min.	4,400 SF min./ 5,800 SF min.	70% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Multiplex	80' min., 130' max.	86' min.	6,880 SF min.	80% max.	30 du/a	Defer to Regulating District	Defer to Regulating District	n/a
Courtyard Apartment	84' min., 150' max.	100' min.	8,400 SF min.	90% max.	30 du/a	Defer to Regulating District	Defer to Regulating District (2 stories min.)	
Live/Work	18' min., 53' max.	86' min.	1,550 SF min.	90% max.	30 du/a	n/a	35' max. (2.5 stories)	n/a
Small Footprint Mixed-Use	40' min.	86' min.	3,500 SF min., 22,000 SF max.	Defer to Regulating District	30 du/a	Defer to Regulating District	Defer to Regulating District (2 stories min.)	
Medium Footprint Mixed-Use	180' min.	120' min.	21,600 SF min.	100% max.		Defer to Regulating District	Defer to Regulating District (2 stories min.)	
Main Street Shopfront	25' min., 150' max.	86' min.	2,150 SF min. ¹	90% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Neighborhood Shopfront	25' min., 84' max.	86' min.	2,150 SF min. ¹	80% max.	n/a	n/a	35' max. (2.5 stories)	n/a
Liner	n/a	n/a	n/a	100% max.		Defer to Regulating District	Defer to Regulating District	4 stories, 50' max.
Loft	50' min.	90' min. (120' preferred)	6,000 SF min.	90% max.	30 du/a	n/a	35' max. (3 stories)	n/a
Warehouse	70' min. (100' preferred)	90' min. (120' preferred)	9,000 SF min.	90% max.	n/a	n/a	35' max. (2 stories)	n/a
Civic/Institutional	n/a	n/a	n/a	n/a	n/a	n/a	Defer to Regulating District	

¹ The House, Duplex, Main Street Shopfront, and Neighborhood Shopfront shall also be permitted on any lot platted prior to 2005

² See Subsection 3.2(j) regarding maximum height and density based on community benefits

Uses(e) Allowable Uses.

- (1) Table 4 indicates allowable uses in each of the regulating districts within the TPG zoning district. Overlay districts have no effect on allowable uses.
- (2) The uses listed in Table 4 are grouped into four use groups: Residential Uses, Lodging Uses, Business Uses, and Civic & Education Uses.
- (3) In each of the regulating district columns, symbols are provided to indicate that:
 - a. P Use is permitted by right; or
 - b. C Use is permitted only if all conditions specified in Article 4 are met; or
 - c. SE Use may be approved as a special exception per standards and procedures in Article 16 and may also require specific conditions in Article 4 to be met; or
 - d. A Use is permitted as an accessory to a permitted primary use; or
 - e. - This use, like other uses not listed in this table, is not permitted.
- (4) All uses of land must conform with all standards in the TPG zoning district, including allowable building types, maximum building height, maximum density, etc., and with all other relevant standards in this code.
- (5) Numerous terms used in this table are defined under “use groups” in Article 19 of this chapter. Other terms apply to other zoning districts as well, and are defined alphabetically in Article 19.

Uses

Table 4 - Allowable Uses in TPG Regulating Districts

	Downtown Core	Village Center	Flex Commercial Corridor	Maker Village	Neighborhood Transition	Residential Edge	Traditional Residential	Parks & Open Space
Residential Uses								
Residences	P	P	P	P	P	P	P	-
Assisted living facilities	P	P	P	-	P	SE	P	-
Transitional community residences	P	P	P	P	SE	-	SE	
Bed and breakfast inns	C	C	-	-	C	C	C	-
Rooming/boarded house	SE	SE	-	-	-	-	-	-
Residential accessory uses	A	A	A	A	A	A	A	-
Lodging Uses								
Hotels, motels, inns	P	P	P	-	SE	-	-	-
Lodging Accessory Uses	A	A	A	-	A	-	-	-
Business Uses								
Stores & services, general	P	P	P	P	SE	-	-	-
Stores & services, large format	SE	SE	P	-	-	-	-	-
Offices, general and medical	P	P	P	P	P	-	-	-
Restaurants	P	P	P	P	SE	-	-	-
Sidewalk cafe	C	C	SE / C	C	SE / C	-	-	-
Bars and nightclubs	C	C	SE / C	C	SE / C	-	-	-
Adult establishments	-	-	SE / C	-	-	-	-	-
Drive-through facilities	-	SE	P	-	-	-	-	-
Convenience stores with fuel	-	-	P	-	SE	-	-	-
Amusement facilities (indoor)	P	P	P	P	SE	-	-	-
Kennels, indoor/outdoor	-	-	-	SE/ C	-	-	-	-
Mini-storage facilities	-	-	C	C	-	-	-	-
Parking (as principal use)	C	C	P	P	-	-	-	-
Nursing homes	-	P	P	-	SE	-	-	-
Health care facilities	SE	P	-	-	SE	-	-	-
Marinas and yacht clubs	P	P	-	-	-	-	-	-
Vehicle and boat sales & service	SE	SE	P	P	-	-	-	-
Warehousing or distribution	-	-	SE	P	-	-	-	-
Light industrial use	-	-	SE	P	-	-	-	-
Business accessory uses	P	P	P	P	P	P	P	-
Civic & Education Uses								
Parks	P	P	P	P	P	SE	SE	P
Places of worship	C	C	C	C	C	SE / C	SE / C	-
Schools	P	P	SE	SE	P	SE	SE	-
Day care centers	C	C	C	C	C	SE	SE	-
Conference centers	P	P	-	-	-	-	-	-
Essential services, Classes 1 & 2	C	C	C	C	C	C	C	-
Essential Services, Class 3	-	-	-	-	-	-	-	-